

ABBREVIATIONS:					
# & @ (#)	Number And At Quantity	FD FDN FFE FG FH FIXT FL FND FOC FOF FOS FOW FS FTG	Floor Drain Foundation Finish Floor Finish Floor Elevation Finish Grade Fire Hydrant Fixture Flow Line Foundation Face of Curb Face of Finish Face of Step Face of Wall Finish Surface Footing	OC OD OE OPP	On Center Outside Diameter Or Equal Opposite
AC AD AGG APPROX ARCH	Asphalt Concrete Area Drain Aggregate Approximate Architect(ural)	GH G IJ J	Gas Gauge Galvanized Grade Break General Contractor Grade	PA PI PIP PL POC POVC PREP PSI PVC PVI PVMT	Planting Area Point of Intersection Protect in Place Property Line Point of Connection Point of Vertical Curve Preparation Pounds per Square Inch Polyvinyl Chloride Point of Vertical Intersection Pavement
BC BL BLDG BOC BOR BOS BOT BS BW BYND	Bottom of Curb Base Line Building Back of Curb Bottom of Ramp Bottom of Slope Bottom Bottom of Step Bottom of Wall Beyond	GA GALV GB GC GR		R/W, ROW RAD REF REINF REQ REV	Right of Way Radius Reference Reinforced Required Revision
CAB CB CFS CHNL CIP CJ CLR CMP CMU CONC	Crushed Aggregate Base Catch Basin Cubic Feet per Second Channel Cast In Place Control Joint Clearance Corrugated Metal Pipe Concrete Masonry Unit Concrete	HB HC HDR HORIZ HP HR HT	Hose Bib Handicap Header Horizontal High Point Hour Height	S SCH SF SHT SIM SPEC SQ SS STA STD STL STRUCT SW	South Schedule Square Feet Sheet Similar Specified OR Specification Square Stainless Steel Station Standard Steel Structure or Structural Sewer
DET DI DIA DIM DN DR DWG	Detail Drain Inlet Diameter Dimension Down Door Drawing	ID IJ IN INT INV JT	Inside Diameter Isolation Joint Inch Interior Invert Joint	TBD TC TD TF TOS TS TW TYP	To Be Determined Top of Curb Top of Drain Top of Fence Top of Slope Top of Step Top of Wall Typical
E EA EJ EL ELEC ELEV ENCL EQ EX OR (E) EXT	East Each Expansion Joint Elevation Electrical Elevator or Elevation Enclosure Equal Existing Exterior	LB LF LO LOW LP	Pound Linear Feet Low Limit of Work Low Point	UNO VERT VIF W W/ W/O WP	Unless Noted Otherwise Vertical Verify In Field West With Without Waterproof
		MAX MIN MISC N NIC NO NOM NTS	Maximum Minimum Miscellaneous North Not In Contract Number Nominal Not To Scale		

NOTES:

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE (AB 1881) AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN"

LANDSCAPE ARCHITECTDATE

\*\*Permit cannot be finaled until certification form is completed and returned.

PROJECT MEMBERS

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LANDSCAPE ARCHITECT:  
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LS-1.05	LANDSCAPE SPECIFICATIONS
LS-1.06	LANDSCAPE SPECIFICATIONS

Landscape Construction Documents for:

