



Planning Commission Staff Report – Hearing of August 27, 2020

County of Ventura • Resource Management Agency • Planning Division

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APPEAL OF PLANNING DIRECTOR'S DENIAL OF THE ISSUANCE OF TWO ZONING CLEARANCES (Case No. PL20-0032)

Billiwhack Ranch

A. PROJECT INFORMATION

1. **Statement of Case:** This matter involves an appeal of the Planning Director's denial of Zoning Clearance Application No. ZC19-0684 (Exhibit 2) and Zoning Clearance Application No. ZC19-1390 (Exhibit 3) to partially abate violations outlined in Violation Case No. CV19-0100 (Exhibit 4) issued to the property owner, Billiwhack Ranch LLC, by the Code Compliance Division. The property owner was issued a Notice of Violation for construction and remodeling of structures and for the conversion of buildings from non-habitable to habitable uses on property that has a County cultural heritage Site of Merit designation without the required permits and authorizations from multiple County agencies, including the Planning and Building and Safety Divisions. The violations set forth in Violation Case No. CV19-0100 were not challenged by the property owner and are not the subject of this appeal.

The property owner submitted the subject Zoning Clearance applications with scopes of work that did not address the violations cited in the Notice of Violation and were found to be contrary to and inconsistent with the regulations of the Non-Coastal Zoning Ordinance (NCZO). The submitted plans include erroneous information and inaccurately identify the existing, legal uses of the buildings on the property. For these reasons, the Planning Director denied the requested Zoning Clearances. A more detailed discussion of the specific reasons for the denial is outlined below.

2. **Applicant/Appellant/Property Owner:** Billiwhack Ranch LLC, 3048 North Coolidge Avenue, Los Angeles, CA 90039
3. **Representative of the Applicant/Appellant/Property Owner:** Everett Woody, Angeli de Covolo, Inc., 122 E. Arrellaga Street, Santa Barbara, CA 93101 (Project Architect)
4. **Decision-Making Authority and Decision:** Pursuant to NCZO section 8111-7.2(a), your Commission is the decision-making body for the appeal. The appeal is de novo, or anew. This means your Commission is required to conduct a public hearing just as if the matter came to your Commission in the first instance pursuant to sections 8111-4 et seq. of the NCZO. Your Commission is not required to give any deference to the Planning Division's findings or decisions regarding the Zoning Clearance applications that are under appeal, or to the Planning Division's below-stated recommendations. Your Commission is free to make the same findings and decisions as Planning Division staff if, based on your Commission's independent judgment, your Commission finds them to be persuasive and supported by substantial

evidence in the record. While your Commission should consider the appeal points raised by the applicant, your Commission is not limited by them. Whether or not the appeal should be granted is a consequence of your Commission's final decision on the merits of the underlying matters, and not on the merits of the appeal points.

Your Commission must decide whether to approve or deny the Zoning Clearance requests pursuant to NCZO section 8111-1.1.1(b), which, among other things, requires an approval finding that the proposed land use, structure or construction "*is permissible under the present zoning on the land and complies with the standards of the [NCZO].*" The Planning Director could not make this finding because the proposed project is both inconsistent with the standards to issue a Zoning Clearance (NCZO sections 8111-1.1.1b(1) and (4)) and provisions in the NCZO governing the rebuilding of a nonconforming structure voluntarily removed, damaged, or destroyed (NCZO section 8113-6.1.2).

5. **Description of Zoning Clearance Application No. ZC19-0684 and Application for a Cultural Heritage Certificate of Appropriateness (Exhibit 2):** The applicant submitted a Zoning Clearance application and Cultural Heritage Certificate of Appropriateness application on June 19, 2019. Both applications include a request to: (1) reconstruct a 2,646-sq. ft. legal nonconforming "caretaker dwelling" which has had all of its walls and floors removed (Building H2); (2) remodel and repair the interior of a 17,310-sq. ft. "main residence" (Building 4); (3) remodel a 4,564-sq. ft. "caretaker dwelling" (Building 2); and (4) remodel a 2,385-sq. ft. "guest house" (Building H1). In addition to these buildings, the site plan illustrated six other existing agricultural buildings (Buildings 1A, 1, 3, 5, 6, and the Hammer Mill Barn) and three grain silos, none of which are a part of Code Compliance Division Violation Case No. CV19-0100. See the applicant's partial site plan in Section A.11, Figure 1, below.
6. **Description of Zoning Clearance Application No. ZC19-1390 (Exhibit 3):** This application, filed on December 19, 2019, includes a request to separate the interior remodel of the 17,310-sq. ft. "main residence" (Building 4) from the request in ZC19-0684 (scope of work Item No. 2 in Zoning Clearance Application No. ZC19-0684).
7. **Project Site Size, Location, and Parcel Numbers:** The project site is located at 2275 Aliso Canyon Road, in the unincorporated area near Santa Paula and is comprised of two Assessor's Parcel numbers (APNs) 064-0-130-145 and -125, with a combined acreage of 97.73 acres. The two APNs represent a single legal lot merged through Parcel Map Waiver No. 715, Large Lot Subdivision (Exhibit 5).

8. Project Site Land Use and Zoning Designations (Exhibit 5):

- a. Countywide General Plan Land Use Map Designation: Agricultural
- b. Zoning Designation: Agricultural Exclusive, 40-acre minimum lot size (AE-40ac)

9. Adjacent Zoning and Land Uses/Development (Exhibit 5):

Location in Relation to the Project Site	Zoning	Land Uses/Development
North	AE-40ac	Open space and agriculture crop production
South	AE-40ac	Agricultural crop production and agricultural related structures and dwellings
East	AE-40ac/OS-160ac	Agricultural crop production and agricultural related structures and dwellings
West	AE-40ac	Open space and agricultural crop production

10. Background and Permit/Violation History: The subject property is commonly known as the Billiwhack Ranch and is identified as a Ventura County Site of Merit in the Western Santa Clara Valley Historic Resources Survey, Phase V, dated July 1996, commissioned by the County of Ventura Resource Management Agency. The 1996 survey contains an evaluation of the subject property by Judy Triem, Historian, San Buenaventura Research Associates, that indicates the property appears to be eligible for listing in the National Register through the California Office of Historic Preservation for the role the Billiwhack Ranch played in the history of dairy farming and stock breeding in the Santa Clara Valley from 1925 through 1943 (Exhibit 6). The former stock farm and dairy complex included silos, dairy barns, milking barns, a creamery, and employee housing. Most of the existing buildings on the property were constructed between 1925 and 1926. These buildings are considered to be legally nonconforming since they were constructed prior to 1947, the date the County's Zoning Ordinance and Building Code were adopted.

The property has transferred ownership numerous times over the past 90 years but has always remained in agricultural use. Only a handful of building permits were issued after 1947, which consisted of electrical upgrades to the existing buildings. County records indicate that no building permits for new construction or conversion of the buildings have been issued for this property. The most recent transfer of ownership of the property occurred on December 20, 2018, to Billiwhack Ranch LLC, the applicant of the subject zoning clearances. County records show that on January 1, 2019, Billiwhack Ranch LLC leased the property to R.A. Cortez, Inc., a Los Angeles-based general building contracting company, for a 35-year period.

In early 2019, the Code Compliance Division received a complaint that the property was being used for a commercial/industrial business without the

required County permits or licenses. The Code Compliance Division issued a Courtesy Notice on March 25, 2019, advising the property owner of the alleged complaint. After the issuance of the Courtesy Notice, a considerable amount of communication occurred between the County and the property owner's representatives regarding the modifications made to several of the buildings on the property without the required County permits. On May 25, 2019, the Code Compliance Division conducted a site inspection of the property and found unpermitted construction on the property (Exhibit 7).

On June 19, 2019, the applicant's representative submitted Zoning Clearance Application No. ZC19-0684 (one of the Zoning Clearance applications subject of this appeal) and a Cultural Heritage Certificate of Appropriateness application to the Planning Division to obtain authorization for the unpermitted construction and conversion of uses on the property to resolve the issues identified in the complaint and during the site inspection.

On June 25, 2019, the Code Compliance Division issued a formal Notice of Violation to the property owner for the construction, rehabilitation, and conversion of structures on the property without the required County permits, as outlined in Exhibit 4 of this staff report.

On July 9, 2019, Planning Division staff issued a Correction Notice (Exhibit 8) for Zoning Clearance Application No. ZC19-0684 advising the applicant that in order to continue further review of the application, additional information was needed regarding the legal nonconforming status of the caretaker dwelling (Building H2), the proposed and existing uses for each building, the floor and elevation plans for each building, and the actual total acreage of crops on the property to verify the number of farmworker dwelling units allowed on the property.

On August 12, 2019, Zoning Clearance Application No. ZC19-0684 was reviewed by the Cultural Heritage Board which determined that an administrative Certificate of Appropriateness may be issued for one aspect of the proposed project – namely, the “stabilization and structural repair of the failing portion of [the creamery building] Building 4.” The Cultural Heritage Board determined that “*further information and analysis was needed to make a determination on the [rest] of the project.*” The Cultural Heritage Board also noticed several discrepancies on the submitted plans, such as a missing window on the elevation drawings on Building H1 and the incorrect window sizes/types on Building 2, and asked that these inconsistencies be corrected. The Cultural Heritage Board tabled the item until the applicant provided (1) an accurate set of plans and (2) an Historic Resources Report that included analysis of the project as a district, analysis of the project according to the Secretary of the Interior standards, and a list of character-defining features of all the buildings (Exhibit 9).

On August 13, 2019, in response to the Cultural Heritage Board's direction, Planning Division staff issued a second Correction Notice (Exhibit 10) for

Zoning Clearance Application No. ZC19-0684 advising the applicant that, among other corrections, the Cultural Heritage Board's requested changes must be reflected on the resubmitted plans. To date, the applicant has not resubmitted a revised project description or set of revised plans to address the August 13, 2019, Planning Division and August 12, 2019, Cultural Heritage Board's corrections regarding Zoning Clearance Application No. ZC19-0684.

On August 14, 2020, in response to the approval by the Cultural Heritage Board to make structural repairs to the creamery building (Building 4), the applicant submitted Zoning Clearance Application No. ZC19-0896. On the same day, at the request of the applicant's representative, the Planning Division issued an Early Plan Review Agreement to allow the applicant to submit the project plans to the Building and Safety Division pending approval of Zoning Clearance Application No. ZC19-0896. Subsequently, on August 29, 2019, Zoning Clearance Application No. ZC19-0896 (Exhibit 11), administrative Certificate of Appropriateness No. CH19-0027, and Building Permit No. B19-000857 (Exhibit 12) were issued to the applicant specifically for the repair of Building 4. No other construction or rehabilitation permits were issued for this property. Building Permit No. B19-000857 is still active and several inspections have been conducted for this repair by Building and Safety Division staff.

On September 9, 2019, the applicant's representative returned to the Cultural Heritage Board to apply for a Certificate of Appropriateness for the rest of the project (i.e., the "*rehabilitation [and conversion] of existing structures*" on the property) under Zoning Clearance Application No. ZC19-0684. However, the project description and site plan discrepancies had not been addressed by the applicant as requested in the July 9, 2019 and August 13, 2019 Correction Notices (Exhibits 8 and 10, respectively). Additionally, the applicant's representative explained that the property owner opted not to provide a Historic Resources Report for the project, as required by the Cultural Heritage Board at its August 12, 2020 meeting, because the applicant stated, "*the bids for the report were coming in too high.*" Based upon the information and testimony presented at its September 9, 2019 meeting, the Cultural Heritage Board denied the applicant's request for a Certificate of Appropriateness (Exhibit 13).

On September 24, 2019, the Code Compliance Division recorded a Notice of Noncompliance against the property for the outstanding violations (Exhibit 14). From the end of September 2019 until December 19, 2019, the applicant did not communicate with the Planning Division nor the Code Compliance Division regarding the pending Zoning Clearance Application No. ZC19-0684 or the outstanding violations.

Then, on December 19, 2019, the applicant's representative submitted another Zoning Clearance application to the Planning Division (Application No. ZC19-1390 (Exhibit 3), the second Zoning Clearance application subject to this appeal) to separate out the proposed interior remodel of the 17,310-sq. ft. "main residence" (Building 4) from Zoning Clearance Application No. ZC19-0684. The

next day, on December 20, 2019, the applicant's representative requested and received an Early Plan Check Agreement from the Planning Division for Zoning Clearance Application No. ZC19-1390 to allow the applicant to submit the project plans to the Building and Safety Division pending approval of the project from the Planning Division. Later this same day, the Planning Division issued a Correction Notice (Exhibit 15) advising the applicant's representative that the Cultural Heritage Board "*formally denied a request for approval of a Certificate of Appropriateness ... for the rehabilitation of existing structures*" (including the interior remodel of Building 4) and, therefore, the Zoning Clearance Application No. ZC19-1390 could not be issued until the project, as a whole, complied with the County's Cultural Heritage Ordinance.

On February 13, 2020, the Code Compliance Division staff met with the applicant's representative to discuss the creamery building (Building 4). Code Compliance Division staff explained to the applicant's representative that they could not substantiate that the creamery building was ever legally a single-family dwelling and requested permission to obtain the property's residential building records from the County Assessor's Office to confirm.

On March 16, 2020, the Planning, Building and Safety, and Code Compliance Divisions held a coordination meeting with the applicant's team which was also attended by the Planning Director. County staff requested that the applicant attend these meetings either in person or by conference call to ensure the permitting challenges could be fully discussed. The applicant failed to attend. At this meeting, the applicant's representatives were advised that a revised project description was needed to accurately reflect the existing and proposed uses and to show compliance with the NCZO regulations prior to resubmitting an application for a permit. The representatives were also advised that once a precise project description was developed by the applicant and reviewed by the Planning Division, the Planning Division staff would advise the applicant on the correct permits to apply for in accordance with the provisions of the NCZO. Further, the representatives presented a "draft" Historic Resources Report prepared by San Buenaventura Research Associates, dated March 11, 2020, which the representatives stated resolved the historic analysis of the site and would therefore implicate the State Historic Building Code. Planning Division staff stated that the report would need to be evaluated by the Cultural Heritage Board and asked when the property owner would provide a "final" report to the Planning Division. To date, no final report has been submitted.

On April 3, 2020, the Planning Director advised the applicant's representative by email that the California Historic Building Code (HBC) may be applied to those structures that qualify under this code, since the property is identified as eligible for listing as a district on the National Register of Historic Places (see Exhibit 6) pursuant to Historic Building Code section 18955. Although the applicant may use the HBC in the design and construction of the project for purposes of building code compliance, the project must still conform to the

current zoning and land use regulations of the County, including any required land use permits.

On April 14, 2020, the applicant was sent a denial letter for the subject Zoning Clearance applications (Application Nos. ZC19-0684 and ZC19-1390), which included detailed reasons for the denial and provided potential solutions to comply with the regulations of the NCZO (Exhibit 16). The applicant filed a timely appeal of the Planning Director's decision to deny the Zoning Clearance applications on April 20, 2020 (Exhibit 17) in accordance with NCZO section 8111-7.

- 11. Discussion:** As explained above, the subject Zoning Clearance applications indicate that the property is developed with four dwelling units totaling 27,399 sq. ft. in gross floor area (identified as Buildings 2, 4, H1, and H2 on the site plan), six agricultural accessory buildings totaling 39,060-sq. ft. in gross floor area, three grain silos, and is planted with 82.50 acres of crops. See Figure 1 below.

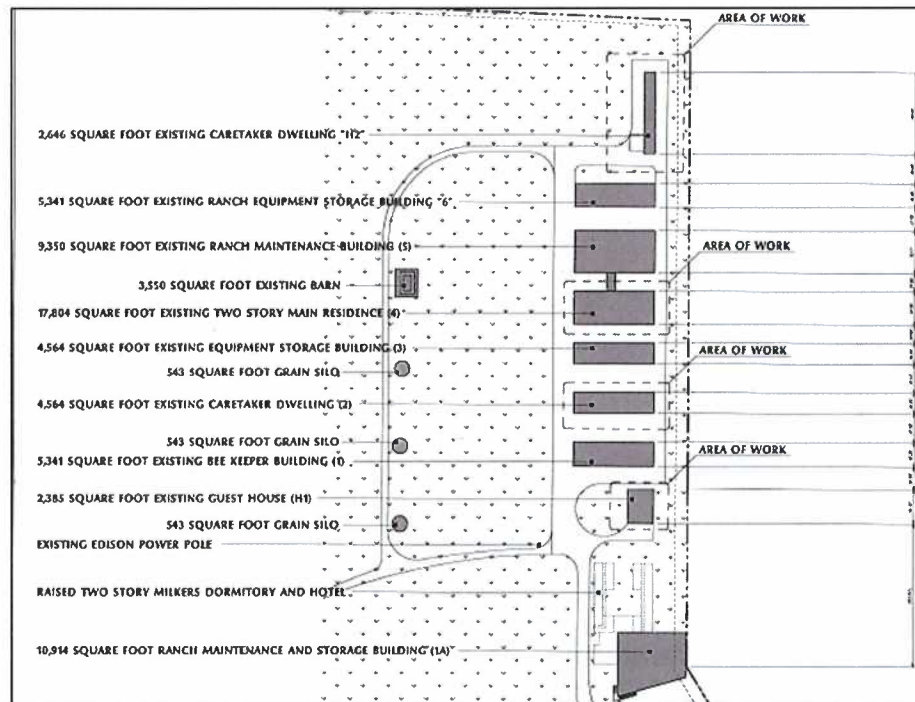
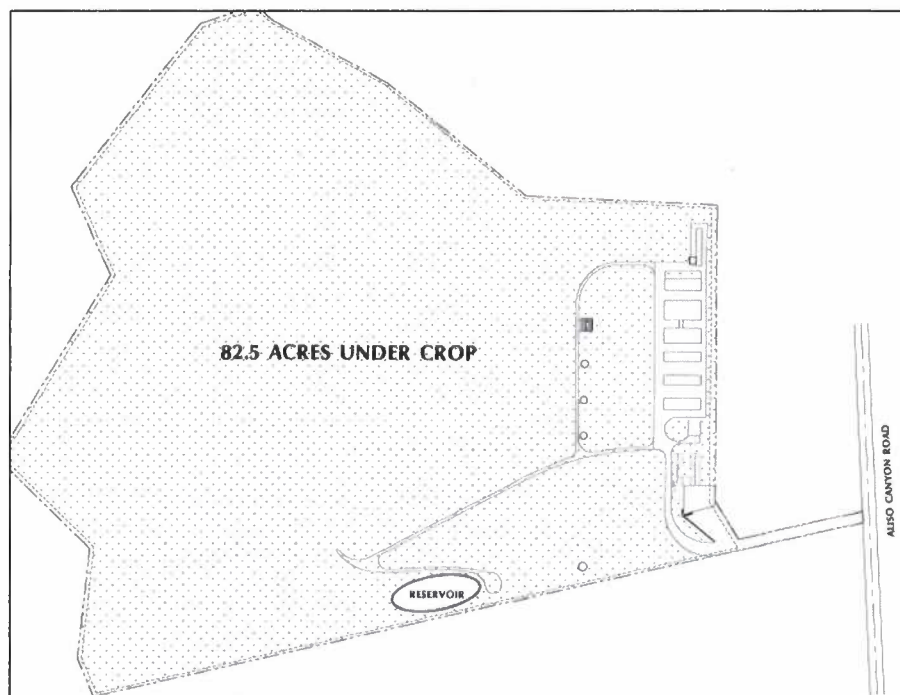


Figure 1 – Applicant's June 2019 Partial Site Plan

However, County building permit records, Assessor records, and the California Department of Parks and Recreation District Record (DPR) confirm that the property was developed with and still contains two dwelling units (identified as Buildings H1 and H2 on the site plan) totaling 4,992 sq. ft., a two-story agricultural creamery building (identified as Building 4 on the site plan), seven additional agricultural buildings totaling 37,613 sq. ft., and three grain silos.

Since the property owner demolished all of the walls and the floor of the 2,646-sq. ft. legal nonconforming caretaker dwelling (identified as Building H2 on the site plan), only one legal dwelling of 2,352 sq. ft. (identified as Building H1 on the site plan) remains on the property. (Refer to Exhibit 16 and its attachments.) The Planning Division considers Building H1 to be the principal dwelling on the property.

In addition, the applicant's Zoning Clearance applications indicate that there are 82.50 acres of crops planted on the property and, therefore, the property qualifies for two farmworker dwelling units (i.e., one per 40 acres of crops). See applicant's crop production plan in Figure 2 below.



**Figure 2 – Applicant's Crop Production Plan
June 2019**

However, using the County's Geographical Information System (GIS), Planning Division staff found that in 2019 the property had approximately 56 acres of crop production, contradicting the 82.50 acres indicated on Zoning Clearance Application No. ZC19-0684. With only 56 acres of crops planted, only one farmworker dwelling unit is allowed on the subject property. The subject property's zoning designation of AE-40 acres allows a principal dwelling, an accessory dwelling unit of 1,800 sq. ft. (NCZO section 8107-1.7.2(a)(3)), and a maximum of 1,800 sq. ft. farmworker dwelling unit for each 40 acres of planted orchards or row crops (NCZO sections 8107-26.1 and 8107-26.2) to be permitted with a ministerial Zoning Clearance.

The decision to deny the Zoning Clearance applications is based upon the inability to make the necessary findings to issue a Zoning Clearance pursuant

to NCZO sections 8111-1.1.1b(1) and (4), including the inability to make a finding for consistency with the nonconforming provisions of NCZO section 8113-6.1.2. NCZO section 8113-6.1.2 (Nonconformities and Substandard Lots) states:

"Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of more than 50 percent of its floor or roof area which existed before destruction, no structural alterations, repairs or reconstruction shall be made unless every portion of such structure and the use are made to conform to the regulations of the zone classification in which they are located."

As mentioned above, the existing caretaker dwelling unit (Building H2), one of the two legal nonconforming dwellings on the property, was *voluntarily* demolished without County permits by removing all the building's walls and the floor, leaving only a steel frame supporting a concrete roof. (See Exhibits 6 (Historic Survey of Building H2) and 18 (Photographs)). For this reason, the existing caretaker dwelling unit has lost its nonconforming status as a dwelling pursuant to NCZO section 8113-6.1.2. The request to reestablish and reconstruct this structure as a farmworker dwelling unit was denied by the Planning Director because, as proposed, it does not "conform to the regulations of the zone classification in which [it is] located." Specifically, the proposed structure exceeds the 1,800-sq. ft. maximum size of a ministerial farmworker dwelling unit pursuant to NCZO section 8107-26.2, and would require a Conditional Use Permit rather than a Zoning Clearance, and would exceed the number of dwellings allowed on the property.

The proposed project is also not in compliance with NCZO sections 8111-1.1.1b(1) and (4) which state:

"b. Zoning Clearance: Issuance Of - A Zoning Clearance shall be issued if the proposed use of land, structures, or construction:

- (1) Is permissible under the present zoning on the land and complies with the standards of Division 8, Chapter 1 and 2 of the Ordinance Code;*
- (4) Is not located on the same lot where a violation exists of standards found in said Chapters 1 and 2 or of any Ventura County Ordinance regulating land use, such as the Ventura County Building Code or any grading ordinance, or of the terms of an existing permit covering the lot, unless the Zoning Clearance is necessary for the abatement of the existing violation.*

The number and size of dwellings proposed do not comply with the standards of NCZO section 8111-1.1.1b(1). In addition to the size discrepancy with the proposed farmworker dwelling unit, the creamery building (Building 4 on the site plan) is incorrectly labeled on the plans as an existing "main residence," although it has never been legally permitted as a dwelling and should be correctly identified as a "conversion" of an agricultural building to a single-family dwelling, not a remodel of an existing dwelling unit. The request to convert the

creamery building to the principal dwelling and utilize the legal, existing principal dwelling unit (Building H1 on the site plan) as an accessory dwelling unit was denied because the existing principal dwelling unit is 2,352 sq. ft. and exceeds the maximum size allowed for an accessory dwelling unit. In addition, the site plan indicates that only an interior remodel of the creamery building is required to convert it to a single-family dwelling. However, photographs taken by the Code Compliance Division show that numerous doors and windows, including framing, must be replaced to make the creamery building habitable pursuant to the Building Code (Exhibit 19).

The request to remodel the legal, existing principal dwelling unit (Building H1) cannot be approved at this time because, pursuant to NCZO section 8111-1.1.1.b(4), a Zoning Clearance cannot be issued for a structure on the same lot where violations exist. While the remodel of Building H1 was not part of the confirmed Violation Case No. CV19-0100, a Zoning Clearance cannot be issued for any new projects on the property (such as the remodel of Building H1) until all the violations outlined in Violation Case No. CV19-0100 have been abated.

County building permits, Assessor records, and the DPR confirm that Building 2 on the plans is an historic barn, not a legal "caretaker" dwelling unit. The request to remodel the barn as an existing dwelling unit was denied because the Planning Division determined that the conversion of the barn in a nonresidential zone (i.e., AE Zone) to an accessory dwelling unit is not allowed since the barn exceeds 1,800-sq. ft, the maximum size allowed for an accessory dwelling unit (NZCO section 8107-1.7) or a ministerial farmworker dwelling unit (NCZO section 8107-26).

B. CALIFORNIA ENVIRONMENTAL QUALITY ACT COMPLIANCE

The applicant is appealing the Planning Director's denial of two Zoning Clearance applications (Exhibits 2 and 3) to partially abate violations cited in Violation Case No. CV19-0100 (Exhibit 4) which consists of the construction and demolition of structures and for the conversion of buildings from non-habitable to habitable uses on property that has a County cultural heritage Site of Merit designation without the required County permits and authorizations. The California Environmental Quality Act (CEQA) does not apply to a public agency's denial or disapproval of a requested land use project or permit. (Public Resources Code ("PRC"), § 21080(b)(5).) A decision by your Commission to deny the applicant's requested Zoning Clearance applications would therefore not be subject to CEQA.

CEQA also does not apply to a public agency's approval of a ministerial permit or project. (PRC, § 21080(b)(1).) A decision by your Commission to approve the applicant's requested Zoning Clearance applications would therefore not be subject to CEQA. That said, the Planning Division recommends that the

Zoning Clearance applications not be approved until a revised, accurate project description is submitted for review that shows it is consistent with the regulations of the NCZO. Once a revised project description is defined, the Planning Division can advise which permit applications are necessary to file. If the revised project description requires a discretionary permit (e.g., Conditional Use Permit or Planned Development Permit), CEQA review would be required.

C. APPLICANT'S GROUND OF APPEAL AND CORRESPONDING PLANNING DIVISION STAFF RESPONSES

The applicant's ground of appeal is provided verbatim from the appeal application, in *italics* below (Exhibit 17). Following the ground of appeal is Planning Division staff's response.

Ground of Appeal

Applicant's Statement: *The County has conceded that the Historical Building Code ("HBC") applies to this Project. Also confirmed by the State Historical Building Safety Board. However, the Planning & Building Dept. elected to disregard the required application of the HBC including, but not limited to, Sections 8-101.2 & 8-302.2. The required application of the CHBC prohibits the action taken. See attached letter from State Historical Board dated 4/2/20; Email from Dave Ward to Everett Woody dated 4/3/20; Email from James H. Smith to Marina Porche dated 4/3/20 and; Ventura Heritage Board Minutes of 8/12/19, Item 3b, staff recommendation to approve the Certificate of Appropriateness.*

Planning Division Staff's Response to Ground of Appeal:

The Planning Division did not disregard the application of the HBC but rather determined that the provisions of the HBC do not preempt the requirements of the NCZO as they apply to this project.

The HBC comprises one of thirteen parts of the California Building Standards Code, the latter of which is codified in the California Code of Regulations, Title 24. (Preface to the 2016 CHBC.) The legislative history of the HBC indicates that the origin of the code can be traced to December 1973 when the DPR "expressed a need for a new building code to meet the intent of protecting the public health and safety and also retain 'enough flexibility to allow restoration of a Historic feature while still retaining its Historic integrity.'" (Historical Preface to the 2016 HBC.) The HBC is "unique in that [its regulations] are performance oriented rather than prescriptive." (Preface to the 2016 HBC.)

"The purpose of the [HBC] is therefore clear, to allow, in the case of qualified historical buildings, alterations which otherwise would not meet the standards of the regular prevailing building code, such as the Uniform Building Code." (*Prentiss v. City of South Pasadena* (1993) 15 Cal.App.4th 85, 96-97.) As the

HBC itself states, "[t]he HBC may be used in conjunction with the regular code¹ to provide solutions to facilitate the preservation of qualified historical buildings or properties." (Cal. Code Regs., tit. 24, § 8-102.1.)

The HBC operates in conjunction with other California building codes, not as a replacement for all other laws of general application, or local land use rules enacted by way of the police power under the California Constitution, such as the NCZO. The HBC simply provides certain exceptions to California building code standards whose application would otherwise hinder the preservation of historic buildings. (See Miller & Star 7 Cal. Real Est. § 25:18 (4th ed.) ["If the owner is seeking to preserve this historical character, the local building department must allow application of the alternate provisions of the [HBC] in allowing repairs, alterations, and additions necessary for preservation, reconstruction, and continued use of the building or structure, as distinguished from the usual requirements of the State Building Code."]) Thus, the HBC does not preempt the NCZO but rather supplants the governing building code where the HBC's provisions may apply.

The subject property has local and potentially national historical significance as confirmed by the State Historical Building Safety Board on April 2, 2020 (Exhibit 20). The buildings proposed to be restored and converted to other uses are considered qualified historical buildings as defined in the HBC and therefore the HBC may be applicable to this project. The County Building Official agrees that the HBC may be used² in the design and construction of the restoration of the qualifying historic portion of the property as identified in the property's 1995 Historic Resources Survey. (See Exhibit 6.)

The Planning Director's decision to deny applications for ministerial land use permits (e.g., Zoning Clearances) arises from the County's general police powers. This power allows cities and counties to establish land use and zoning laws which govern the development and use of the community. A county has the police power to protect the public health, safety, and welfare of its residents. This right is set forth in the California Constitution, which states "*A county or city may make and enforce within its limits all local, police, sanitary, and other ordinances and regulations not in conflict with general laws.*" (Cal. Const. at XI, section 7.) The ability to enact ordinances to protect the health, safety, and welfare is important in the land use context because it confers very broad rights to adopt regulations that implement local land use vision and values, so long as laws enacted by a city or county are not in conflict with state general laws. In short, the first step in the land use permitting process is to verify with the Planning Division whether the proposed project conforms to the zoning and

¹ The HBC defines the "regular code" as "[t]he adopted regulations that govern the design and construction or alteration of nonhistorical buildings and properties within the jurisdiction of the enforcing agency." (Cal. Code Regs., tit. 24, § 8-201.)

² It is worth noting that the use of the HBC is not under the jurisdiction of the Planning Division, which regulates zoning and other land use matters, but rather is determined by the Building and Safety Division which is considered the local enforcing agency in applying the provisions of the HBC.

land use laws, and whether it involves discretionary or ministerial approval. The next step is to obtain building permits for the proposed project from the Building and Safety Division where, as stated above, the HBC may come in to play.

The applicant's statement that "*the Planning & Building Dept. elected to disregard the required application of the HBC including, but not limited to, Sections 8-101.2 & 8-302.2. The required application of the CHBC prohibits the action taken*" is inaccurate since the County has not denied the applicant's ability to use the HBC. However, the HBC does not prohibit the actions taken by Planning, including the denial of the Zoning Clearance applications at issue, because the HBC does not trump the provisions of the NCZO, which the instant applications fail to comply with (see analysis in section A(11), above). The HBC does not dictate what is permissible on the property under present zoning standards, nor does it allow the issuance of Zoning Clearances on a property with existing violations unless the project is necessary to abate such violation. These are all requirements set by the NCZO and adopted by the Board of Supervisors. And the fact that the subject Zoning Clearance applications fail to comply with the NCZO preclude their approval.

Therefore, the applicant's ground of appeal lacks merit.

D. APPLICANT'S RECOMMENDED ACTIONS

The applicant requests that your Commission take the following actions which are provided verbatim from the appeal application, in *italics* below (Exhibit 17):

Applicant's Recommended Actions: *The the [sic] Board direct the Planning & Building Dept. to: (1) Apply the 2019 California Historical Building Code to Project; (2) Reinstate the Building Permit for the structural repair; (3) The Building Dept. be directed to proceed with the Plan Check and; (4) Zoning Clearance for the Project be approved.*

Planning Division Staff's Response to Applicant's Recommended Actions:
Planning Division staff responds to the applicant's recommended actions in the order provided above:

- (1) As explained in Section C of this staff report, because the buildings proposed to be restored and converted are considered qualified historical buildings under the HBC, that code may be applied in the design/construction of the restoration of the qualifying historic portion of the property to meet building code requirements. (See Exhibit 6.)
- (2) According to Building and Safety Division permit records, Building Permit B19-000857, issued on August 29, 2019, for structural repairs to the creamery building (Building 4) has not been revoked and is still active.
- (3) Planning Division staff presumes that the "plan check" the applicant refers to is related to Zoning Clearance Application No. ZC19-1390 for the interior remodel of the "main residence" (i.e., Building 4, creamery building). An

Early Plan Check Agreement was requested by the applicant and issued by the Planning Division so that the applicant could submit building plans for the remodel to the Building and Safety Division pending approval by the Planning Division. This is a courtesy agreement when requested by an applicant that allows an applicant to start the building plans review process such that, in the event a Zoning Clearance is issued, the applicant can simultaneously obtain a Building Permit without considerable delay. The Early Plan Review Agreement is not a guarantee that a Zoning Clearance or Building Permit will be issued. The agreement specifically states – *"I understand that no Building Permit will be issued until ... a Zoning Clearance has been issued."* The applicant's representative was fully aware of the implications of submitting plans to the Building and Safety Division for plan check under an Early Plan Review Agreement prior to obtaining zoning approval. Therefore, because this project as proposed cannot receive zoning approval, for the reasons set forth in Sections A(11) and C of this staff report, the building plan check has been suspended until the applicant can present a project that comports with the requirements of the NCZO.

- (4) For the Planning Commission to approve the applicant's Recommended Action No. 4, your Commission would need to find that the proposed project subject of the requested Zoning Clearance applications is consistent with standards to issue a Zoning Clearance pursuant to NCZO sections 8111-1.1.1.b(1) and (4) and the provisions related to rebuilding a nonconforming structure voluntarily removed, damaged or destroyed pursuant to NCZO section 8113-6.1.2. To do so, your Commission would need to determine that the number and size of dwellings proposed complies with the standards of the NCZO, the uses labeled on the applicant's site plan are accurate and no conversion of uses is proposed and the remodeling of the legal and existing principal dwelling (Building H1) on the property is necessary to abate the violations identified in Violation Case No. CV19-0100. The Planning Director could not make these findings based on the information contained in Sections A(11) and C of this staff report.

E. PLANNING COMMISSION HEARING NOTICE AND PUBLIC COMMENTS

Planning Division staff provided public notice regarding the August 27, 2020, Planning Commission hearing in accordance with NCZO section 8111-3.1. Planning Division staff mailed notice to owners of property within 300 feet of the subject property and placed a legal ad in the Ventura County Star on August 17, 2020. As of the date of this document, Planning Division staff has not received any public comments regarding the appeal.

F. APPEAL FEES

Pursuant to the current Board of Supervisors-adopted Planning Division Fee Schedule, if any appeal is fully upheld, all fees paid by the applicant shall be refunded. If the appeal is upheld in part, the decision-making body hearing the appeal shall determine at the time the decision is rendered what portion of the appeal charges should be refunded to the applicant. Therefore, should your Commission uphold this appeal in part, your actions must include a determination regarding the appropriate refund to the applicant, if any.

G. PLANNING DIVISION STAFF'S RECOMMENDED ACTIONS

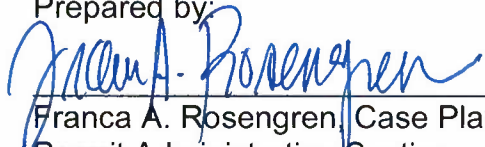
Planning Division staff recommends that your Commission take the following actions:

1. **CERTIFY** that your Commission has reviewed and considered this staff report and all exhibits thereto, and all evidence and testimony received during the hearing;
2. **FIND** that this project is statutorily exempt from CEQA pursuant to sections 21080(b)(1) and 21080(b)(5) of the Public Resources Code;
3. **DENY** Zoning Clearance Application No. ZC19-0684 (Exhibit 2) and Zoning Clearance Application No. ZC19-1390 (Exhibit 3), **DENY** related Appeal No. PL20-0032 (Exhibit 17) and decline to refund any appeal fees; and
4. **SPECIFY** that the Clerk of the Planning Commission is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location of the documents and materials that constitute the record of proceedings upon which this decision is based.


Each of the Commission's decisions is final unless appealed to the Board of Supervisors within 10 calendar days (or on the following workday if the 10th day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision(s) with the Planning Division. The Planning Division shall then set a hearing date before the Board of Supervisors at the earliest convenient date.

If you have any questions concerning the information presented above, please contact Ms. Franca A. Rosengren, case planner, at (805) 654-2045 or Franca.Rosengren@ventura.org.

Prepared by:


Franca A. Rosengren, Case Planner
Permit Administration Section
Ventura County Planning Division

Reviewed by:


Dave Ward, AICP, Director
Ventura County Planning Division

EXHIBITS

- Exhibit 2 – Zoning Clearance Application No. ZC19-0684
- Exhibit 3 – Zoning Clearance Application No. ZC19-1390
- Exhibit 4 – Notice of Violation CV19-0100
- Exhibit 5 – Aerial Location, General Plan and Zoning Designation
- Exhibit 6 – Historic Resources Survey District Record for the Property dated 1995
- Exhibit 7 – Code Compliance Division Photographs of Site Inspection
- Exhibit 8 – July 9, 2019 Correction Notice #1 for Zoning Clearance Application No. ZC19-0684
- Exhibit 9 – August 12, 2019 Cultural Heritage Board Meeting Minutes
- Exhibit 10 – August 13, 2019 Correction Notice #2 for Zoning Clearance Application ZC19-0684
- Exhibit 11 – Zoning Clearance Application No. ZC19-0896
- Exhibit 12 – Building Permit No. B19-000857
- Exhibit 13 – September 9, 2019 Cultural Heritage Board Meeting Minutes
- Exhibit 14 – Notice of Noncompliance, CV19-0100
- Exhibit 15 – December 20, 2019 Correction Notice #1 for Zoning Clearance Application ZC19-1390
- Exhibit 16 – April 14, 2020 Notice of Denial of Zoning Clearances
- Exhibit 17 – Applicant's Appeal Form
- Exhibit 18 – Code Compliance Division Photographs of Caretaker Dwelling Unit (Building H2)
- Exhibit 19 – Code Compliance Division Photographs of Creamery Building (Building 4)
- Exhibit 20 – April 2, 2020 Letter from the State Historical Building Safety Board to James H. Smith, Esq.



Zoning Clearance Application

County of Ventura • Resources Management Agency • Planning Division
800 S. Victoria Ave., Ventura, CA 93009 • (805)654-2488 • www.vcrma.org/divisions/planning

Applicant Provided Information

Owner's Name: Billiwhack Ranch, LLC

Phone: 323.663.9898 Cell: 213.308.0014 Email: rick@racdb.com

Owner's Address: 3048 North Coolidge Avenue, Los Angeles, CA Zip 90039

Applicant's Name: Everett Jay Woody or Gil Garcia

Phone: Cell: 805.452.2999 Email: ejw@adcarch.com

Applicant's Address: 122 E. Arrellaga Street, Santa Barbara, CA Zip 93101

Site Address: 2275 Aliso Canyon Road

Cross Streets: Foothill Road & Aliso Canyon Road

Assessor Parcel No(s): 064-0-130-125 and 064-0-130-145

Proposed Use/Structure 1: Main Residence (Building 4)

Proposed Use/Structure 2: Guest House (Building H1)

Proposed Use/Structure 3: Caretaker Dwellings (Building 2 and Building H2)

No. of Existing Bedrooms: 12 Proposed Additional Bedrooms: 15

No. of Existing Covered Parking Spaces (carport/garage): 1

No. of Existing Uncovered Parking Spaces Marked: 0

No. of Protected Trees (see Sec. 8107.25) within 50' of the limits of the construction area: 0

Written Homeowner Association approval: (attached if applicable) ☒ N/A

Certificate of Appropriateness for designated Historic Landmarks or Sites of Merit: (attached if applicable) ☐ N/A

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 2 - Zoning Clearance
Application No. ZC19-0684

Page 2, Zoning Clearance Application Form

For Office Use

Applicant Name: Everett Woody, Angeli de Covolo, Inc.

Date Received:

Lot Size: Irregular sq. ft. 97.73 acres

Violation: Legal Lot Status:

Zoning: AE-40 Overlay Zone: None

General Plan Land Use Designation: None

Area Plan Land Use Designation: Agriculture

Sq. ft. of Gross Floor Area Ministerially Allowed for Structure: All structures completed 1926

On site hazards: None

DEVELOPMENT DATA TABLE
Applicant Provides Information

Existing Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Main Residence (Building 4)	7,413	17,310
Orchard	82.5 acres	82.5 acres
TOTALS	7,207	17,310

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Guest House (Building H1)	2,352	2,352
Caretaker Dwelling (Building 2)	4,564	4,564
Caretaker Dwelling (Building H2)	2,646	2,646
3 Grain Silos	1,629	1,629
Hammer Mill (H/M)	1,775	3,550
TOTALS	12,966	14,741

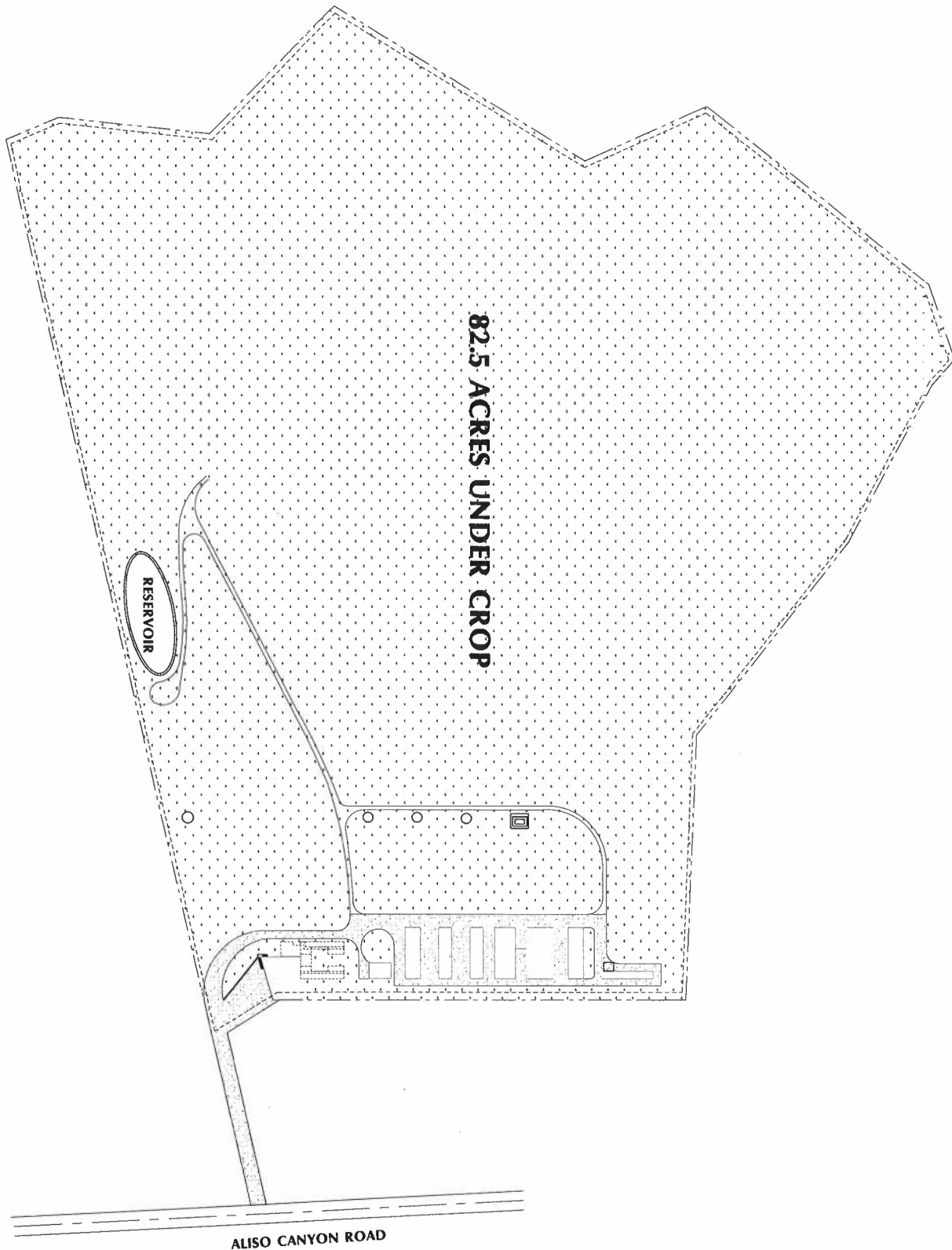
Proposed Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
TOTALS		

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Storage and Maintenance (Building 1A)	10,914	10,914
Bee Keeper (Building 1)	5,341	5,341
Equipment Storage (Building 3)	4,564	4,564
Ranch Maintenance (Building 5)	9,350	9,350
Ranch Equipment Storage (Building 6)	5,341	5,341
TOTALS	35,510	35,510

Angeli de Covolo, Inc.
122 E. Arreaga Street
Santa Barbara, California 93101
805 452 2999

PROJECT DATA

- 



SITE PLAN

GENERAL NOTES

KEY NOTES

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93100
BILLIWHACK RANCH RENOVATION

NO.	REVISION	DATE
1		
2		
3		
4		



Angel de Covelo, Inc.
122 E. Arreola Street
Santa Barbara, California 93101
805 452 2959

A-2

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,804 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT GRAIN SILO

EXISTING EDISON POWER POLE

RAISED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

AREA OF WORK

AREA OF WORK

AREA OF WORK

ENLARGED SITE PLAN

KEY NOTES

EXISTING BUILDING FLOOR AREAS

STORAGE AND MAINTENANCE BUILDING (1A)	10,914 SQUARE FEET GROSS
GUEST HOUSE BUILDING (H1)	2,385 SQUARE FEET GROSS
BEE KEEPER BUILDING (1)	5,341 SQUARE FEET GROSS
CARETAKER DWELLING BUILDING (2)	4,564 SQUARE FEET GROSS
EQUIPMENT STORAGE BUILDING (3)	4,564 SQUARE FEET GROSS
TWO STORY MAIN RESIDENCE (4)	17,310 SQUARE FEET GROSS
RANCH MAINTENANCE BUILDING (5)	9,350 SQUARE FEET GROSS
RANCH EQUIPMENT STORAGE BUILDING (6)	5,341 SQUARE FEET GROSS
CARETAKER DWELLING (H2)	2,646 SQUARE FEET GROSS
HAMMER MILL BARN	3,550 SQUARE FEET GROSS
THREE GRAIN SILOS TOTAL	1,629 SQUARE FEET GROSS
TOTAL	67,561 SQUARE FEET GROSS

SITE STATISTICS

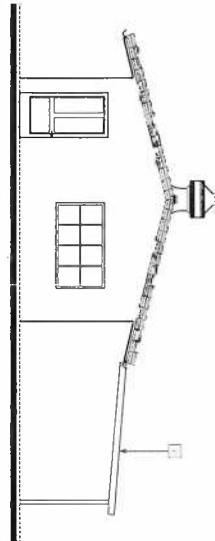
TOTAL BUILDING COVERAGE	55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA	607,912 SQUARE FOOT GROSS
AREA UNDER CROP	3,593,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA	4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES

BUILDING DENSITY CALCULATIONS

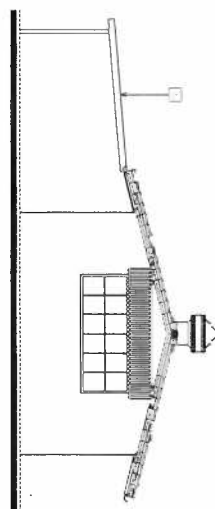
TOTAL BUILDING COVERAGE	55,683 SQUARE FOOT GROSS
TOTAL SITE AREA	4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.31 LESS THAN 5% ALLOWED.	