County of Ventura GSA

Lewis Road Park

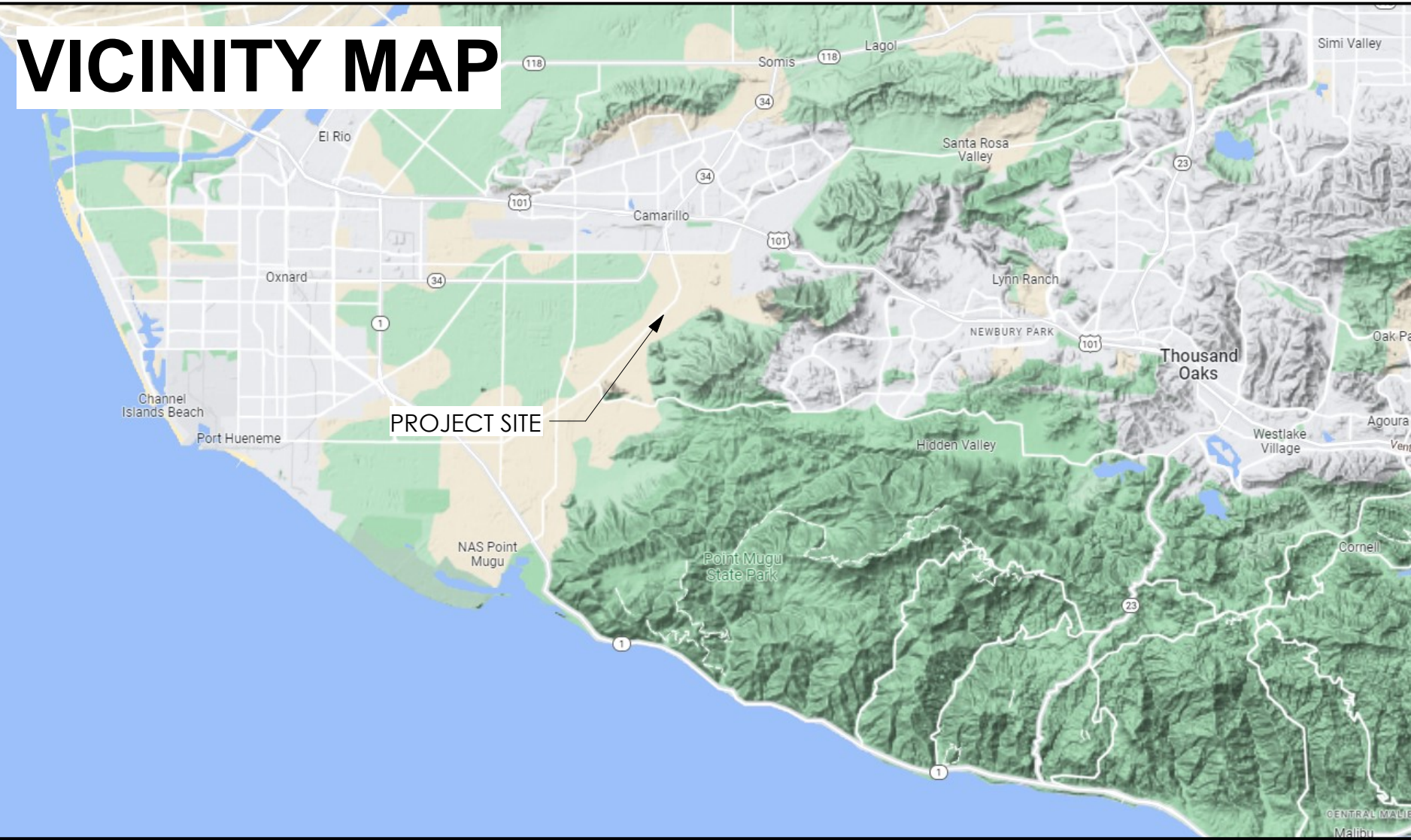
Camarillo, CA 93012

Prepared for:

County of Ventura GSA

11201 Riverbank Drive, Suite A1

Ventura, CA 93004



- GENERAL NOTES
1. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE COUNTY OF VENTURA DEPARTMENT OF PUBLIC WORKS DESIGN STANDARDS AND STANDARD DETAILS, THE "GREENBOOK" STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC), AND THE CONTRACT DOCUMENTS, IF ANY. ALL REFERENCED SPECIFICATIONS AND DETAILS SHALL BE PART OF THE CONTRACT DOCUMENTS, AND STANDARD PLANS AND SPECIFICATIONS ARE MADE A PART HEREOF AS IF SPOELLED OUT IN THEIR ENTIRETY HEREON.

2. ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE LAST EDITION CALIFORNIA BUILDING CODE.