GENERAL NOTES

1. VERIFY ALL PROPERTY LINES VERIFY ANY DISCREPANCY CHANGES WITH THE ARCHITECT PRIOR TO CONSTRUCTION
2. ALL ITEMS NOT REFERRED TO AS EXISTING ARE TO BE REFERRED TO AS NEW.



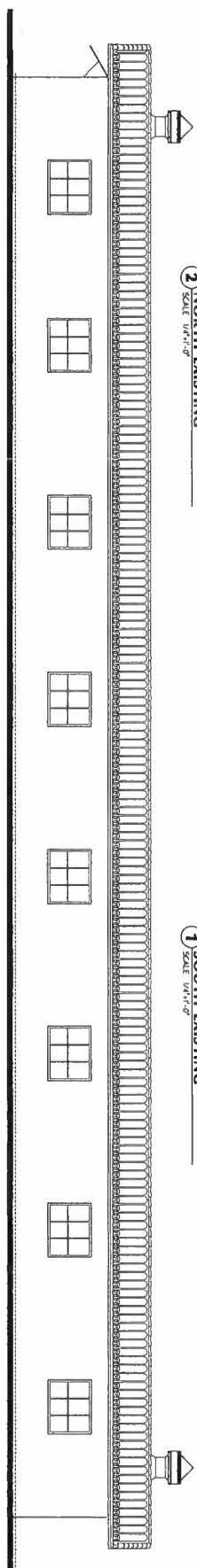
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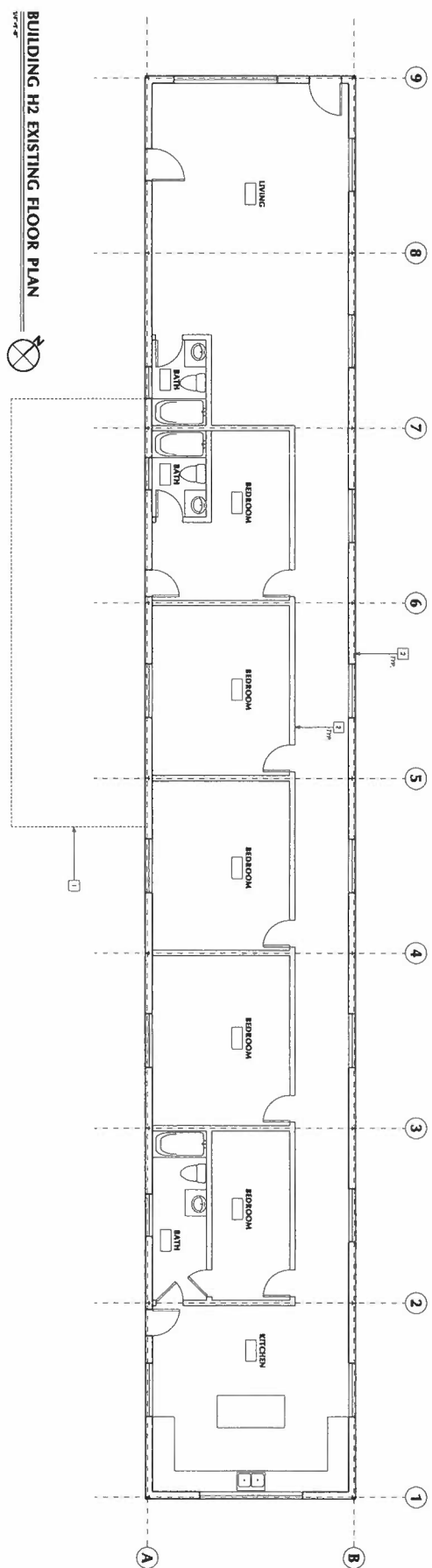
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GENERAL NOTES

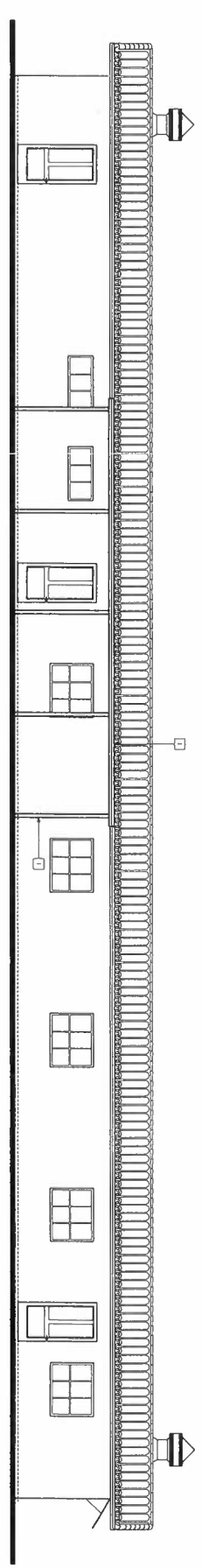
- KEY NOTES**
- 1. EXISTING AND REMAINING ARCHITECTURAL ELEMENTS AND DETAILS
 - 2. NEW SLATED ROOF AND 2x6 STUDS AND 2x8 JOISTS



3 EAST EXISTING
SCALE 1/4" = 1'-0"



BUILDING H2 EXISTING FLOOR PLAN
SCALE 1/4" = 1'-0"



4 WEST EXISTING
SCALE 1/4" = 1'-0"

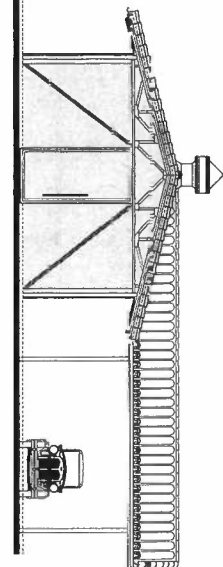


Angeli de Covelo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805.452.2000

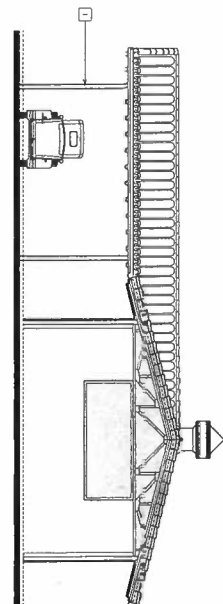
SHEET CONTENTS
BUILDING H2
EXISTING FLOOR PLAN ELEVATION
BILLIWHACK RANCH RENOVATION

NO.	REVISION	DATE

A-4
2775
06.11.2018



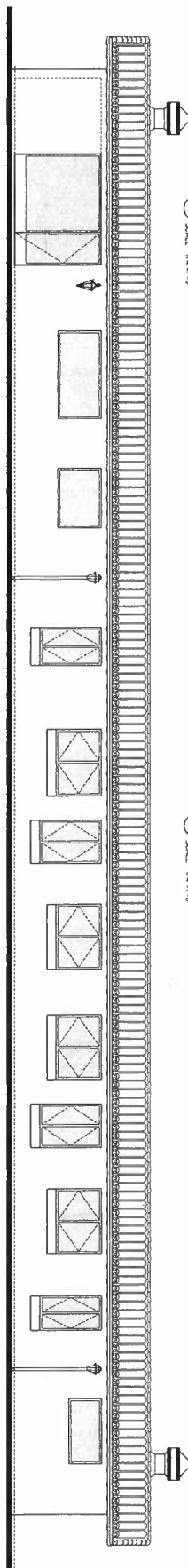
2 NORTH
SCALE 1/4"=1'-0"



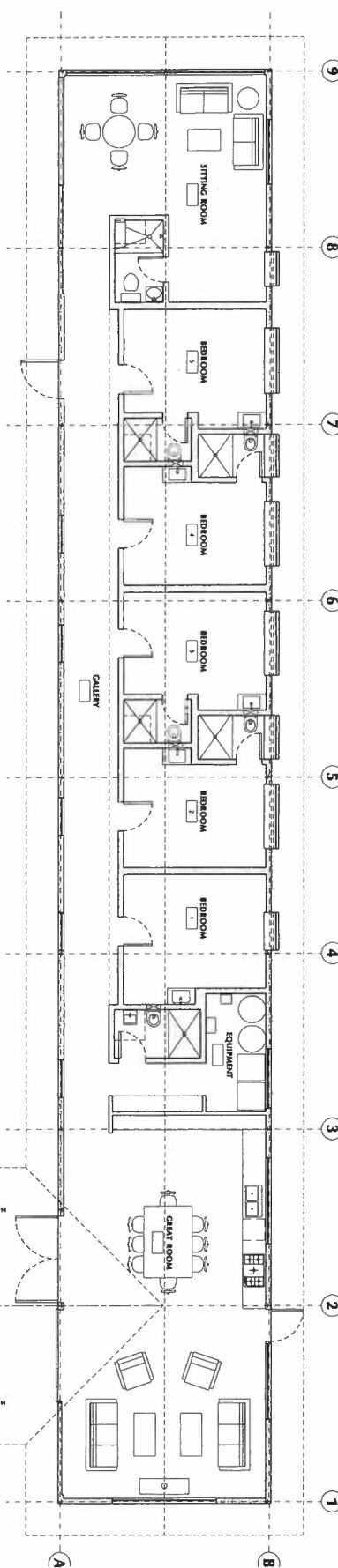
1 SOUTH
SCALE 1/4"=1'-0"

GENERAL NOTES

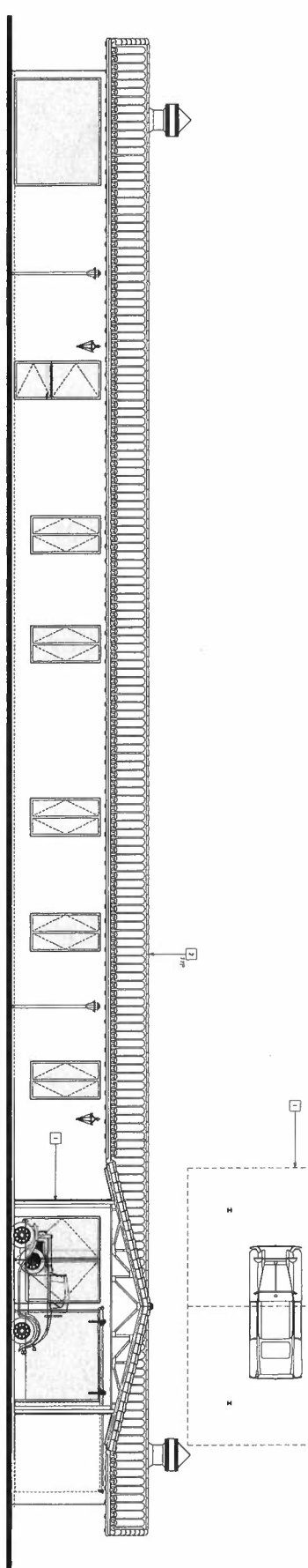
- 1. REPOSED CARPORT: TRUCKS TO PARKING LOTTING.
- 2. EXISTING T&E ROOM SHALL BE RE-INSTALLED.



3 EAST
SCALE 1/4"=1'-0"



4 WEST
SCALE 1/4"=1'-0"



BUILDING H2 FLOOR PLAN
SCALE 1/4"=1'-0"

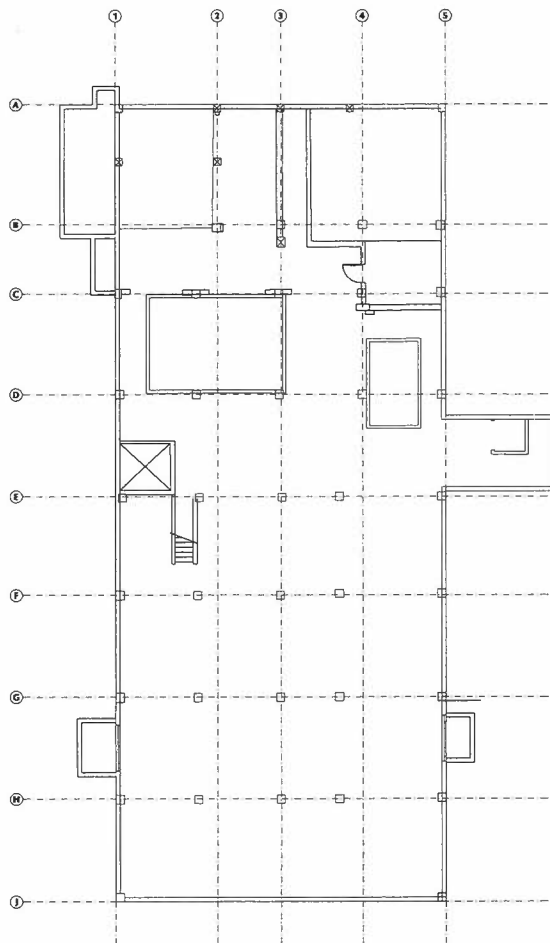


Angeli de Covolo, Inc.
122 E. Arcadia Street
Santa Barbara, California 93101
805.452.2899

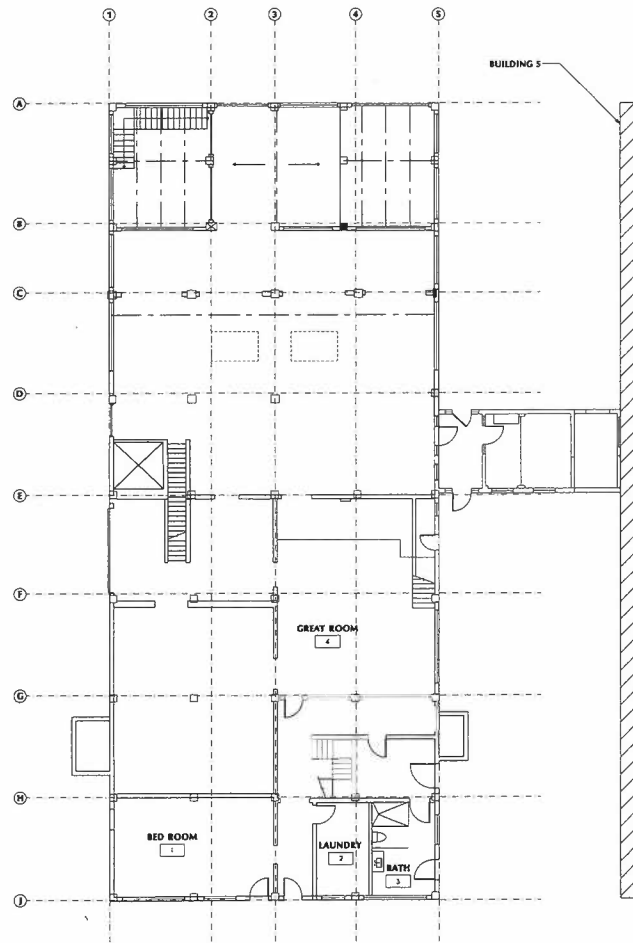
BILLWACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWACK RANCH RENOVATION

SHEET CONTENTS
BUILDING H2
FLOOR PLAN AND ELEVATIONS

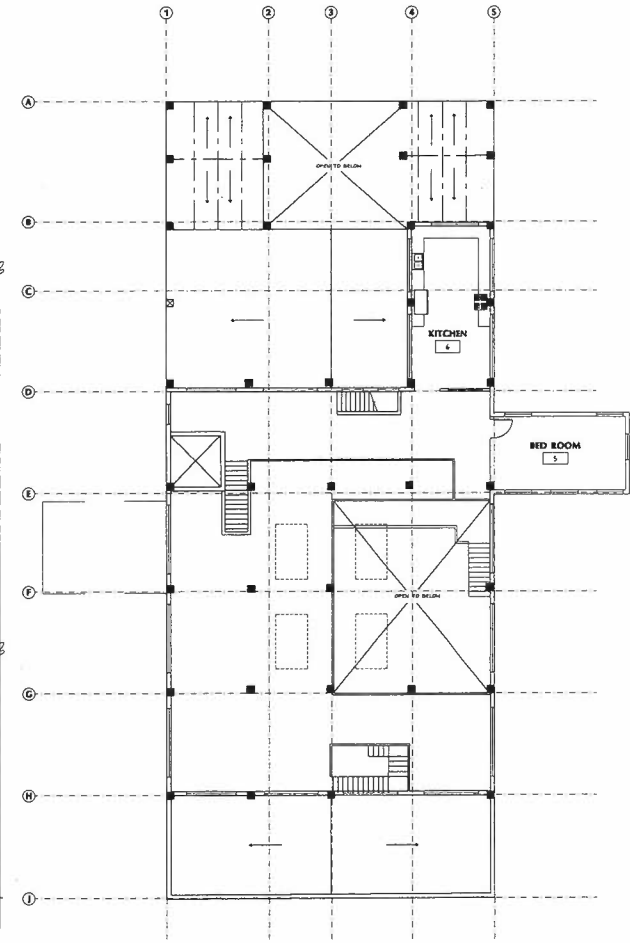
A-5



BASEMENT FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



2ND LEVEL FLOOR PLAN BUILDING 4

□ KEY NOTES □

GENERAL NOTES

DATE	
NO. REVISIONS	

BILLIWHACK RANCH RENOVATION
BILLIWHACK RANCH
122 E. ARROYO STREET
SANTA BARBARA, CA 93101

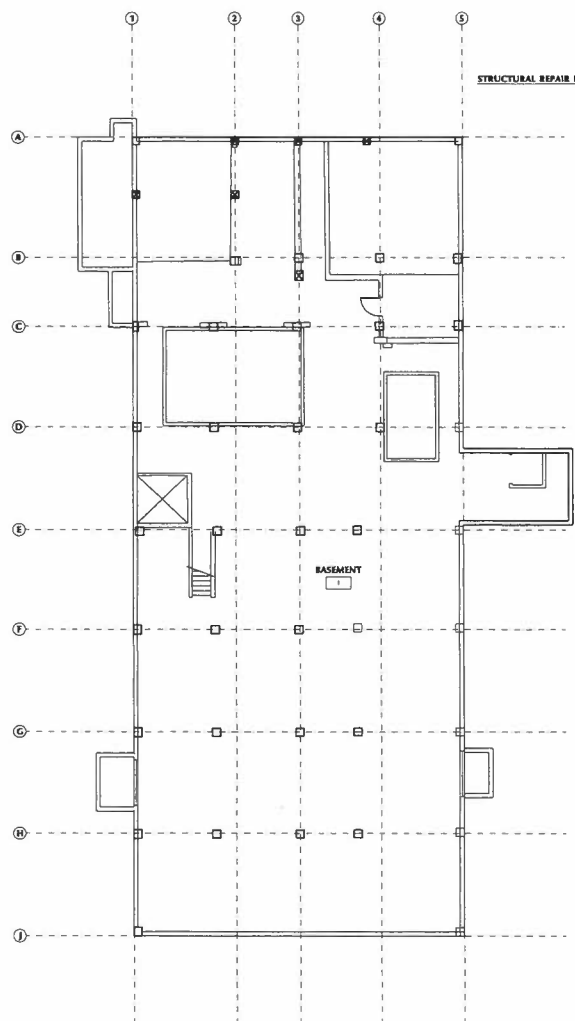
SHEET CONTENTS
BUILDING 4
EXISTING FLOOR PLANS

PROJECT NO.	7275
DATE	06.11.2014
DRAWN BY	

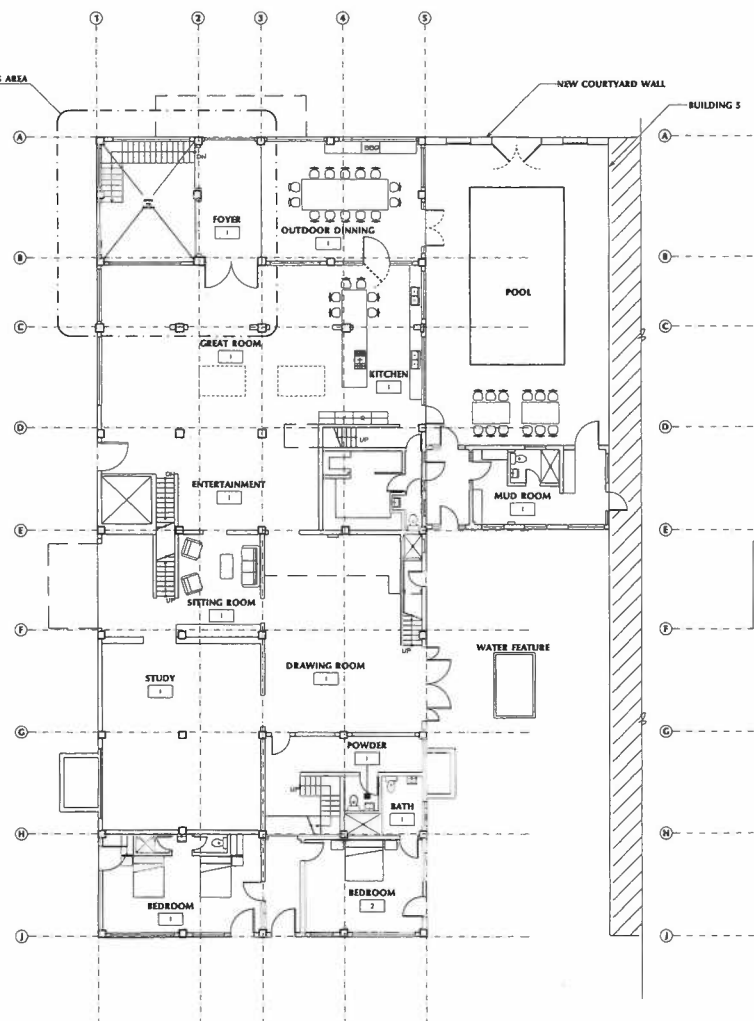
KEY NOTES

GENERAL NOTES

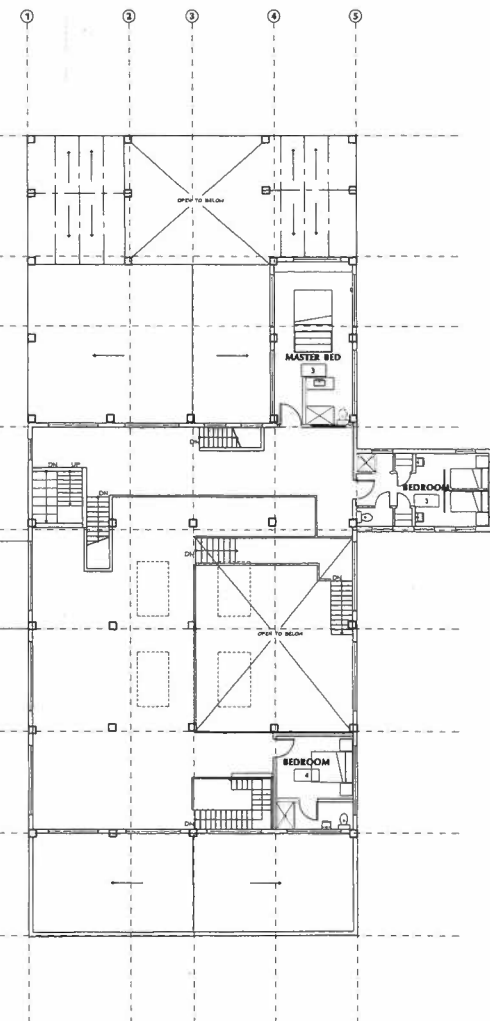
1. EXISTING WINDOW AND DOOR SYSTEMS WILL BE RESTORED.
2. EXISTING WINDOW AND DOOR SYSTEMS THAT CANNOT BE RESTORED SHALL BE REPLACED TO MATCH EXISTING.



BASEMENT FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



2ND LEVEL FLOOR PLAN BUILDING 4

DATE

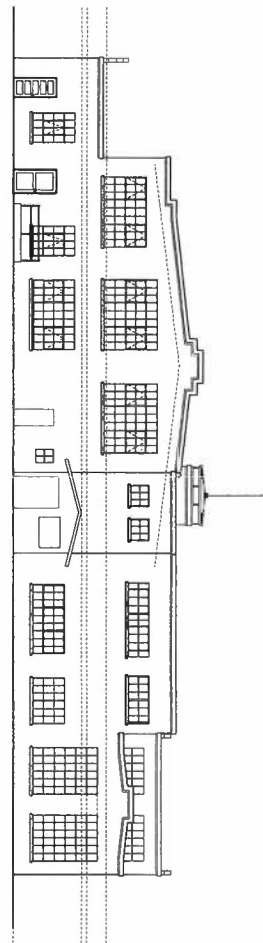
BILLWHACK RANCH
2775 ALISO CANYON ROAD
SANTA ANA, CA 92705
BILLWHACK RANCH RENOVATION

SHEET CONTENTS
BUILDING 4
PROPOSED FLOOR PLANS

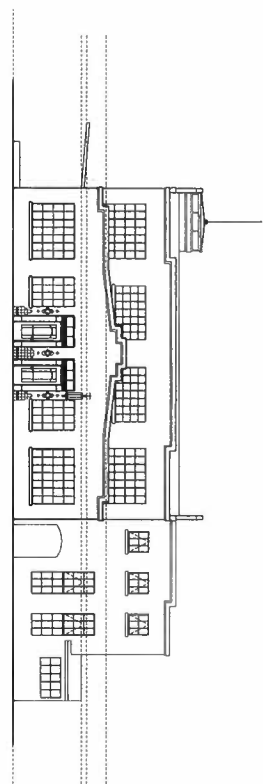
PROJECT NO.	
DESIGNER NO.	
TITLE NO.	7275
DATE	06.11.2019

KEY NOTES

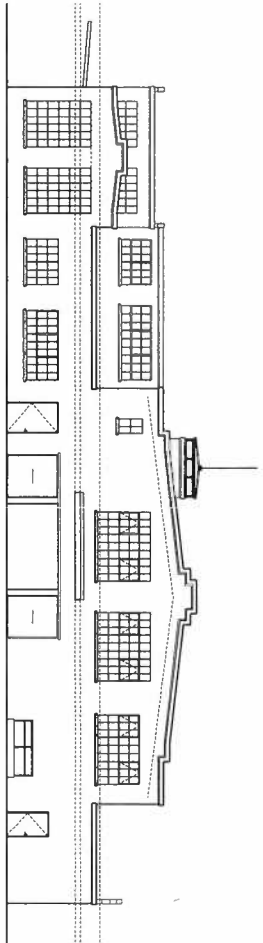
GENERAL NOTES



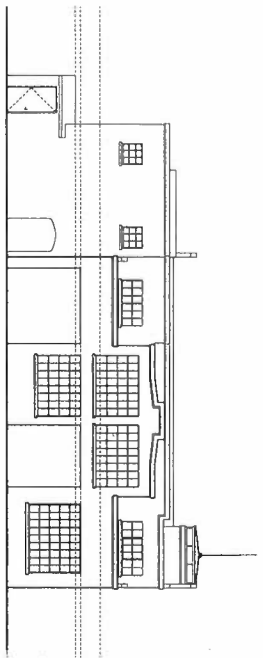
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SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



Angeli de Cowclo, Inc.
122 E. Arrington Street
Santa Barbara, California 93104
805 452 2939

BILLWHACK RANCH
BUILDING 4
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWHACK RANCH RENOVATION

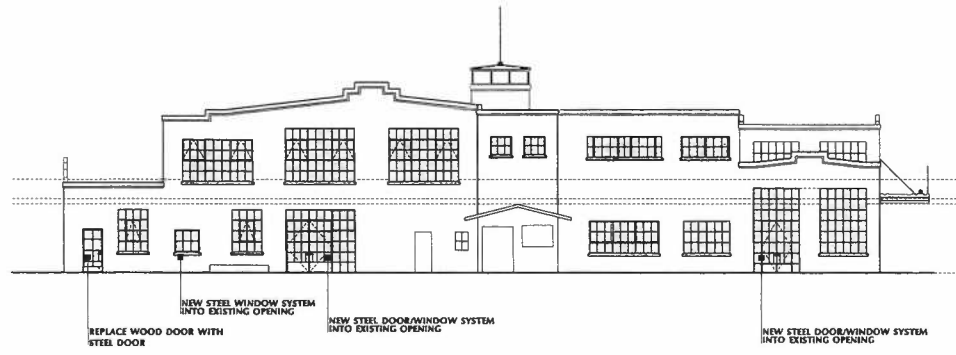
SHEET CONTENTS
BUILDING 4
EXISTING ELEVATIONS

NO.	REVISION	DATE
1		
2		
3		
4		

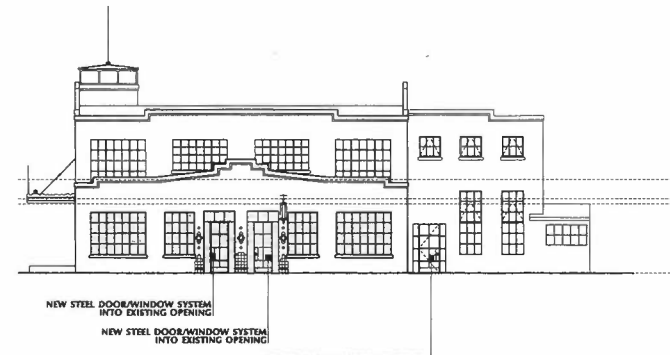
A-8
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CHECKED BY: JZ/JS
DATE: 06/17/2004

GENERAL NOTES

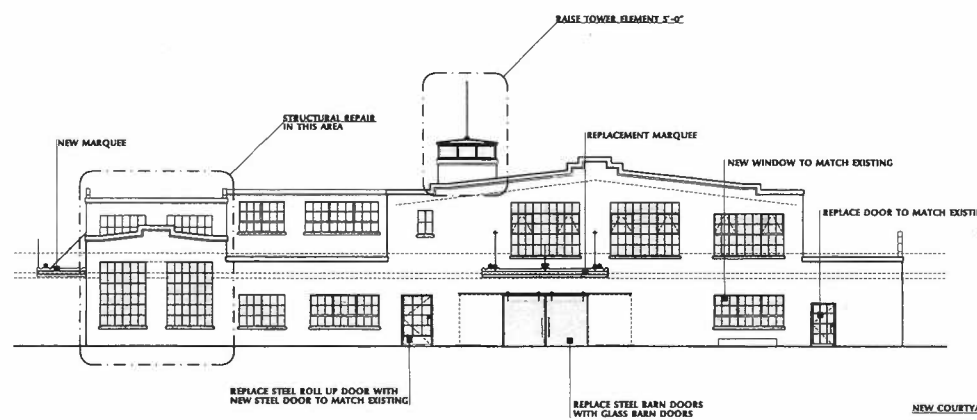
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2. EXISTING WINDOW AND DOOR SYSTEMS THAT CANNOT BE RESTORED SHALL BE REPLACED TO MATCH EXISTING



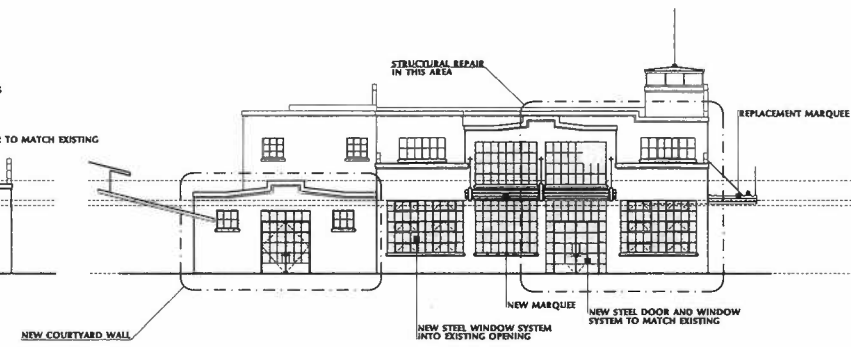
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"

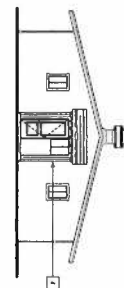


1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

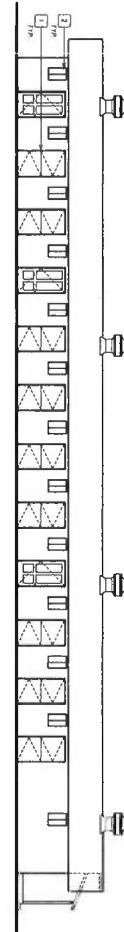


1 WEST ELEVATION
SCALE 1/8" = 1'-0"

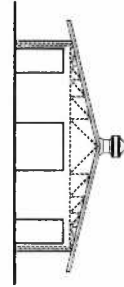
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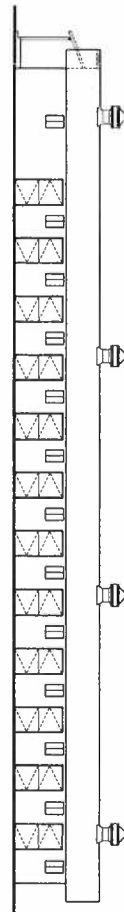
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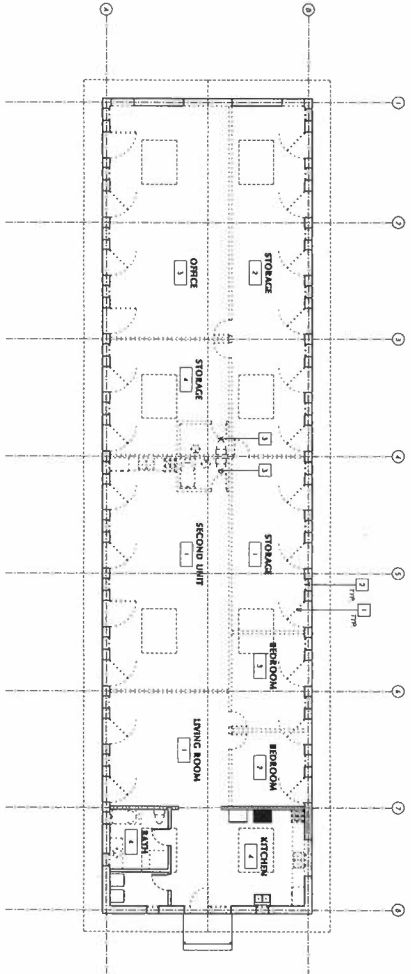
1 SOUTH
SCALE 1/8" = 1'-0"



3 WEST
SCALE 1/8" = 1'-0"



4 NORTH
SCALE 1/8" = 1'-0"



EXISTING FLOOR PLAN
1/8" = 1'-0"



- KEY NOTES**
- 1. REMOVE EXISTING STEEL DOOR/DOORS
 - 2. REMOVE ALL WINDOWS
 - 3. REMOVE ALL BATH AND KITCHEN FIXTURES
 - 4. REMOVE PORCH AND SHED ROOF

GENERAL NOTES

- 1. WALLS TO REMAIN
- 2. WALLS TO BE REMOVED

A-10

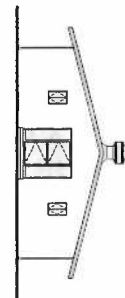
SHEET CONTENTS
BUILDING 2
EXISTING FLOOR PLANS
AND ELEVATIONS

BILLWACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWACK RANCH RENOVATION

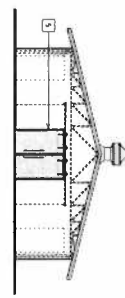
NO.	REVISION	DATE



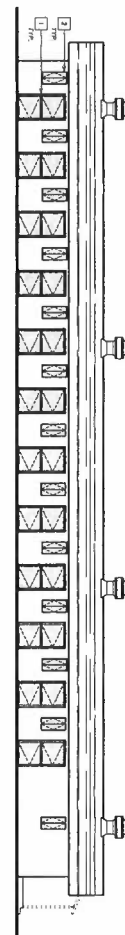
Angeli de Cervo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 452 2139



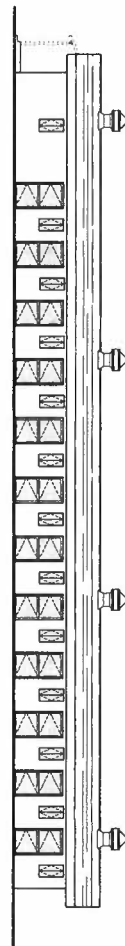
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SCALE 1/8"=1'-0"



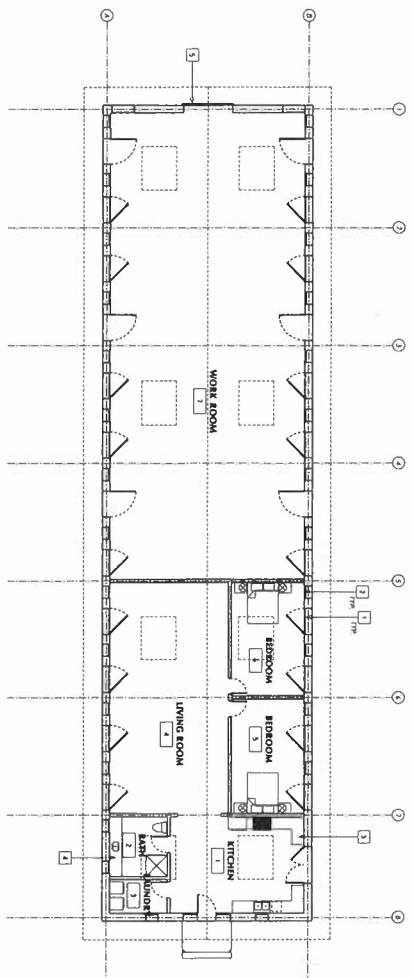
3 WEST
SCALE 1/8"=1'-0"



1 SOUTH
SCALE 1/8"=1'-0"



4 NORTH
SCALE 1/8"=1'-0"



PROPOSED FLOOR PLAN
SCALE 1/8"=1'-0"

- KEY NOTES**
- 1. NEW GLASS ENTRY DOORS, INSTALLED IN EXISTING OPENINGS.
 - 2. NEW STEEL FRAME WINDOWS INSTALLED IN EXISTING OPENINGS.
 - 3. NEW KITCHEN CABINETS AND FIXTURES.
 - 4. BATH REWORK.
 - 5. NEW STAIRS TO 2ND FLOOR.

GENERAL NOTES

- 1. WALLS TO REMAIN.
- 2. WALLS TO BE REWORKED.
- 3. NEW WALLS.
- 4. SPONGE TEXTURE PLASTER OVER ENTIRE BUILDING.



Angeli de Covolo, Inc.
122 E. Arredaga Street
Santa Barbara, California 93101
805 452 2399

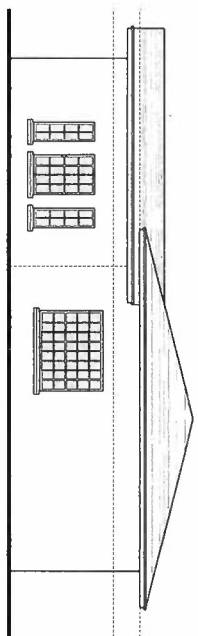
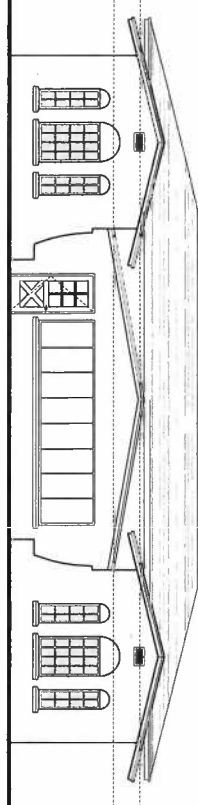
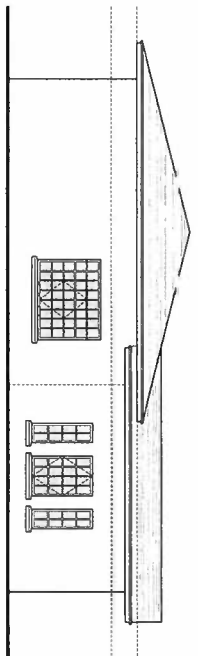
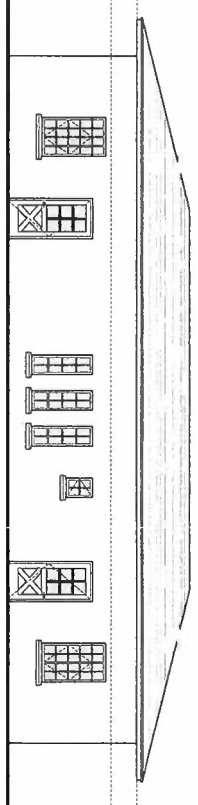
NO.	REVISION	DATE

SHEET CONTENTS
BUILDING 2
EXISTING AND PROPOSED
FLOOR PLANS

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION

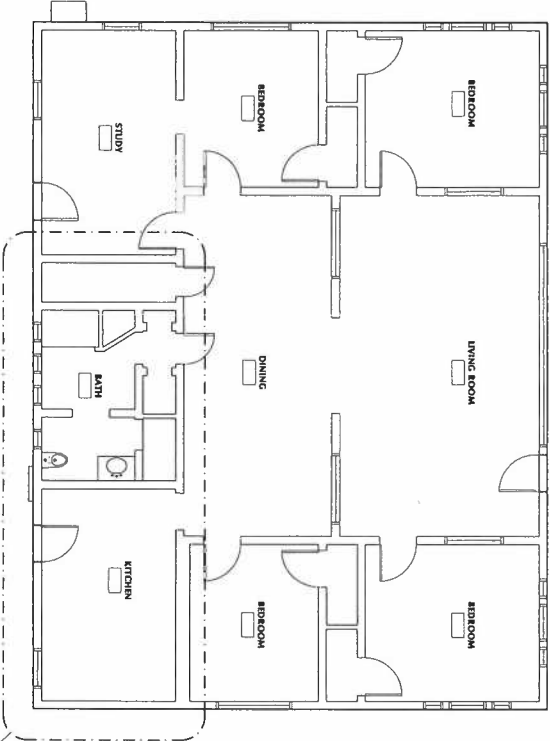
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DATE: 7/2/00
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

KEY NOTES



GENERAL NOTES

1. KITCHEN AND BATH REMODEL, NO OTHER CHANGES



NO.	REVISION	DATE
1		
2		
3		
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10		



Zoning Clearance Application

County of Ventura • Resources Management Agency • Planning Division
800 S. Victoria Ave., Ventura, CA 93009 • (805)654-2488 • www.vcrma.org/divisions/planning

Applicant Provided Information

Owner's Name: Billiwhack Ranch, LLC

Phone: 323.663.9898 Cell: 213.308.0014 Email: rick@racdb.com

Owner's Address: 3048 North Coolidge Avenue, Los Angeles, CA Zip 90039

Applicant's Name: Everett Jay Woody or Gil Garcia

Phone: Cell: 805.452.2999 Email: ejw@adcarch.com

Applicant's Address: 122 E. Arrellaga Street, Santa Barbara, CA Zip 93101

Site Address: 2275 Aliso Canyon Road

Cross Streets: Foothill Road & Aliso Canyon Road

Assessor Parcel No(s): 064-0-130-125 and 064-0-130-145

Proposed Use/Structure 1: Main Residence (Building 4)

Proposed Use/Structure 2:

Proposed Use/Structure 3:

No. of Existing Bedrooms: 2 Proposed Additional Bedrooms: 0

No. of Existing Covered Parking Spaces (carport/garage): 0

No. of Existing Uncovered Parking Spaces Marked: 0

No. of Protected Trees (see Sec. 8107.25) within 50' of the limits of the construction area: 0

Written Homeowner Association approval: (attached if applicable) ☒ N/A

Certificate of Appropriateness for designated Historic Landmarks or Sites of Merit: (attached if applicable) ☐ N/A

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 3 - Zoning Clearance
Application No. ZC19-1390

Page 2, Zoning Clearance Application Form

For Office Use

Applicant Name: Everett Woody, Angeli de Covolo, Inc.