3. VERIFY DIMENSIONS AND CONDITIONS AT THE SITE BEFORE STARTING WORK. ANY CONFLICT BETWEEN DETAILS OR DIMENSIONS ON THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE OWNER REPRESENTATIVE AND THE LANDSCAPE ARCHITECT OF RECORD WHO WILL DETERMINE THE INTENT OF THE DRAWINGS. THE CONTRACTOR SHALL PREPARE A STAKING PLAN AND SURVEY TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER REPRESENTATIVE FORTY-EIGHT (48) HOURS PRIOR TO THE START OF WORK.

4. AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE REGIONAL NOTIFICATION CENTER (UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA 1-800-227-2600) AND REQUEST THAT UTILITY OWNERS MARK OR OTHERWISE INDICATE THE FACILITIES ON SITE. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL UTILITIES AND ALL STRUCTURES FOUND AT THE SITE.

5. ALL REQUIRED PERMITS AND NECESSARY COUNTY BUSINESS LICENSE(S) SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION AND BE PRESENT ON SITE AT ALL TIMES.

6. DURING ALL PHASES OF CONSTRUCTION, INCLUDING SUSPENSION OF WORK, UNTIL FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL OBSERVE, FOLLOW AND IMPLEMENT ALL THE REQUIREMENTS OF THE NPDES AND STORMWATER POLLUTION PREVENTION PROGRAM AND KEEP THE WORK SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS. THE CONTRACTOR SHALL ALSO ABATE DUST NUISANCE BY CLEANING, SWEEPING AND SPRINKLING WITH WATER AND USING DUST FENCES OR OTHER METHODS AS DIRECTED BY THE PROJECT REPRESENTATIVE THROUGHOUT THE CONSTRUCTION OPERATION.

7. THE CONTRACTOR SHALL KEEP A STRICT RECORD OF ALL OWNER AND COUNTY APPROVED CHANGES AND SUBMIT THIS RECORD TO THE OWNER REPRESENTATIVE. THE CONTRACTOR SHALL ALSO COORDINATE TRANSFERRING "AS-BUILT" INFORMATION ON THE CONTRACT DRAWINGS AND DELIVER THE CERTIFIED "AS-BUILT" PLANS TO THE OWNER REPRESENTATIVE BEFORE THE RELEASE FOR OCCUPANCY OR FINAL ACCEPTANCE OF THE PROJECT SHALL BE FILED.

8. THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID INJURY TO EXISTING IMPROVEMENTS OR FACILITIES, UTILITY FACILITIES, ADJACENT PROPERTY, AND TREES AND SHRUBBERY THAT ARE NOT TO BE REMOVED. ALL DAMAGE CAUSED TO PUBLIC STREETS, INCLUDING HAUL ROUTES, ALLEYS, SIDEWALKS, CURBS OR STREET FURNISHINGS, OR TO PRIVATE PROPERTY SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER REPRESENTATIVE. EXISTING TREES AND SHRUBS TO REMAIN AND TO BE PROTECTED SHOULD BE MARKED DURING A JOB WALK WITH THE CONTRACTOR AND THE LANDSCAPE ARCHITECT.

9. THE CONTRACTOR SHALL SO CONDUCT THEIR OPERATIONS AS TO OFFER THE LEAST POSSIBLE OBSTRUCTION AND INCONVENIENCE TO THE PUBLIC AND SHALL HAVE UNDER CONSTRUCTION NO GREATER LENGTH OR AMOUNT OF WORK THAN THEY CAN PROSECUTE PROPERLY WITH DUE REGARD TO THE RIGHTS OF THE PUBLIC. CONVENIENT ACCESS TO DRIVEWAYS, HOUSES, AND BUILDINGS ALONG THE LINE OF WORK SHALL BE MAINTAINED AND TEMPORARY CROSSINGS SHALL BE PROVIDED AND MAINTAINED IN GOOD CONDITION. NO MORE THAN ONE CROSSING, INTERSECTION, STREET OR ROAD SHALL BE CLOSED AT ANY ONE TIME. ACCESS TO ADJACENT RESIDENCES SHALL BE MAINTAINED AT ALL TIMES.