Date Received:

Lot Size: Irregular sq. ft. 97.73 acres

Violation:

Legal Lot Status:

Zoning: AE-40

Overlay Zone: None

General Plan Land Use Designation: None

Area Plan Land Use Designation: Agriculture

Sq. ft. of Gross Floor Area Ministerially Allowed for Structure: All structures completed 1926

On site hazards: None

DEVELOPMENT DATA TABLE
Applicant Provides Information

Existing Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Main Residence (Building 4)	7,413	17,939
TOTALS	7,413	17,939

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Guest House (Building H1)	2,352	2,352
Caretaker Dwelling (Building 2)	4,564	4,564
Caretaker Dwelling (Building H2)	2,646	2,646
3 Grain Silos	1,629	1,629
Hammer Mill (H/M)	1,775	3,550
TOTALS	12,966	14,741

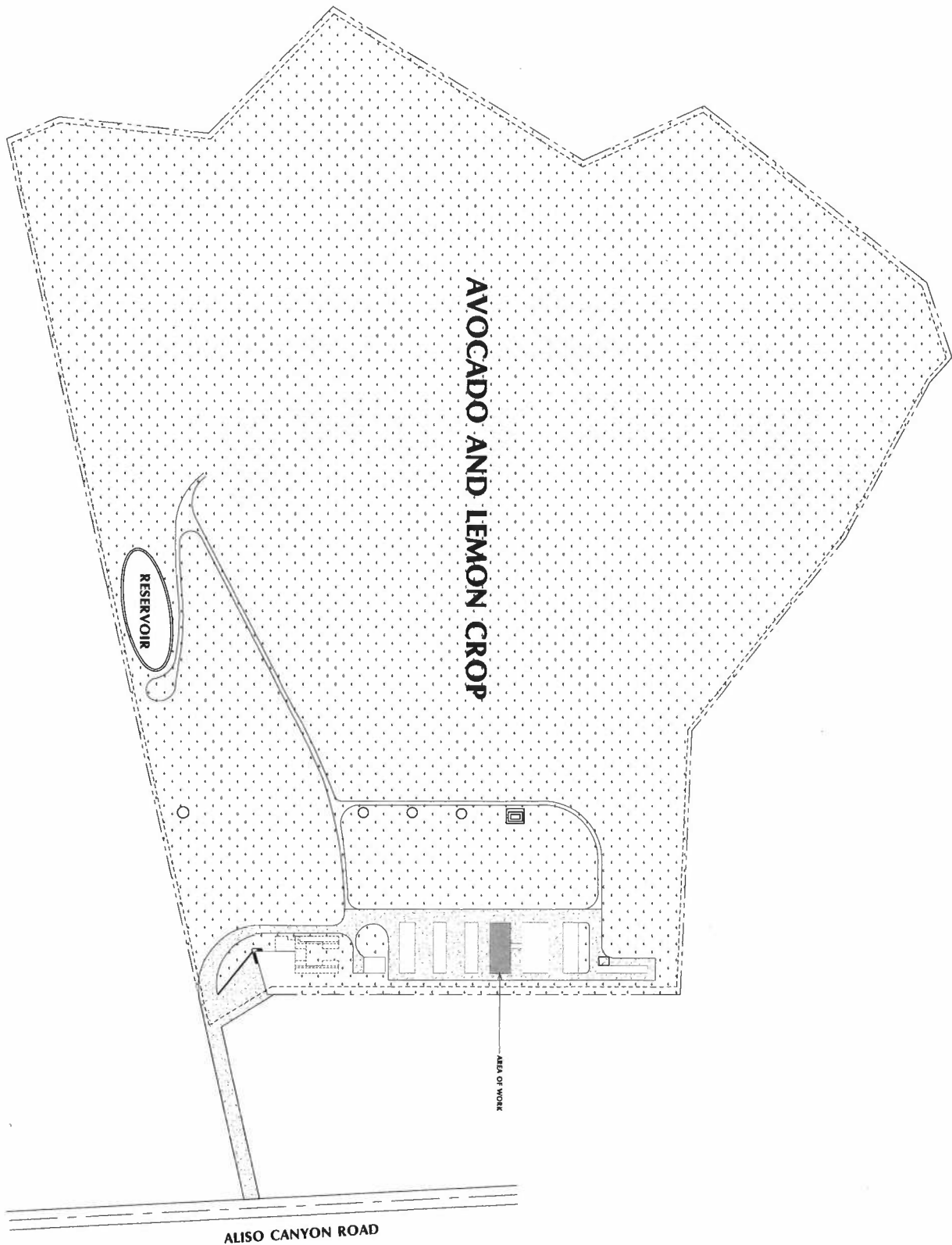
Proposed Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
TOTALS		

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Storage and Maintenance (Building 1A)	10,914	10,914
Bee Keeper (Building 1)	5,341	5,341
Equipment Storage (Building 3)	4,564	4,564
Ranch Maintenance (Building 5)	9,350	9,350
Ranch Equipment Storage (Building 6)	5,341	5,341
TOTALS	35,510	35,510

BILLIWHACK RANCH MAIN RESIDENCE REMODEL

PROJECT NOTES	SHEET INDEX	PROJECT TEAM	PROJECT DATA
<p>1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWING.</p> <p>2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.</p> <p>3. PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR ALL PLANNING/PERMITTING AND BUILDING PERMIT FEES.</p> <p>4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE JURISDICTION BUILDING CODE, A.S.P.F. SPECIFICATIONS, AND ALL OTHER APPLICABLE REQUIREMENTS, ORDERS, ORDINANCES AND REGULATIONS. WHERE CONFLICTS BETWEEN BUILDING CODES AND SPECIFICATIONS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.</p> <p>5. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.</p> <p>6. THE CONTRACTORS SHALL ARRANGE FOR ALL TESTING AND INSPECTIONS REQUIRED BY APPLICABLE CODES, ORDINANCES AND DIRECTIVES OF THE GOVERNING BUILDING OFFICIAL. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING AND INSPECTIONS IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN TESTS AND INSPECTIONS INDICATE NON-CONFORMANCE.</p> <p>7. THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFIED THEREIN.</p> <p>8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS DISCOVERED WHILE BIDDING. CLARIFICATION SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.</p> <p>9. THE CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE UNLESS NOTED OR SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PLANS, METHODS AND PROCEDURES.</p> <p>10. APPLICABLE TRADES SHALL USE A COMMON DATUM SHALL TO BE DESIGNATED BY THE CONSTRUCTION SUPERVISOR FOR ALL CRITICAL MEASUREMENTS.</p> <p>11. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.</p> <p>12. MATERIAL AND PAINT COORDS TO BE SELECTED BY ARCHITECT PRIOR TO FABRICATION.</p> <p>13. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. WHERE UTILITIES ARE DISCOVERED OTHER THAN THOSE KNOWN AND SHOWN, IMMEDIATELY NOTIFY THE OWNER, AND ENTER INTO NEGOTIATION FOR THE PERFORMANCE OF THE REQUIRED WORK, WHICH SHALL BE OVER AND ABOVE THE AMOUNT OF THE BID PROPOSAL. ANY REQUIRED REWORKING OF EXISTING UTILITY SERVICE SHALL BE APPROVED BY THE LOCAL UTILITY COMPANY PRIOR TO COMMENCING THAT WORK.</p> <p>14. EXAMINE THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF THE EXISTING ELEMENTS TO REMAIN. WHERE QUESTIONS OR DISCREPANCIES ARISE, CONSULT THE ARCHITECT ABOUT THE EXTENT AND/OR INTENT OF THE REQUIRED CORRECTION BEFORE COMMENCING WORK.</p> <p>15. ALL DIMENSIONS ARE TO FACE OF PLUMBING, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.</p> <p>16. UNLESS OTHERWISE SPECIFIED HEREIN, THE CONTRACTORS, UPON COMPLETION OF THE ENTIRE WORK DESCRIBED BY THE CONTRACT, SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE STATING THAT ALL WORK PERFORMED AS PART OF THE CONTRACT IS FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, AND THAT DURING SAID ONE YEAR PERIOD, ALL DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE REPAIRED AND/OR REPLACED IN PLACE INCLUDING ANY WORK OF STUDIES WHICH HAS BEEN DAMAGED BY SUCH DEFECTIVE WORKMANSHIP AND/OR MATERIALS AND BY THE REPAIR AND/OR REPLACEMENT OF SUCH WORKMANSHIP AND/OR MATERIALS, AT NO ADDITIONAL COST TO THE OWNER.</p> <p>17. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND RUBBISH RESULTING FROM THEIR PORTION OF THE WORK SPECIFIED HEREIN AND DEPOSIT IT IN AN ON-SITE CONTAINER, PROVIDED BY THE CONTRACTOR.</p> <p>18. WHEREVER EXISTING WORK IS DAMAGED BY REMOVAL OF ADJACENT WORK OR ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIALS TO MATCH EXISTING AS APPROVED BY THE ARCHITECT.</p> <p>19. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT.</p> <p>20. EACH CONTRACTOR SHALL MAINTAIN GENERAL LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT WITH MINIMUM POLICY LIMITS OF \$500,000 FOR EACH PERSON AND \$500,000 FOR EACH ACCIDENT. MAINTAIN PROPERTY DAMAGE INSURANCE MINIMUM LIMITS OF \$500,000 FOR EACH ACCIDENT. THE OWNER SHALL BE WAIVED AS ADDITIONAL INSURANCE AS REQUIRED'S LIABILITY INSURANCE. EACH CONTRACTOR SHALL MAINTAIN WORKERS COMPENSATION FOR INSURANCE IN FULL COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND ANY AGREEMENTS INHERED. THE OWNER SHALL PROVIDE FIRE AND VANDALISM INSURANCE AT HIS OWN EXPENSE. THE GENERAL CONTRACTOR AND FINISHING CONTRACTOR SHALL BE WAIVED AS ADDITIONAL INSURANCE AS REQUIRED'S THE INSURANCE POLICY.</p> <p>21. ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.</p> <p>22. CONTRACTOR IS TO PROVIDE (A) THREE COPIES OF SHOP DRAWINGS FOR ALL WOODWORK, COUNTERTOPS, CABINETS, SPECIALTIES, AND METALWORK AND ALL MECHANICAL AND ELECTRICAL LAYOUTS AND DETAILS FOR ARCHITECTS APPROVAL.</p> <p>23. SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ALLOWED ONLY IF SUCH ITEMS ARE SUBMITTED TO THE ARCHITECT IN A WRITTEN FORMER IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN WRITING. ALL SUBSTITUTIONS MUST BE AT LEAST OF EQUAL QUALITY, DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION OF ANY ITEM FOR THIS PROJECT. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY SUBSTITUTION.</p> <p>24. CATALOGS OF ALL LIGHT FIXTURES, ACCESSORIES AND EQUIPMENT REQUIRED SHALL BE SUBMITTED IN TRIPLICATE TO THE ARCHITECT FOR APPROVAL.</p> <p>25. TAKE PRECAUTION TO PROVIDE NECESSARY ARRANGEMENTS AND/OR SHIELDING DURING THE COURSE OF OPERATION. IF AT ANY TIME THE SAFETY OF THE ADJACENT STRUCTURE OR PERSONNEL WOULD APPEAR TO BE COMPROMISED, CEASE OPERATION AND NOTIFY OWNER. DO NOT RESUME OPERATION UNTIL SAFE CONDITIONS HAVE BEEN RE-EVALUATED AND PERMISSION BY THE OWNER HAS BEEN GRANTED TO RESUME OPERATION.</p> <p>26. ALL ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.</p> <p>27. ALL ADAPTIVE RECONFIGURATION IS CONSIDERED A PART OF THIS DOCUMENT.</p> <p>28. REFER TO ADDITIONAL GENERAL AND SPECIFIC NOTES CONTAINED IN THE VARIOUS CONSULTANT SECTIONS OF THESE DRAWINGS.</p> <p>29. CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL FOR LOADING SPACES, CONSTRUCTION SHEDS, BUILDING MATERIALS STORAGE AND EQUIPMENT ON SITE.</p>	<p>A-1 PROJECT INFORMATION AND SHEET INDEX</p> <p>A-2 EXISTING SITE PLAN</p> <p>A-3 EXISTING ENLARGED SITE PLAN</p> <p>A-4 EXISTING FLOOR PLANS</p> <p>A-5 PROPOSED BASEMENT FLOOR PLAN</p> <p>A-6 PROPOSED GROUND LEVEL FLOOR PLAN</p> <p>A-7 PROPOSED UPPER LEVEL FLOOR PLAN</p> <p>A-8 PROPOSED ROOF PLAN</p> <p>A-9 EXISTING ELEVATIONS</p> <p>A-10 DETAILS</p> <p>A-11 BUILDING SECTION</p> <p>A-12 BUILDING SECTIONS</p> <p>S1.1 STRUCTURAL PLAN, DETAILS AND CALCULATIONS</p> <p>E-1 SITE ELECTRICAL DETAILS</p> <p>E-1.1 SITE ELECTRICAL TRENCH DETAILS</p> <p>E-2 ELECTRICAL PLAN</p> <p>4E-1 SYMBOLS AND DETAILS</p> <p>4E-2 BUILDING 4 COMPLIANCE FORMS AND SCHEDULES</p> <p>4E-3 BUILDING 4 LIGHTING PLAN</p> <p>4E-4 BUILDING 4 POWER PLAN</p> <p>4E-5 BUILDING 4 ROOF PLAN</p> <p>4E-6 BUILDING 4 ELECTRICAL DETAILS</p> <p>P1.0 PLUMBING NOTES</p> <p>P2.0 PLUMBING BASEMENT PLAN</p> <p>P2.1 PLUMBING GROUND FLOOR PLAN</p> <p>P2.2 PLUMBING UPPER FLOOR PLAN</p> <p>P2.3 PLUMBING ROOF PLAN</p> <p>P3.1 DETAILS</p> <p>P3.2 PLUMBING ISOMETRIC DIAGRAMS</p> <p>M1.0 MECHANICAL NOTES</p> <p>M1.1 MECHANICAL EQUIPMENT SCHEDULES</p> <p>M1.2 MECHANICAL EQUIPMENT DIAGRAMS</p> <p>M1.3 MECHANICAL EQUIPMENT DETAILS</p> <p>M2.0 MECHANICAL BASEMENT PLAN</p> <p>M2.1 MECHANICAL GROUND FLOOR PLAN</p> <p>M2.2 MECHANICAL UPPER FLOOR PLAN</p> <p>M2.3 MECHANICAL ROOF PLAN</p>	<p>DESIGN CONSULTANTS:</p> <p>EVERETT WOODY AND GIL GARCIA 122 E. ARELLAGA STREET SANTA BARBARA, CA 93101 805 452 2999</p> <p>GEOTECHNICAL ENGINEER:</p> <p>MARK WORKMAN WORKMAN ENGINEERING P.O. BOX 391, OJAI, CA 93024 805 302 9381</p> <p>STRUCTURAL ENGINEER:</p> <p>JOHN DELTMAN 3025 LONG VALLEY ROAD SANTA TNEZ CA 93460 805 688-6677</p> <p>ELECTRICAL ENGINEER:</p> <p>JOHN MELONEY 156 WEST ALAMAR AVENUE, SUITE B SANTA BARBARA CA 93105 (805) 564-9216</p> <p>PLUMBING ENGINEER:</p> <p>JOHN GRINDSAL, A G MECHANICAL ENGINEERS 629 STATE STREET SANTA BARBARA CA 93101 (805) 966-0844</p> <p>MECHANICAL ENGINEER:</p> <p>WAYNE ADAMS, A G MECHANICAL ENGINEERS 629 STATE STREET SANTA BARBARA CA 93101 (805) 966-0844</p> <p>GENERAL CONTRACTOR:</p> <p>N.M. CONSTRUCTION NATE WHITSON 3279 BREAKER DRIVE, VENTURA, CA. 93003 805 479 7905</p>	<p>OWNER:</p> <p>BILLIWHACK RANCH, LLC 3048 N COOLIDGE AVENUE LOS ANGELES, CA 90037 PHONE 213-308-0015</p> <p>APN 064-0-130-125 AND 064-0-130-145 ZONE AE-40 SITE AREA 98 ACRES GENERAL PLAN DESIGNATION YES HIGH FIRE AREA 35'-0" PRINCIPAL 25'-0" OTHERS FRONT YARD SETBACK 20'-0" FROM PROPERTY LINE REAR YARD SETBACK 15'-0" SIDE YARD SETBACK 10'-0" BUILDING TYPE R-3 CONSTRUCTION TYPE TYPE V-NON ROOF TYPE CLASS 'A' BUILDING HEIGHT 40'-0" ABOVE EXISTING GRADE BUILDING SQUARE FOOTAGE UNLIMITED THIS PROJECT WILL COMPLY WITH CBC 2016 CRC 2016 CALIFORNIA RESIDENTIAL CODE CHBC 2016 CALIFORNIA HISTORICAL BUILDING CODE CEBC 2016 CALIFORNIA EXISTING BUILDING CODE CGBSC GREEN CODE CALIFORNIA ENERGY CODE 2013 CFC 2016 CFC 2013 CFC 2016 CFC 2016</p> <p>ALL FINISH COLORS AND MATERIALS TO MATCH EXISTING.</p>
		<p>BUILDING DENSITY CALCULATIONS</p> <p>TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED</p>	<p>FINISHES</p>
		<p>SITE STATISTICS</p> <p>TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS AREA UNDER CROP 3,593,700 SQUARE FOOT GROSS OR 82.50 ACRES TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES</p>	<p>SCOPE OF WORK</p> <p>1. BUILDING 4 INTERIOR REMODEL OF AN EXISTING 17,939 SQUARE FOOT FIVE (5) BEDROOM FOUR (4) BATH AND THREE (3) HALF BATH MAIN RESIDENCE. YEAR BUILT CIRCA 1926.</p> <p>2. ALL SUPPLY AND WASTE PLUMBING SHALL BE REPLACED.</p> <p>3. RADIANT FLOOR HEATING ON GROUND AND UPPER LEVEL FLOOR.</p> <p>4. HEAT RECOVERY HVAC SYSTEM.</p> <p>5. NEW CLASS 'A' ROOF THE EXISTING CONCRETE ROOF UNDER SEPARATE PERMIT.</p> <p>6. NEW ELECTRICAL SERVICE, LIGHTING, RECEPTACLES.</p> <p>7. STRUCTURAL DETAILS AND CALCULATIONS FOR NEW OPENINGS IN CONCRETE WALLS.</p>
		<p>EXISTING BUILDING FLOOR AREAS</p> <p>STORAGE AND MAINTENANCE BUILDING (1A) 10,914 SQUARE FEET GROSS GUEST HOUSE BUILDING (H1) 2,352 SQUARE FEET GROSS BEE KEEPER BUILDING (1) 5,341 SQUARE FOOT GROSS CARETAKER DWELLING BUILDING (2) 4,564 SQUARE FOOT GROSS EQUIPMENT STORAGE BUILDING (3) 4,564 SQUARE FOOT GROSS TWO STORY MAIN RESIDENCE (4) 17,939 SQUARE FOOT GROSS RANCH MAINTENANCE BUILDING (5) 9,350 SQUARE FOOT GROSS EQUIPMENT STORAGE BUILDING (6) 5,341 SQUARE FOOT GROSS CARETAKER DWELLING (H2) 2,646 SQUARE FOOT GROSS HAMMER MILL BARN 3,550 SQUARE FOOT GROSS THREE GRAIN SILOS TOTAL 1,629 SQUARE FOOT GROSS TOTAL 68,223 SQUARE FOOT GROSS</p>	<p>VICINITY MAP</p>





SITE PLAN



GENERAL NOTES

KEY NOTES

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH FAMILY RESIDENCE

NO.	REVISION	DATE
1		
2		
3		
4		
5		



Angeli de Covolo, Inc.
122 E. Arreaga Street
Santa Barbara, California 93101
805 452 2159

A-2

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

ENLARGED SITE PLAN



KEY NOTES

GENERAL CONTRACTOR:
N.M. CONSTRUCTION
NATE WHITSON
3279 BREAKER DRIVE, VENTURA, CA 93003
805 479 7405

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED.

SITE STATISTICS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS
AREA UNDER CROP 3,593,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES

ALISO CANYON ROAD

GENERAL NOTES

Angeli de Covolo, Inc.
122 E. Corral Mesa Street
Santa Barbara, California 93101
805 452 2799

DATE	REVISION

BILLWHACK RANCH
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93060
BILLWHACK RANCH FAMILY RESIDENCE

NATE WHITSON
ENLARGED EXISTING
SITE PLAN

DATE	REVISION

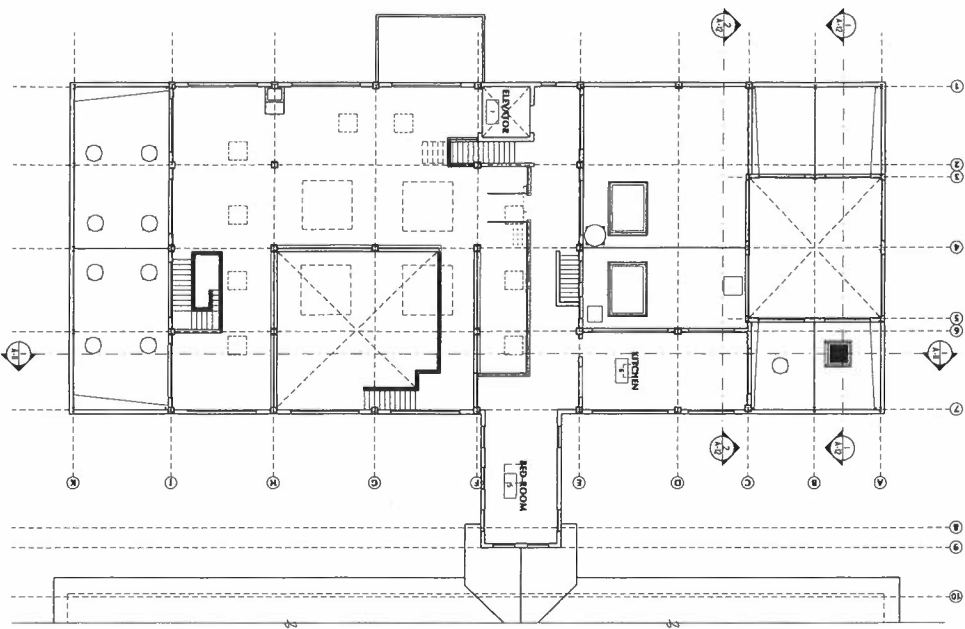
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KEY NOTES

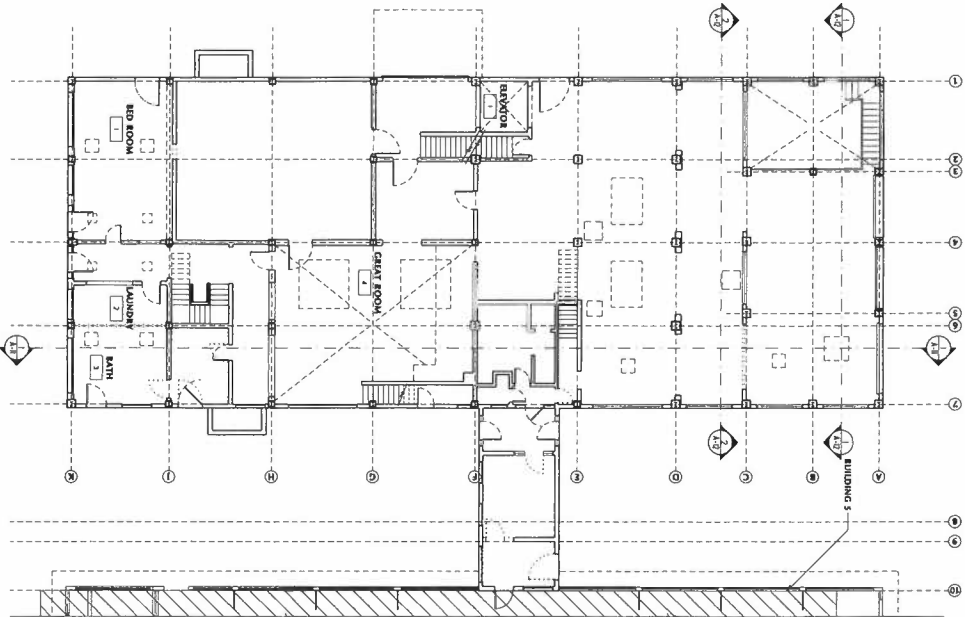
GENERAL NOTES



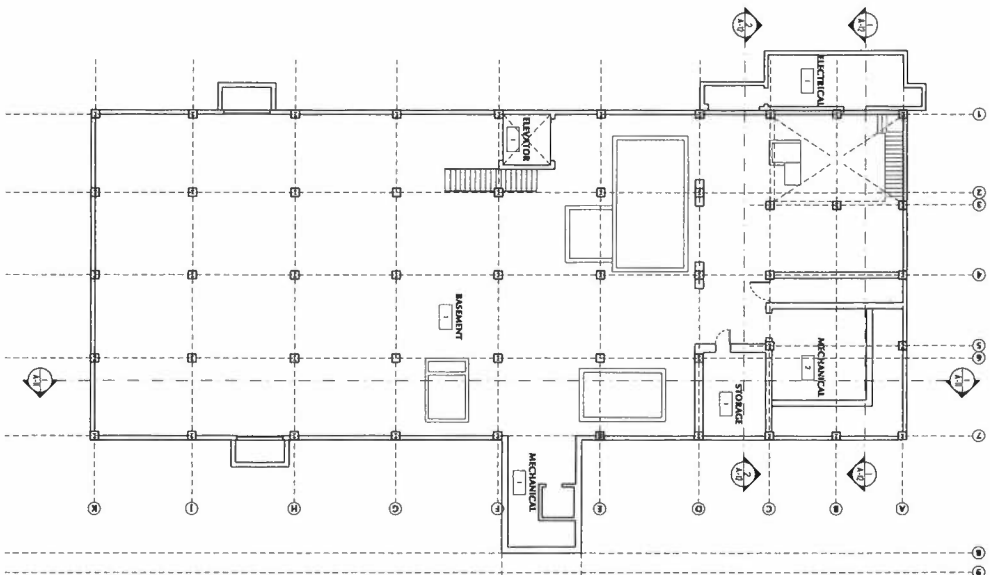
Angeli de Covolo, Inc.
122 E. Arrastra Street
Santa Barbara, California 93101
805 452 2599



2ND LEVEL FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



BASEMENT FLOOR PLAN BUILDING 4

SHEET CONTENTS
BUILDING 4
EXISTING FLOOR PLANS

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH FAMILY RESIDENCE

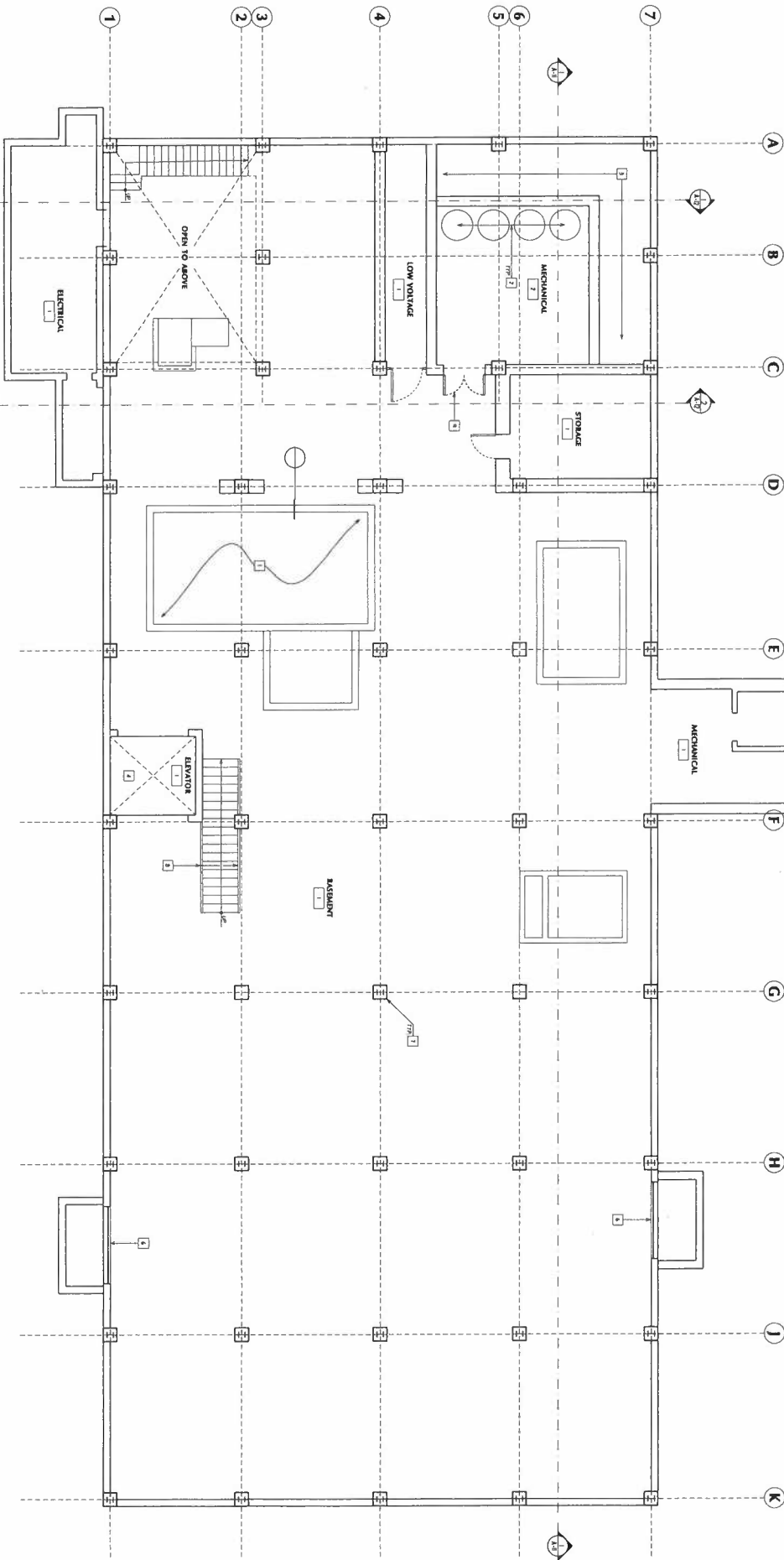
NO.	REVISION	DATE

A-4
12/07/2014
12/07/2014

- KEY NOTES**
- EXISTING CONCRETE BASE FLOOR SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
 - REMOVE EXISTING FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.
 - REMOVE EXISTING FLOORING AND SET NEW FLOORING.

GENERAL NOTES

- ALL UTILITIES ARE SHOWN TO BE AS SHOWN AND APPROVED BY THE CITY.
- ALL UTILITIES ARE SHOWN TO BE AS SHOWN AND APPROVED BY THE CITY.
- EXISTING WALLS TO REMAIN.
- REMOVE EXISTING WALLS.
- WALLS TO BE REMOVED.



PROPOSED BASEMENT PLAN

SHEET CONTENTS
PROPOSED
BASEMENT FLOOR PLAN

BILLWHACK RANCH
7775 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWHACK RANCH FAMILY RESIDENCE

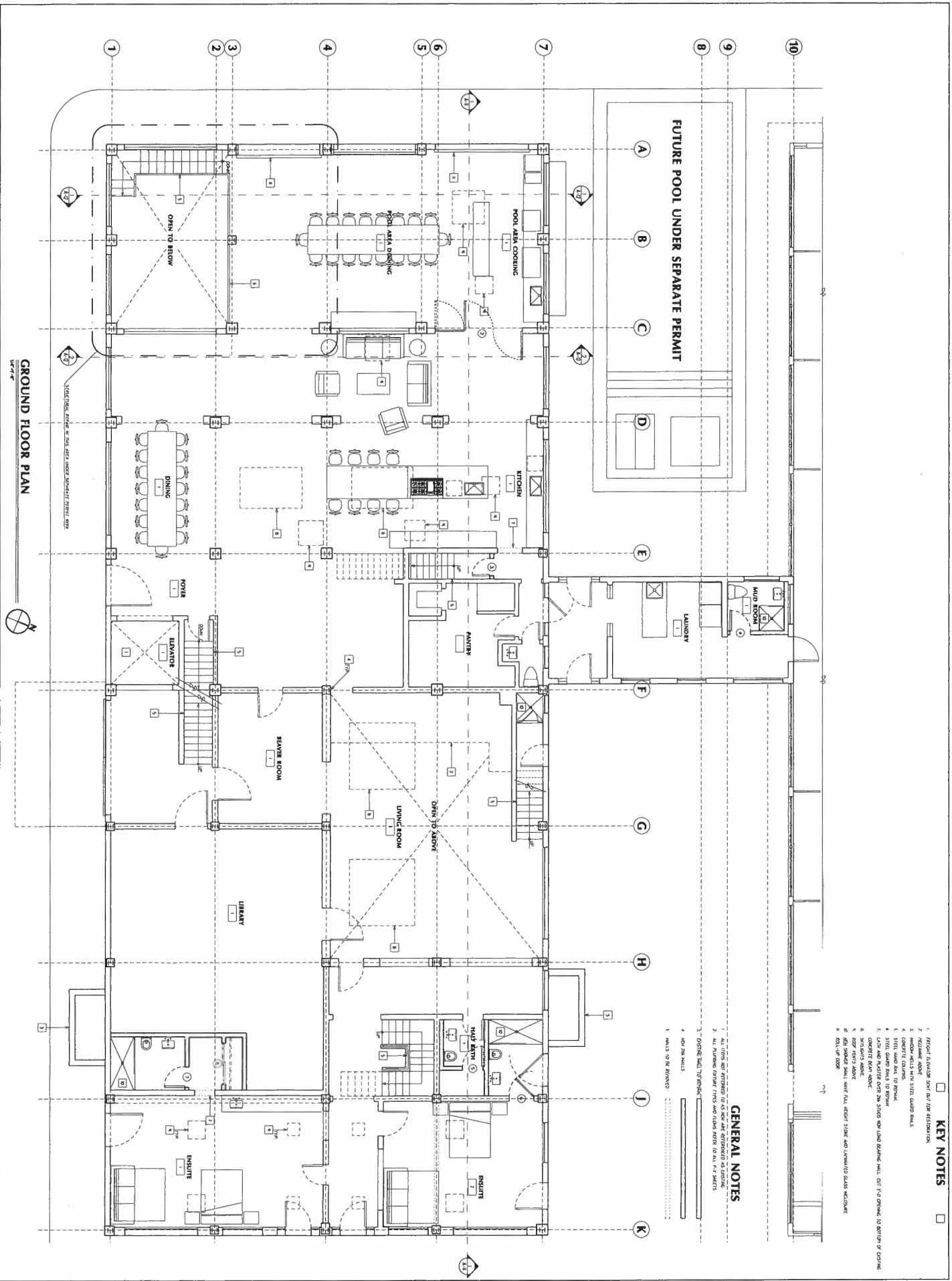
NO.	DATE/SHOW	DATE
1		
2		
3		
4		
5		

A-5

NCARB
Professional Seal



Angeli de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 452 2599



FUTURE POOL UNDER SEPARATE PERMIT

GENERAL NOTES

1. ALL ITEMS NOT SHOWN TO BE AS SHOWN AND NOT TO BE CONSIDERED AS EXISTING.
2. ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES.
3. DIMENSIONS SHOWN ARE TO FACE UNLESS NOTED OTHERWISE.
4. SEE THE NOTES.
5. WALLS TO BE REMOVED.

KEY NOTES

1. FUTURE POOL UNDER SEPARATE PERMIT.
2. FUTURE POOL UNDER SEPARATE PERMIT.
3. FUTURE POOL UNDER SEPARATE PERMIT.
4. FUTURE POOL UNDER SEPARATE PERMIT.
5. FUTURE POOL UNDER SEPARATE PERMIT.
6. FUTURE POOL UNDER SEPARATE PERMIT.
7. FUTURE POOL UNDER SEPARATE PERMIT.
8. FUTURE POOL UNDER SEPARATE PERMIT.
9. FUTURE POOL UNDER SEPARATE PERMIT.
10. FUTURE POOL UNDER SEPARATE PERMIT.

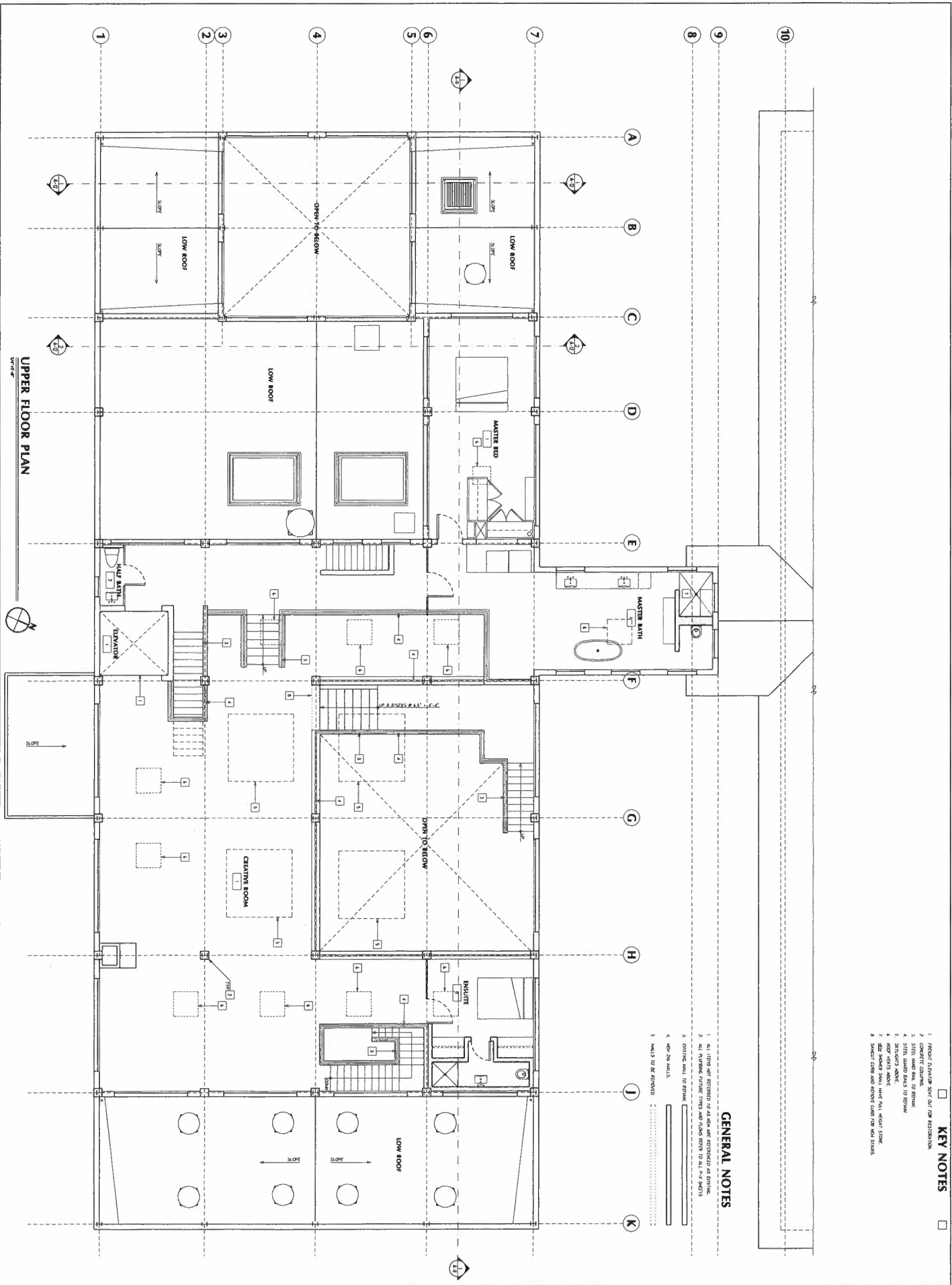
GROUND FLOOR PLAN

A-6

SHEET CONTENTS
PROPOSED
GROUND LEVEL FLOOR PLAN

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93106
BILLIWHACK RANCH FAMILY RESIDENCE

Angeli de Covolo, Inc.
122 E. Arrillaga Street
Santa Barbara, California 93101
805 452 2399

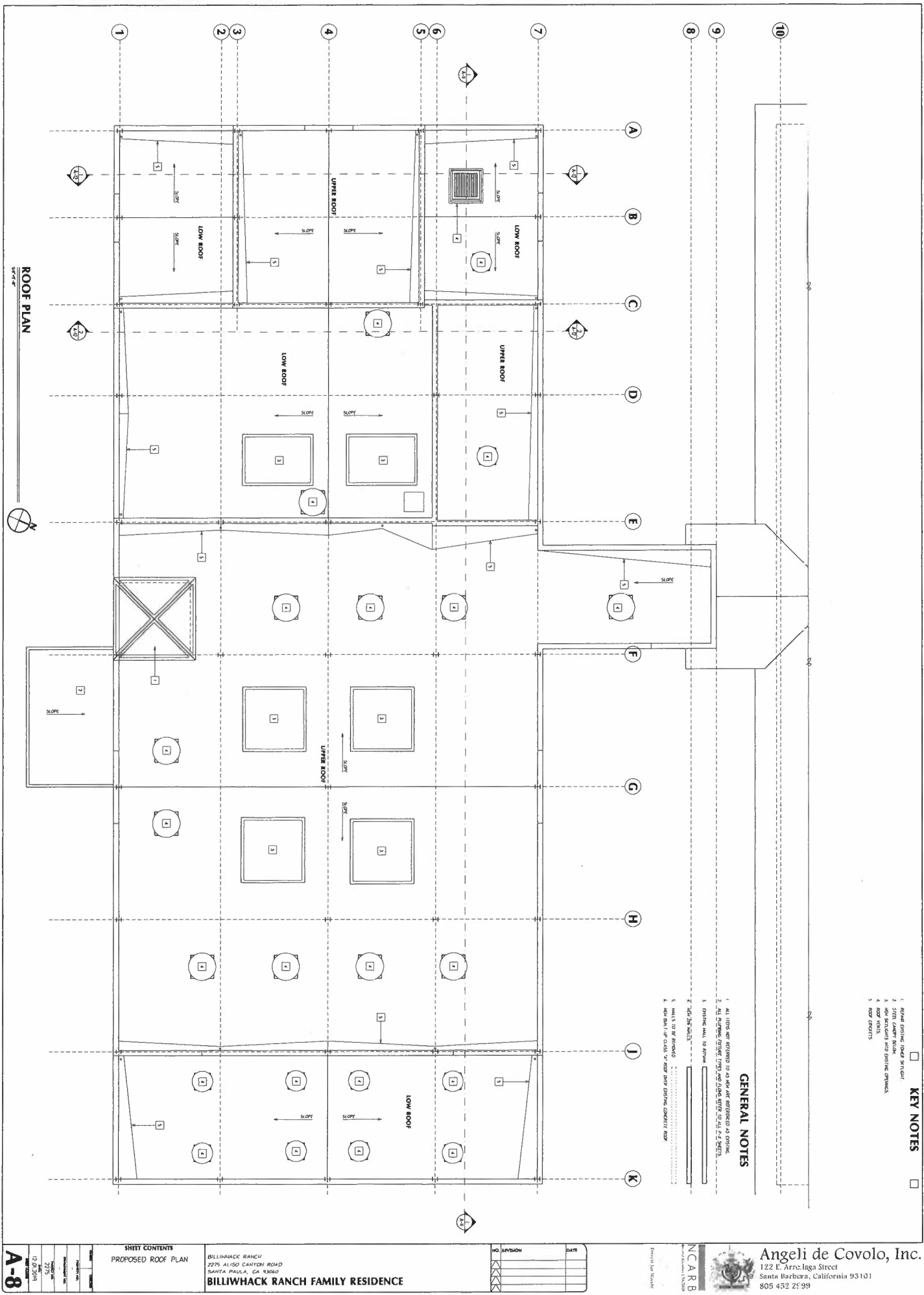


KEY NOTES

1. FINISH FLOORING SHOWN ON LOW ROOF SECTION.
2. CONCRETE SLAB.
3. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
4. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
5. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
6. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
7. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
8. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.

GENERAL NOTES

1. ALL FLOORING NOT SHOWN TO BE MAINTAINED AS SHOWN.
2. ALL FLOORING, FINISH, TRIM, AND FLOORING TO BE MAINTAINED AS SHOWN.
3. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
4. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
5. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
6. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
7. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.
8. SLOPE, 1/4" PER FOOT, TO BE MAINTAINED.



- KEY NOTES**
- 1. EXISTING ROOF STRUCTURE
 - 2. STEEL GABLET BLOCK
 - 3. ROOF STRUCTURE WITH EXISTING DORMERS
 - 4. ROOF DORMERS
 - 5. ROOF DORMERS

GENERAL NOTES

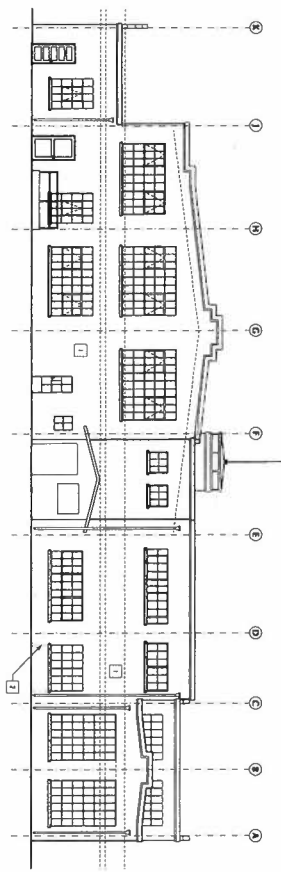
- 1. ALL LINES NOT REFERRED TO AS ANY ARE REFERRED TO AS EXISTING.
- 2. ALL MATERIALS, FINISHES, TYPES AND SIZES ARE TO BE AS SHOWN.
- 3. EXISTING WALLS TO REMAIN.
- 4. WALLS TO BE REMOVED.
- 5. ROOF DRAIN (OR DRAIN) ARE TO BE LOCATED AS SHOWN.

KEY NOTES

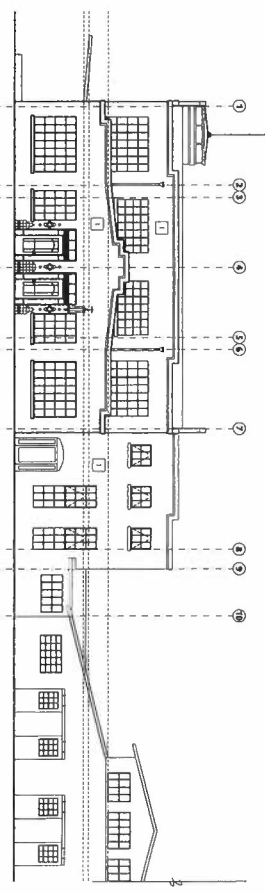
- 1. EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE SAME ELEVATION. EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON THE SAME ELEVATION.
- 2. DIMENSIONS SHALL BE SHOWN IN THE LOCATION.

GENERAL NOTES

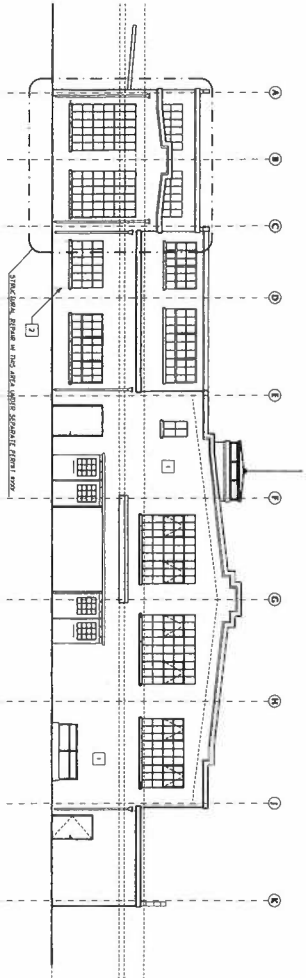
1. ALL ITEMS NOT ATTACHED TO AS SHOWN ARE ATTACHED TO EXISTING.