10.UNTIL THE ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL HAVE THE RESPONSIBLE CHARGE AND CARE OF THE WORK AND OF THE MATERIALS TO BE USED THEREIN (INCLUDING MATERIALS FOR WHICH THEY HAVE RECEIVED PARTIAL PAYMENT OR MATERIALS WHICH HAVE BEEN FURNISHED BY THE COUNTY OR OWNER) AND SHALL BEAR THE RISK OF INJURY, LOSS, OR DAMAGE TO ANY PART THEREOF BY THE ACTION OF ELEMENTS OR FROM ANY OTHER CAUSE, WHETHER ARISING FROM THE EXECUTION OR FROM THE NONEXECUTION OF THE WORK.

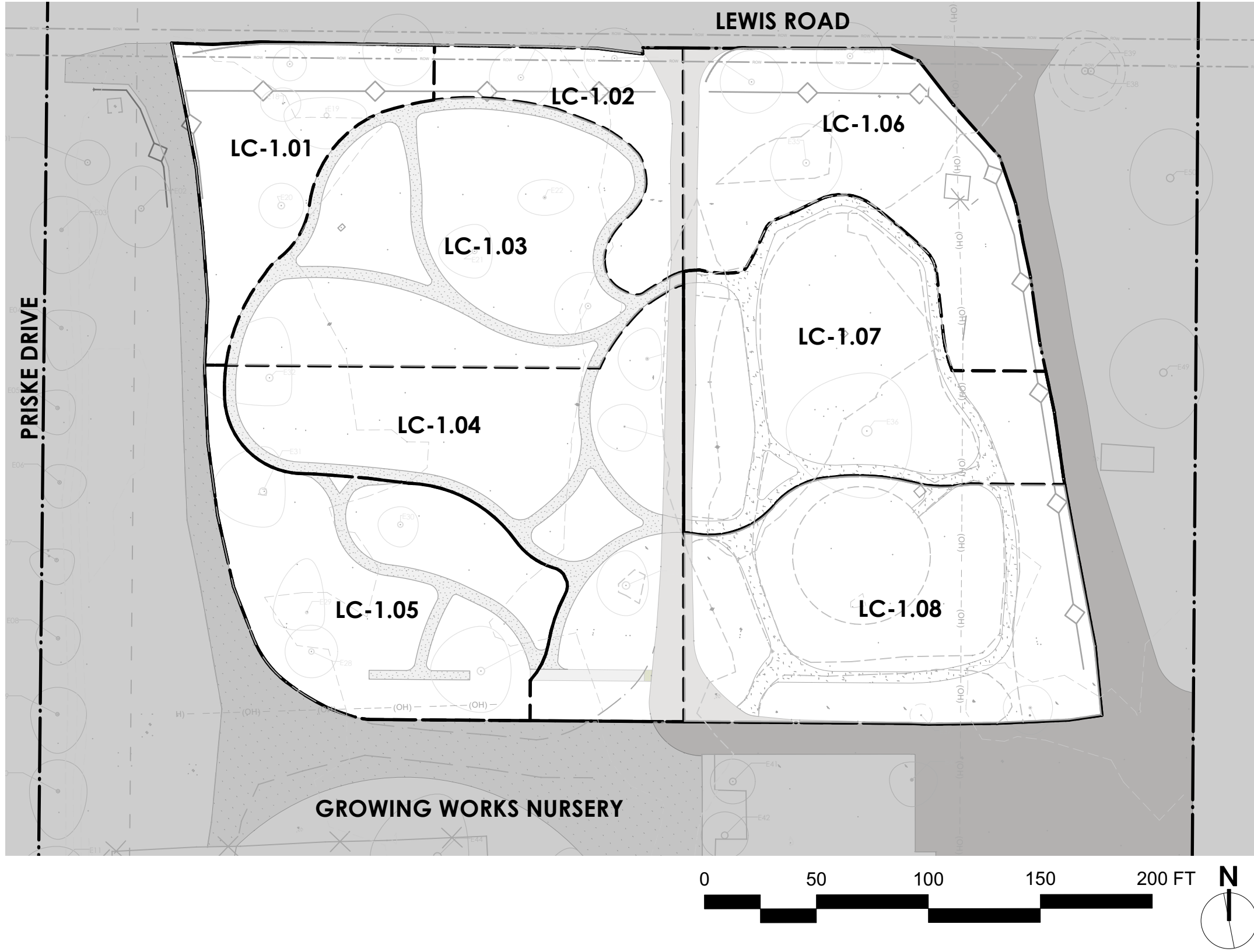
11.DESIGNATE AND KEEP ON THE PROJECT AT ALL TIMES WHILE WORK IS BEING PERFORMED A COMPETENT SUPERINTENDENT WHO SHALL NOT BE REPLACED WITHOUT A WRITTEN NOTICE TO THE OWNER REPRESENTATIVE. THE SUPERINTENDENT WILL BE THE CONTRACTOR'S REPRESENTATIVE AT THE SITE AND SHALL HAVE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR. ALL COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING AS IF GIVEN TO THE CONTRACTOR. DURING PERIODS WHEN THE WORK IS SUSPENDED, MAKE APPROPRIATE ARRANGEMENTS FOR ANY EMERGENCY WORK WHICH MAY BE REQUIRED.