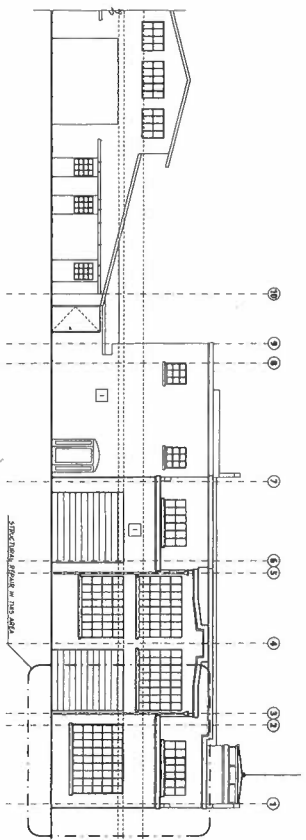
2 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

SHEET CONTENTS

BUILDING 4
EXISTING ELEVATIONS

BILLIWHACK RANCH
275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH FAMILY RESIDENCE

A-9	DATE	
	NO. ELEVATION	
	DATE	
	NO. ELEVATION	



Angeli de Covolo, Inc.
122 E. Arco3aga Street
Santa Barbara, California 93101
805 452 2193/9



COUNTY OF VENTURA

Resource Management Agency Code Compliance Division

800 South Victoria Avenue
Ventura, CA 93009
(805) 654-2463, (805) 654-5177 FAX

NOTICE OF VIOLATION AND NOTICE OF IMPENDING CIVIL ADMINISTRATIVE PENALTIES

June 25, 2019

Please Reply To: Amanda Ahrens
(805) 654-2800
amanda.ahrens@ventura.org

BILLIWHACK RANCH LLC
3048 N COOLIDGE AV
LOS ANGELES, CA 90039

Violation No.: CV19-0100
Property Address: 2275 ALISO CYN RD SANTA PAULA, CA 93060
Assessor's Parcel No.: 064-0-130-145

Dear Property Owner,

The Code Compliance Division has confirmed that violation(s) of the Ventura County Building Code and/or Zoning Ordinance exist on the subject property. These violation(s) were brought to your attention in an earlier Courtesy Notice dated 3/25/2019. The violation(s) must be corrected or abated within 30 days. If not, additional enforcement will be taken.

VIOLATIONS:

Following are the activities, uses, or structures which constitute violation(s) of the Ventura County Building Code and/or Zoning Ordinance identified by section number, the actions that must be taken to correct the violation(s), and the range of applicable daily civil administrative penalties.

Violation 1. Non-permitted modifications to the following structures:

- a) Caretaker dwelling (H2) - removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slab. The amount of work completed has exceeded the threshold of 50% of the walls and 50% of the floors. The legal non-conforming use of the structure as a caretaker dwelling has been lost.
- b) Two-story main residence (4) - removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).
- c) Caretaker dwelling (2) - non-permitted conversion of storage building to a caretaker dwelling unit and office.
- d) Pool area adjacent to ranch maintenance and storage building (1A) - large concrete pool/structure, empty and with no barrier.

The above are in violation of:

- Non-Coastal Zoning Ordinance section(s) 8101-3 General Prohibitions, 8105-1.3 & 8105-4 Residential Permitted Uses

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 4 - Notice of Violation, CV19-0100

- Ventura County Building Code section(s) 105.3 Failure to file application for permits, 105.1 Failure to obtain permits, 110.1 Failure to have work inspected.

Abatement of the above violations may be achieved by:

- 1) providing a formal determination of the lots' legal status from the County Surveyor Division-Public Works.
- 2) providing a copy of the assessor building history records to the Code Compliance and Planning Division. These forms are essential to confirming existing uses of structures on the property.
- 3) obtaining approval from the Cultural Heritage Board. A Historical Site of Merit exists on this parcel. Please contact the Cultural Heritage Planner at (805) 654-5042.
- 4) obtaining permits and clearances in accordance with the adopted codes and ordinances from the Planning Division and the Building & Safety Department.
- 5) requesting inspections to verify compliance.

Daily Civil Administrative Penalties may range between \$50.00 to \$100.00.

The above violations were confirmed on 05/24/2019.

EACH DAY THAT A VIOLATION EXISTS CONSTITUTES A NEW VIOLATION

Until the violation(s) are corrected, Code Compliance Division staff time spent in confirming the violations(s) and securing abatement of the violation(s) will be charged to you (ref. CZO § 8183-5.4; NCZO § 8114-3.4). These costs include all time spent for meetings, site visits, telephone calls, correspondence, etc. that relate to this violation case. You will be charged for staff time at the current hourly rate. Late charges and interest at 2% of the amount of the unpaid bills compounded monthly will also be assessed. Unpaid charges will become the responsibility of subsequent property owners if you do not pay the bills.

ENFORCEMENT ACTIONS

If the violation(s) are not corrected by 7/28/2019, the following enforcement actions may apply:

A. NO NEW PERMITS

No new Planning or Building permits will be issued on the subject site except to correct a violation.

B. RECORDATION OF NOTICE OF NONCOMPLIANCE

A Notice of Noncompliance will be recorded against the property that gives record notice to all, including lenders, potential purchasers, and subsequent owners, that violation(s) of the Ventura County Building Code and/or Zoning Ordinance exist on the property. The Notice of Noncompliance will not be released until the violation(s) are corrected and all fees and charges are paid, including reimbursement for staff time.

C. IMPOSITION OF CIVIL PENALTIES AND RECORDATION OF LIEN

You will receive a Notice of Imposition of Civil Administrative Penalties advising you of the amount of the daily monetary penalties that have been imposed against your property (ref. CZO § 8183-5.7; NCZO § 8114-3.7; VCBC § 114.5). The penalties shall accrue **DAILY** until each respective violation is corrected and confirmed by a County Code Compliance staff inspection. The amount of the daily penalty shall constitute a Lien against the property.

D. CRIMINAL PROSECUTION

Each violation of the Ventura County Building Code and/or Zoning Ordinance is a misdemeanor or an infraction. You may be prosecuted by the District Attorney and subject to criminal punishment. As explained above, each day that a violation exists is a new violation.

APPEAL OF DETERMINATION OF VIOLATION

If you do not believe a violation exists and wish to appeal this determination and stay further enforcement actions while the appeal is pending, you must submit your appeal to the Director of the Planning Division for Zoning Ordinance violations by 7/8/2019. There is a deposit associated with submitting an appeal (ref. CZO § 8181-9; NCZO § 8111-7).

If you wish to appeal a building code violation, you must submit that appeal to the Building Official by 7/28/2019. There is a fee associated with filing an appeal (ref. VCBC § 113).

If you need additional time beyond the specified deadline to abate the violations, we can discuss the possibility of a Compliance Agreement. There will be a charge to prepare it plus costs to administer the Agreement through the abatement of the violation(s). This is an agreement between you and the County wherein you agree to abate the violations in a specific manner and time frame. The County is under no obligation to enter into such an agreement, even if you so request.

PERMITS TO ABATE VIOLATIONS

Abatement can be achieved by obtaining the required permits and clearances from the Planning Division and the Building & Safety Department in accordance with the adopted codes and ordinances and requesting inspections to verify compliance. Approvals from other agencies such as Fire, Environmental Health, Integrated Waste Management, and Public Works may be required.

Clearances, permits, and approvals must be obtained prior to commencing work. Permits to abate violations for land use and building violations will include additional late filing fees, penalty fees, and/or investigation fees in accordance with the applicable Zoning Ordinances and Building Codes.

IMPORTANT: It is your responsibility to inform Code Compliance when your violation(s) have been corrected. Until we hear from you that the violation(s) are corrected and this can be confirmed to our satisfaction, the violation(s) are presumed to remain and enforcement actions against you will continue.

The Code Compliance Division wants to work with you to avoid the consequences listed above. I urge you to contact me immediately at the above number so we can discuss how this issue can be resolved. If you wish to discuss this matter in person, please make an appointment using the contact information above. Reference the case number, CV19-0100, in all verbal and written inquiries or replies. You may request copies of the pertinent materials regarding this code enforcement matter or consult the Planning Division website, <http://www.vcrma.org/divisions/planning> or the Building and Safety Division website, <http://www.vcrma.org/divisions/building-and-safety>.

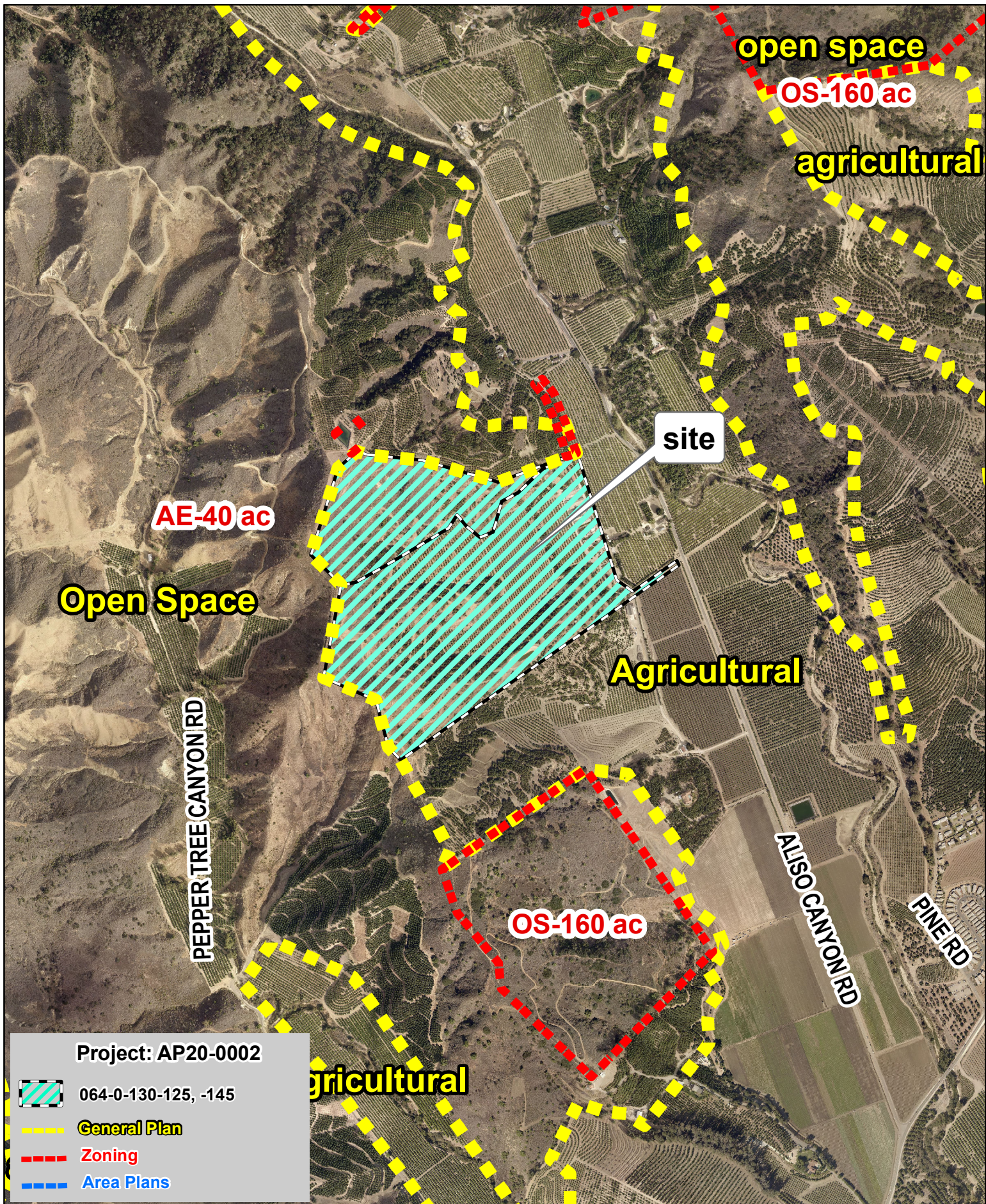
Si usted no lee o entiende ingles, favor de llamar a Marco Perez al teléfono (805) 654-2463 tocante a este asunto. Dele el numero de su caso que se encuentra a la derecha en la parte de arriba de esta carta.

Sincerely,

Amanda Ahrens
Code Compliance Officer

Attachments: Courtesy Notice(s)
Civil Administrative Penalties Program Flyer

cc: File
Complainant



Ventura County
Resource Management Agency
Information Systems GIS Services
Map created on 08-03-2020
Source: Pictometry: Nov 2018



County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 5 - General Plan,
Location and Zoning Map

05000 200 Feet

Disclaimer: this map was created by the Ventura County Resource Management Agency Information Systems GIS, which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance therein



DISTRICT RECORD

Primary # _____

HRI # _____

Trinomial _____

Page 1 of 11

NRHP Status Code

3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

D1. Historic Name: *Billiwhack Stock Farm & Dairy*

D2. Common Name: *Billiwhack Ranch*

D3. Detailed Description (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.):

The former stock farm/dairy complex is composed of silos, dairy barns, milking barns, creamery and employee houses. Two roads lead up the gently sloping hillside to a large terraced area containing the once-operating dairy buildings. Today these buildings function as offices and storage for the citrus operation on the surrounding 70 acre parcel. All of the buildings are built of reinforced concrete and are tile lined. Located in a long row, on the east side of the road, from south to north, are three dairy barns, a creamery building (milk processing), a milking barn, and second dairy barn. To the east of this barn is a milker's dormitory. West of the buildings, against the hillside, are three large hollow clay tile silos and a concrete building that housed a hammer mill. In the center of this large flat area originally stood a large number of open-sided livestock feeding sheds, measuring approximately 20 by 60 feet. A two-story dormitory for the employees has also been demolished and only the underground parking area remains. A small office building is located adjacent to the parking area.

D4. Boundary Description (Describe limits of district and attach map showing boundary and district elements.):

The Billiwhack Ranch is bounded on the east by ranch property and Aliso Canyon Road and by agricultural lands on the north, west and south.

D5. Boundary Justification:

The boundary of the nominated property is the present 70 acres owned by the Held Family, and another parcel that includes the original dairy manager's residence. This site includes all of the original dairy buildings and structures and the acreage of the original Billiwhack property.

D6. Significance: Theme *agriculture*

Area *Santa Clara Valley*

Period of Significance *1925-1943*

Applicable Criteria *A & C*

Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built by August Rubel between 1925 and 1934. A number of smaller family dairies were established in the area between 1920 and 1950, including the Orr Family's Orange Grove Dairy and the Golden State Dairy operated by the Lindsey Family, and later by the Pinkerton family. However, no other dairy compared in size to the Billiwhack Stock Farm & Dairy and its "state of the art" buildings. [Continued]

D7. References (Give full citations including the names and addresses of any informants, where possible.):

Sheridan, History of Ventura County, Vol.II, 1926, p. 484.

Interview with Craig Held, 11/10/95

Ventura County Star Free Press, 7/18/36; 6/17/76

Oxnard Daily Courier, 6/15/26; 6/14/34

D8. Evaluator: *Judy Triem*

Date: *11/15/95*

Affiliation and Address: *627 E. Pleasant Street, Santa Paula, CA 93060*

County of Ventura
Board of Supervisors Hearing
PL20-0032

Sub-exhibit 6 - Historic Resources Survey
District Record for Property dated 1995

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 2 of 11 Resource Name or #: (Assigned by recorder) Billiwhack Stock Farm & Dairy

Recorded by: Judy Triem/San Buenaventura Research Assoc.

Date 11/3/95

☒ Continuation ☐ Update

D.6 (Significance)

A native of Zurich, Switzerland, August Rubel arrived in Ventura County in 1922, after graduation from Harvard at the age of twenty-three. He and his wife Mary Colgate McIsaac purchased approximately 240 acres of land in Aliso Canyon with the intent of establishing a dairy. Rubel hired Oxnard contractor Adolph Schroeder to construct the dairy buildings. The designer is unknown.

From the start, Rubel envisioned a "state of the art" dairy, including the most advanced buildings and techniques available, and had also purchased the finest holstein herd he could afford. The herd included "Prince Aggie," a prize bull from Thomas Bard's Berylwood Ranch near Port Hueneme. Prince Aggie was an undefeated California champion and "the highest yearly record butter bull in the world for his seven nearest dams."

In 1926 Prince Aggie died unexpectedly at the height of his career. The loss proved disastrous for Rubel, who sold the dairy in 1928 to Ben and Sam Fratkin, operators of the Valley Dairy Company of Los Angeles and El Monte, one of the largest dairy producing companies in the Los Angeles area. The unfinished buildings were not completed until 1934. Billiwhack operated as a dairy from 1934 until about 1943. In 1969 it was purchased by its present owners and is now a citrus ranch. The former dairy buildings are used for storage and various other agricultural related uses.

State of California —The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # _____

HRI # _____

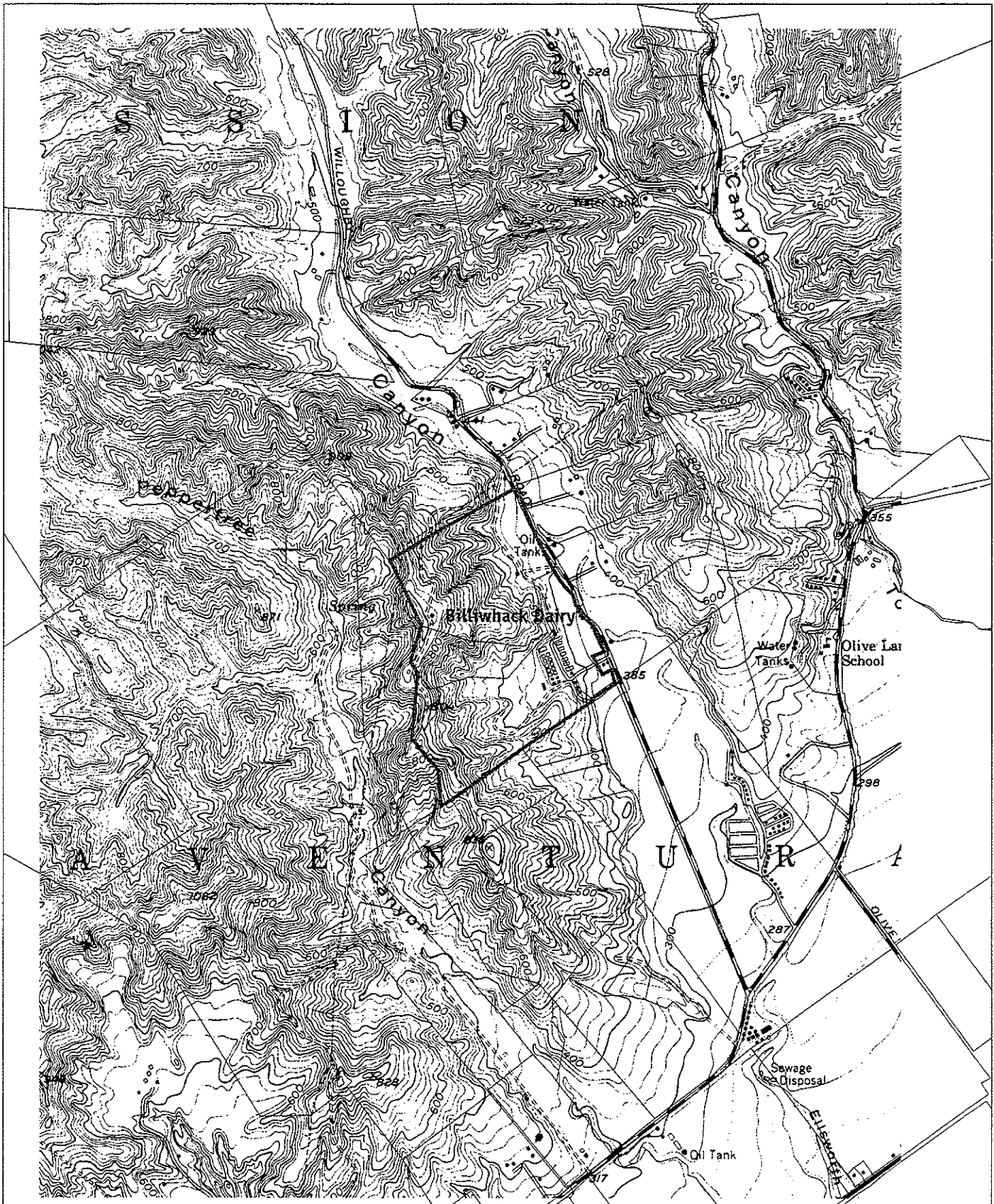
Trinomial _____

Page 3 of 11

*Resource Name (assigned by recorder) Billiwhack Stock Farm & Dairy

Drawn By: Saticoy USGS 7.5 minute quad, 1951, with assessor parcel overlay.