12.SECTION 4-1.4 "TEST OF MATERIALS" OF THE "GREENBOOK" SHALL BE MODIFIED TO READ "THAT THE COST OF ALL INITIAL TESTING AND RETESTING TO BE PERFORMED UNDER THE DIRECTION OF THE OWNER REPRESENTATIVE SHALL BE BORNE BY THE CONTRACTOR."

13.IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK, AND THE CONTRACTOR SHALL FULLY COMPLY WITH ALL STATE, FEDERAL AND OTHER LAWS, RULES, REGULATIONS, AND ORDERS RELATING TO SAFETY OF WORKERS AND ALL OTHERS. THIS MAY INCLUDE THE ISSUANCE OF PERSONAL PROTECTIVE EQUIPMENT.

14.ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR THOSE SHOWN ON RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE CONTRACTOR, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, UNDERSTANDS THAT HE AGREES TO ASSUME THE LIABILITY, AND AGREES TO HOLD THE OWNER AND CITY HARMLESS FOR ANY LIABILITY FOR DAMAGE RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE OWNER OR CITY, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, OR LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.

KEY MAP



Pacific Coast Land Design, Inc.

Landscape Architecture • Urban Design • Environmental Planning

461 East Main Street, Ventura, CA 93001

805.644.9697

www.pc-ld.com

client:

COUNTY OF VENTURA GSA

11201 RIVERBANK DRIVE, STE. A1

revisions:

No. Date Revision Notes

issues:

No. Date Issue Notes

project:

LEWIS ROAD DEMONSTRATION GARDEN

1736 SOUTH LEWIS ROAD CAMARILLO, CA 93012

date:

drawn by: EEB

checked by: BM

PCLD project #: 21-033

File Name: 21-033\_L-Project.vrx

LICENSED LANDSCAPE ARCHITECT

MICHAEL ZIELSDORF

#60426

CONSTRUCTION

03/123

Renewal Date

Date

STATE OF CALIFORNIA

COVER SHEET

CS-0.00

75% SUBMITTAL- NOT FOR CONSTRUCTION

1 OF 25





PRISKE DRIVE

LEWIS ROAD

LIMIT OF WORK

LIMIT OF WORK

FUTURE PARKING

FUTURE PARKING

(E) LABYRINTH TO REMAIN

GROWING WORKS  
NURSERY

PLANT COMMUNITY PLAN

Scale: 1" = 20'-0"

0 20 40 60 80 FT

PLANT COMMUNITY COLOR LEGEND

- CHANNEL ISLANDS NATIVE
- CHAPARRAL
- COASTAL SAGE SCRUB
- MEADOW
- OAK WOODLAND/SAVANNAH
- POLLINATOR GARDEN
- REGIONALLY ADAPTED
- RIPARIAN

NOTES

- SEE 'LANDSCAPE CONSTRUCTION PLAN', SHEETS LC-1.01 - LC-1.08 FOR LAYOUT OF HARDSCAPE ELEMENTS & AMENITIES AND PLANTING PLANS.
- SEE SHEETS LC-0.01-0.02 FOR MASTER PLANT SCHEDULES.

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PLAN

LC-0.04





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