*Date: 7/17/96



PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 4 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Cow stables*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

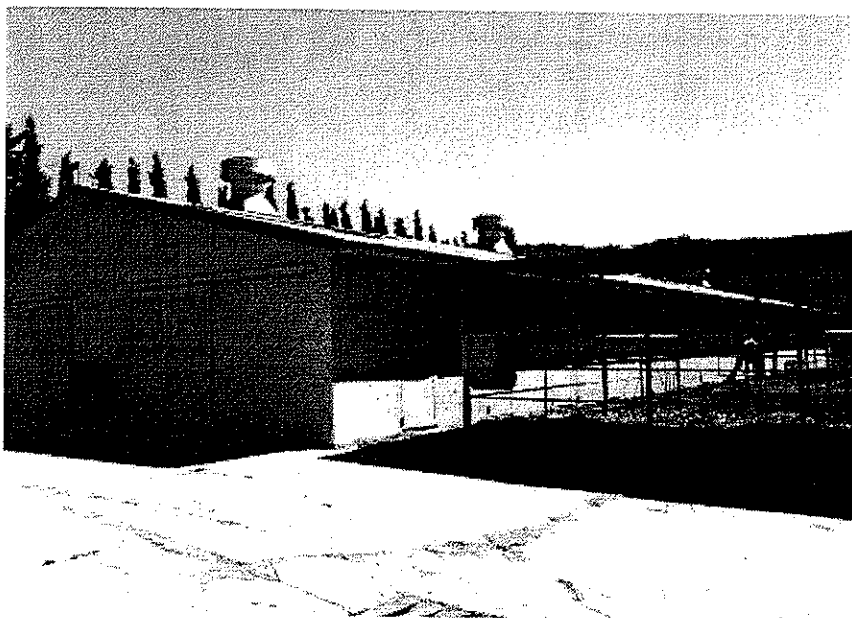
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Four identical buildings were used to house the dairy herd. These long narrow buildings, constructed of concrete, have low gable roofs with overhanging eaves. The low concrete ceilings are supported with metal trusses. The floors have a patterned tile with drains. Each animal had its own stall with a small window and door leading to the corrals. The corrals have been removed, except for one at the north end between the milking barn and the feed shed. Two sets of double doors on tracks are located at each end of the building. Three of the sheds remain fairly unaltered, but in the process of converting one shed to an office, some doors and windows were enclosed.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Cow stable, southwest elevation, 7/07/95 #1020

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1924-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 5 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Creamery building*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This is the most elaborately designed of the dairy buildings due to the use of tile and stenciling. The poured-in-place concrete building has an irregular plan with a series of interconnecting wings of both one and two stories. A small hipped roof tower topped with a pole is located in the center of the two-story portion of the building. The flat roofs on each section have raised parapets with decorative raised stepped parapets along some of the elevations, especially the eastern elevation, adjacent to the original access road. Tilework set in geometric patterns are located at either side of the two entrances. Decorative classical designs are found above the pilasters on either side of the door. Above the door are three small transom windows. The building has numerous steel multi-paned windows with concrete sills varying in size from four to sixteen panes. The walls at the western end of the building have been damaged from water leakage. Several windows have been broken and some openings are boarded up. This building is in poor condition. The interior is unique because of the stenciled ceiling, skylights and the heavy use of tile both on walls and floors. The second floor is a mezzanine.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Creamery, east elevation, 7/07/95#1018

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D
Other Listings
Review Code _____ Reviewer _____ Date _____

Page 6 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milk barn*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The milk barn has a two-story center section with a low pitched gable roof and overhanging eaves. Rows of multi-paned windows run along the entire length and width of the concrete building. A long, sloping shed roof extends from each side creating the one story section. Several multi-paned doors on tracks are located across the west end of the building. Groups of windows are also found on the one story portion of the building. The building has retained its design integrity, but is in only fair condition.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Milk barn, southwest elevation, 7/07/95, #1021

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

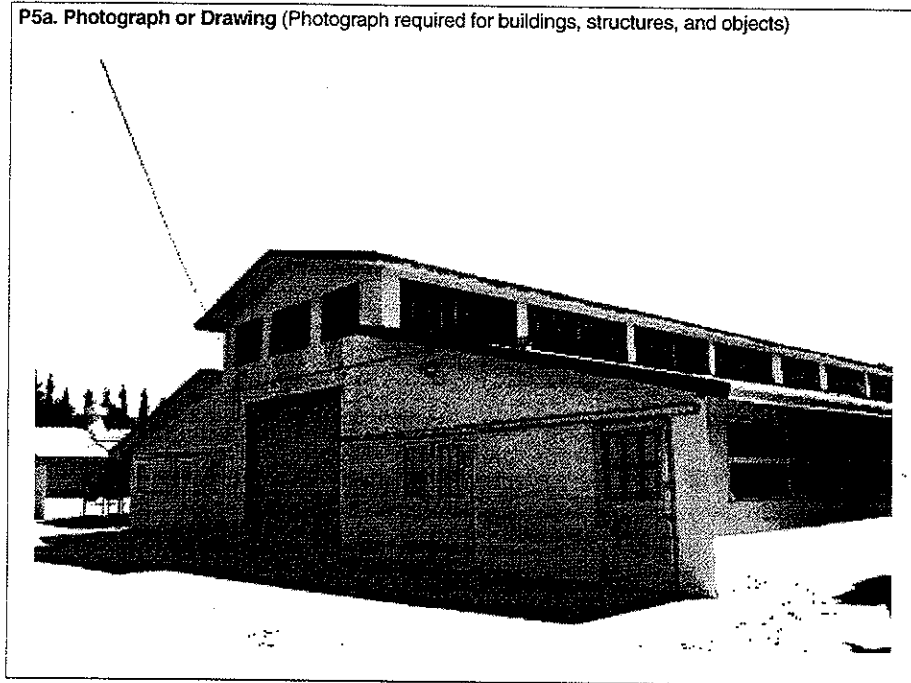
P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)

Intensive



P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 7 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Hammermill*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

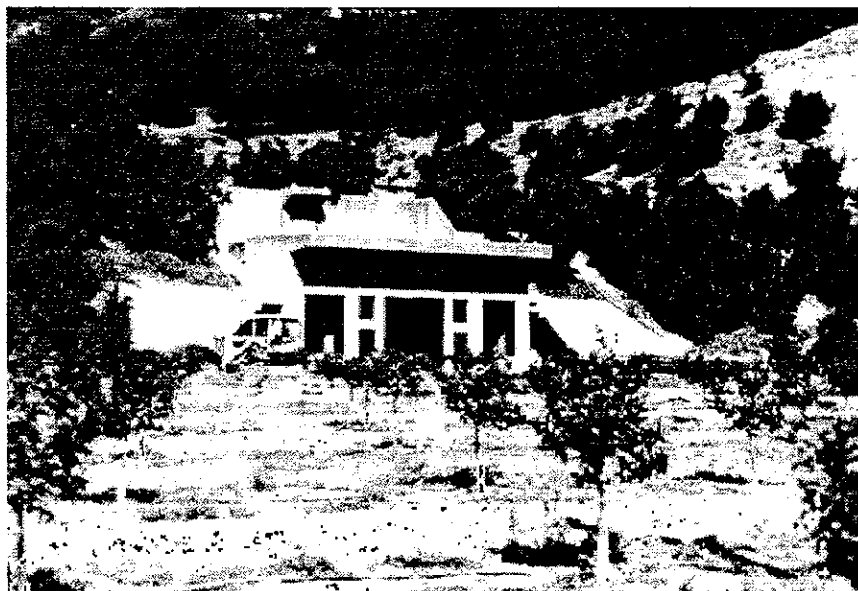
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This unusual building is constructed of concrete and built into the hillside, virtually in the manner of a bunker. The front or eastern elevation is divided into three bays with large multi-paned windows divided by concrete posts that have two windows in the center forming an H-shape. Concrete steps ascend on either side of the building and the top has a flat projecting roof. This building housed the hammermill, a special type of mill that separated silage from grain. This silage was then stored in the adjacent silos.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Hammermill, east elevation, 7/07/95, #1010

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 8 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milker's Dormitory*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This long, narrow building is one-story in height with a low-pitched gable roof covered with clay tile. The wide eaves are open. The wide windows have wood sashes and wood casings. The building is covered with smooth stucco finish. A shed roof extends from the west side of the building to form a carport. This building once served as a dormitory for the milkers who worked at the dairy. It now serves as a single family residence.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Milker's dormitory, southwest elevation, 7/07/97, #1019

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 9 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Silos*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Three identical silos are located immediately to the south of the hammermill building. The silos are round in plan, are built of hollow clay tile blocks, and are between thirty to forty feet in height. They were used to store the silage produced by the hammermill. The silage was then transferred to the feed sheds that once stood in the large open area just east of the silos. This area is now planted in citrus.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☐ Building ☒ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Silos, east elevation, 7/07/95, #1009

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

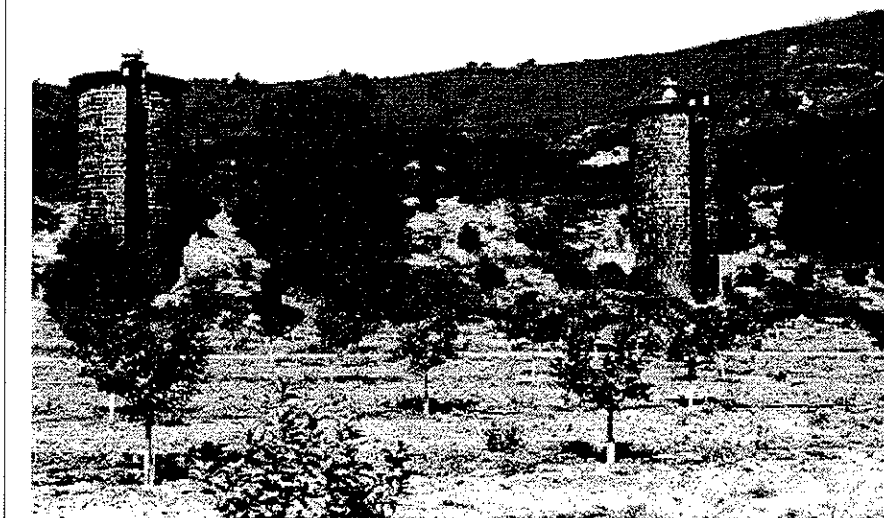
P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive



P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 10 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Manager's Residence*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2847 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-13*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This English Tudor style residence with an irregular plan has a main one and one-half story portion with a wing extending on the northeast side. Covered with slate, the steep pitched hip roof is broken by a hipped dormer window centered over the front porch and a tall corbelled brick chimney to the north. The eaves are open and very shallow with exposed rafter tails. A pergola with a turned balustrade extends across the front of the porch. The front door has two windows in the upper portion with two panels in the lower half. Multi-paned wood casement and fixed windows are located throughout the house except for the front wing whose windows are fixed. This wing was originally the garage. The upstairs dormer was also added later. The house is covered with stucco siding and wide shiplap and rests on a concrete perimeter foundation. It is in excellent condition.

The house is located at the end of a long dirt road that curves to the north at the top of the low hill and enters the formally landscaped setting with a large yard area with many shrubs and ornamental trees. A stucco wall with decorative tile and wrought iron inserts extends across the edge of the hill adjacent to the driveway. The lot is narrow with the hillside closing near the rear of the house. At the rear is a small one-story building, known as the "poker room" built into the hillside during the 1940s. A new garage has been added at the end of the driveway. The 90 acre ranch is planted in citrus trees.

P3b. Resource Attributes: (List attributes and codes) *HP2 - Single Family Property* *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Residence, east elevation, 7/07/95; #1024

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1926-E

P7. Owner and Address

*Jim Williams
2847 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/5/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☒ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 11 of 11

NRHP Status Code

3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

B1. Historic Name: *Billiwhack Dairy-manager's residence*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *same*

B5. Architectural Style: *English tudor*

B6. Construction History: (Construction date, alterations, and date of alterations)

1926 - main house; game room- 1940s

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features: *garage, small game room*

B9a. Architect: *Roy Wilson*

b. Builder: *unknown*

B10. Significance: Theme: *Agriculture*

Area: *West Santa Clara Valley*

Period of Significance: *1925-1943*

Property Type: *ranch buildings*

Applicable Criteria: *A, C*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

This house is significant for its association with the Billiwhack Dairy. It was built by August Rubel to house the manager of the dairy. It was designed by local architect Roy Wilson. The Billiwhack Stock Farm and Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built between 1925 and 1934 by August Rubel. The house and grounds have retained a great deal of their original integrity of design and setting.

B11. Additional Resource Attributes: (List attributes and codes)

HP2 - Single Family Property

HP33 - Farm/ranch

B12. References:

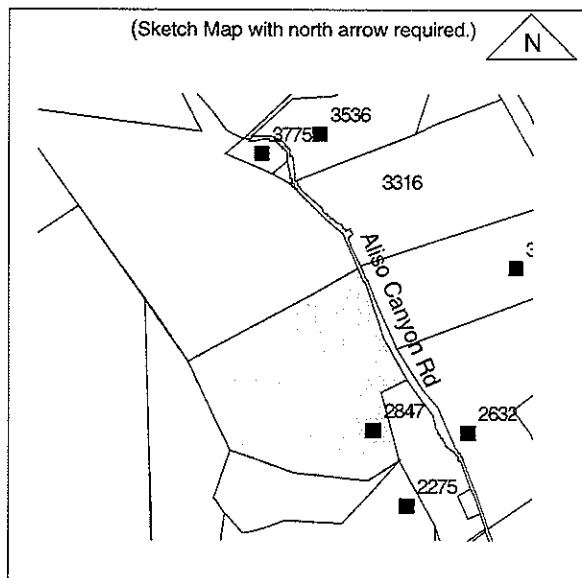
Interview with Jim Williams, 4/21/95

B13. Remarks:

B14. Evaluator: *Judy Triem*

Date of Evaluation: *11/15/95*

(This space reserved for official comments.)





Creamery Building (Building 4)



Building 1

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 7 - Code Compliance
Division Site Inspection Photos



Grain Silos

5/24/19



Milker's Dormitory (Building H2)

5/24/19



Agricultural Building (one of several)



Milking Barn

Zoning Clearance Correction Notice

Applicant Name: Everett Woody

General Plan: Agricultural

Applicant Phone: 805-452-2999

Area Plan Designation: N/A

Address: 2275 ALISO CYN RD

Legal Lot Status: PMW/Merger

Parcel: 0640130145

Lot area acres: 97.89

Zoning Clearance: ZC19-0684

Submittal Date: 06/19/2019

Zoning: AE-40 ac

Correction Notice Date: 07/09/2019

Project Description:

Zoning clearance to partially abate violation CV19-0100:

Rehabilitation/reconstruction of existing structures found on a single discreet legal lot with APN #s 0640130145 & 0640130125 and a reference address of 2275 Aliso Canyon Rd, Santa Paula. This property is contains a AE-40 ac zoning and Agricultural land-use designation and measures 97.89 acres in total. A historic site of merit exists on this lot.

Correction Notice:

Submitted materials:

1. Historic reference report
2. Site Plan
3. Floor plan & Elevations for Building "H2," "2," "H1," and "4"
4. Photograph indicating extent of damage to building H2

The submitted photograph does not provide sufficient information to defend the applicants request for continuation of a non-conforming use within subject structure "H2" (as referenced in the violation). Submitted site plan indicates there are multiple buildings with various uses. Submit a floor and elevation plan for each structure. Caretaker units are ministerial permits referenced in VCNCZO Sec. 8107-26, please provide information on exact areas "under crop" and how standards are met for caretaker units.

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 8 - July 9, 2019
Correction Notice #1 for
ZC19-0684



Ventura County Cultural Heritage Board Minutes

August 12, 2019 at 1:15 p.m.– Item 3b

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **11:00 A.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 2275 ALISO CANYON ROAD, SANTA PAULA, CA 93060 (BILLIWHACK RANCH)**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

A quorum could not be established, meeting was not called to order. The tour was still given to Staff and CHB members present however, CHB members present were instructed that they could not have any discussion or ask questions.

3. **1:15 P.M. CONVENE THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 800 S. VICTORIA AVENUE, VENTURA, CA 93009 (VENTURA COUNTY GOVERNMENT CENTER, ADMINISTRATION BUILDING, ATLANTIC CONFERENCE ROOM, SECOND FLOOR).**

4. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Gary Blum, John Kulwiec, Ricki Mikkelsen and Stephen Schafer.

CHB Members Absent:

Miguel Fernandez, Phil Englander, Darwin McCredie

Staff Present:

Denice Thomas, Cultural Heritage Program Manager

Ashley Cook, Cultural Heritage Planner.

5. **APPROVAL OF AGENDA**

6.a. Vote to approve the July 12, 2019 Agenda

CHB Member Mikkelsen made a motion to approve the agenda. CHB Member Kulwiec seconded the motion. Motion Passed; 4-0.

7. **PUBLIC COMMENTS**

8. **CONTINUED ITEMS**

None.

9. **NEW BUSINESS**

9.a. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 9 - August 12, 2019
Cultural Heritage Board Meeting
Minutes

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No. CH19-0021)

Disclosures:

CHB Member Schafer disclosed that he was in attendance at the tour earlier in the day. CHB Member Kulwiec disclosed that he was also in attendance at the tour earlier in the day as well.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos as well as the history of the site. He answered questions from the CHB members.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

1. **CONDUCT** public hearing, **RECEIVE** oral and written testimony, and **CONSIDER** the County Planning staff report and all exhibits and attachments hereto; and,
2. **MAKE** the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.
3. Based on the preceding evidence and analysis, **APPROVE** a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Photo Presentation by CHB Member Schafer

CHB Member Schafer presented the photos taken during the tour earlier that day at the project site.

Deliberation and Recommendation:

CHB Member Schafer asked the applicant questions regarding the significance of some the character defining features. CHB Member Schafer had concerns with removing the original Dutch doors on Building 2 as they could be considered character defining features. CHB Member Schafer agreed with Staff that the tower element should not be raised as this could create conjectural feature. CHB Member Schafer mentioned that without

having a Historic Resource Report, it is hard to make a recommendation on the plans. He would like to see a list of character defining features. This helps the CHB determine if the proposed plans affect the character defining features of the property and more information is needed to make a determination. CHB member Schafer recommended that the applicant apply for landmark status and that would allow them to use the Historic Building Code. CHB member Schafer also pointed out a few discrepancies in the plans that the applicant needs to resolve, such as the missing window on the North Elevation of Building H1 and the wrong window sizes/types shown in the existing plans on Building 2.

CHB Member Kulwicz had concerns regarding the structural integrity of the retaining wall located on the property line. He recommended that the wall be inspected by a structural engineer.

All CHB member seemed to concur that further information and analysis was needed to make a determination on the project.

CHB Member Schafer made a motion to table the item until the applicant can provided a Historic Resources Report, by a qualified architectural historian, that includes analysis of the project as a district, analysis of the project according to the Secretary of the Interior Standards and includes a list of character defining features. CHB Member Kulwicz seconded the motion. Motion Passed; 4-0.

The applicant addressed the board about the stabilization of the Building 4 as it needs to be shored up, stabilized and repaired to prevent further damage. The applicant asked if he would have to return to the CHB separately for this part of the project.

CHB Staff recommended that if the Board agreed, the COA for the stabilization and structural repair of the failing portion of Building 4 could be approved administratively pending the concurrence of the Chair and the member that represented the district. The CHB agreed and CHB Member made a motion to allow for the COA administratively with concurrence of the Chair and District representative per staff's suggestion. CHB member Kulwicz seconded the motion. Motion Passed; 4-0.

10. REPORTS

10.a. Board Member Reports:

CHB Member Kulwicz was happy to reported on the Spirit of Santa Paula and that the warming shelter project is moving forward, and the kitchen equipment

is be installed. They hope to open for the winter and are making great progress.

CHB Member Blum updated the CHB on the status of the Carnegie Museum in Oxnard.

CHB Member Mikkelsen reported that there was a meeting that took place in Thousand Oaks regarding the Timber School. However, she was not able to attend and will give updates at the next meeting.

CHB Member Schafer reported that the City of Ventura has put out an RFP for a city-wide survey of historic resources, he is concerned that proposal will come in over budget. He is also going to be speaking on a CFP webinar titled "Case Example in Contextual Infill".

10.b. CHB Program Updates from Staff:

Denice Thomas: None

Ashley Cook: None

11. NEXT MEETING

Ashley Cook announced the next regularly scheduled meeting is August 26, 2019.

12. ADJOURNMENT

At 3:02 p.m., the Cultural Heritage Board concurred to adjourn.



Gary Blum, Chair

ATTEST:

 Dillen Murray for

Denice Thomas, Cultural Heritage Program Manager

Zoning Clearance Correction Notice

Applicant Name: Everett Woody

General Plan: Agricultural

Applicant Phone: 805-452-2999

Area Plan Designation: N/A

Address: 2275 ALISO CYN RD

Legal Lot Status: PMW/Merger

Parcel: 0640130145

Lot area acres: 97.89

Zoning Clearance: ZC19-0684

Submittal Date: 06/19/2019

Zoning: AE-40 ac

Correction Notice Date: 08/13/2019

Project Description:

Zoning clearance to partially abate violation CV19-0100:

Rehabilitation/reconstruction of existing structures found on a single discreet legal lot with APN #s 0640130145 & 0640130125 and a reference address of 2275 Aliso Canyon Rd, Santa Paula. This property is located in Agricultural land-use designation, contains AE-40 ac zoning, and measures 97.89 acres in total. A historic site of merit exists on this lot. This project has been reviewed by the Ventura County Cultural Heritage Board and is referenced in project record CH19-0021.

Building H2: Conversion of the existing 2,646 sq. ft. caretaker dwelling to habitable area not to be used for human habitation and authorization for construction of a new 360 sq. ft. attached carport. This zoning clearance authorizes a 36 sq. ft. half-bathroom. The request includes installation of one bar sink in the wet bar area. The wet bar area shall be distinct from a kitchen. The bar sink shall contain sink basin interior dimensions less than or equal to 12" wide by 12" long and 9" deep and plumbing greater than 1 and ¼ inches in diameter connected to the bar sink drain. Demolition of all plumbing fixtures related to existing showers and kitchens. This structure does not meet the definition of dwelling and shall not contain a kitchen in any capacity. Pursuant to NCZO Sec. 8102-1, a kitchen is defined as any room, in an approved dwelling, all or part of which is designed, built, equipped, maintained, used, or intended to be used as a place for the preparation and cooking of food, and contains more than one of the following: (a) a counter sink with interior dimensions larger than 12" wide by 12" long and 9" deep; (b) a stove, hotplate, or conventional or microwave oven; (c) a refrigerator of more than four cubic feet capacity. The demolition of walls and floor of the existing caretaker dwelling encountered during inspection of CV19-0000 has exceeded the allowed 50% removal referenced in NCZO Sec. 8113-6.1.1 and in doing so has relinquished its non-conforming use. (See Exhibit A)

Pool Area: Demolition/removal of pool in pool area. This removal shall be completed to the satisfaction of the Ventura County Building & Safety Division.

Building 2: Interior remodel to include demolition of existing walls and removal of a non-permitted dwelling. The internal remodel will result in the creation of a new 1,848 sq. ft. caretaker dwelling unit with an attached 2,716 sq. ft. agricultural-related workshop.

Main residence: Interior remodel to include demolition of all kitchen-related fixtures so that the structure contains one dwelling and has internal access between all bedrooms and core rooms. This zoning clearance authorizes structural repairs to the southwestern-most corner of the structure. These structural repairs shall not exceed the 50% outlined in NCZO Sec. 8113-6.1.1. An affidavit has been signed to this effect.

Correction Notice:

Provide existing floor plans for the 3,550 sq. ft. "Existing Barn"

Provide exhibit indicating that the property meets ministerial standards to qualify for one caretaker unit as referenced in NCZO Sec. 8107-26. A caretaker is defined as: A dwelling unit occupied by a caretaker, and his or her family, employed full time and working on the same lot on which the dwelling unit is located or on other land that is under the same ownership or lease as the subject lot. Please provide verification of caretaker employment. *Employment Verification Declaration for Farmworker/Animal Caretaker Dwelling form attached*

Please update plans to reflect comments addressed in CHB hearing scheduled on August 12, 2019 in relation to "existing conditions." (i.e. Windows and Doors)

Please sign the attached Non-conforming affidavit
Please sign the attached Accessory Dwelling Unit affidavit



ANNUAL VERIFICATION OF FARMWORKER OR ANIMAL CARETAKER EMPLOYMENT

County of Ventura • Resource Management Agency • Planning
Division 800 South Victoria Avenue, Ventura, CA 93009 • (805) 654-2488

This employment verification is required in accordance with the conditions of the Conditional Use Permit (CUP) or Zoning Clearance issued for a farmworker or animal caretaker dwelling on the subject site and pursuant to the Ventura County Non-Coastal Zoning Ordinance (NCZO), Section 8107-26.4, which states (in pertinent part) that the owner of the property, or his/her designated agent, must **submit an annual verification report by May 15th of each year** to the Planning Director, demonstrating that the farmworker(s) and/or animal caretaker(s) residing in the farmworker and/or animal caretaker dwelling unit(s) meet(s) the employment criteria established in Section 8107-26.3 of the NCZO.

Pursuant to Section 8107-26.3 of the NCZO, farmworker and animal caretaker dwelling units shall only be rented or provided under the terms of employment to persons who are employed full time (minimum 32 hours per week) as farmworkers or animal caretakers by the property owner or lessee of the lot upon which the dwelling unit sits, or on other land in Ventura County that is under the same ownership or lease as the property with the dwelling unit. Additionally, a farmworker or animal caretaker who has been renting or occupying a farmworker or animal caretaker dwelling unit and who subsequently retires or becomes disabled, may continue to reside in the dwelling unit.

Please complete all required information and questions below. **Submit to:** Anthony Ciuffetelli via e-mail at anthony.ciuffetelli@ventura.org. This form may also be printed and mailed to: Ventura County Planning Division L#1740, Condition Compliance Program, 800 S. Victoria Ave., Ventura, CA 93009 (prior to May 15th each year). If you have any questions, please call (805) 654-2443.

Note: All information provided on this declaration is subject to audit by the Planning Division.

I certify or declare under penalty of perjury under the laws of the State of California that all information hereon, including any accompanying statements or documents, is true, correct and complete to the best of my knowledge and belief.

Print Name _____ Signature of Owner/Designated Agent _____ Date _____

Reporting Calendar Year: _____ Date: _____

Property Owner/Designated Agent Name: _____ Phone No.: _____

E-mail Address: _____

Assessor's Parcel Number: _____ -0- _____ - _____

Address: _____

CUP No.: _____ - OR - Zoning Clearance No.: _____

Is each farmworker/animal caretaker dwelling unit occupied by at least one person employed by the property owner for at least 32 hours per week on the subject site and/or on other land in Ventura County that is owned by the same property owner? YES ☐ NO ☐

If you answered "No" above, is the farmworker/animal caretaker dwelling unit occupied by a farmworker/animal caretaker who was previously employed by you, but subsequently retired or became disabled? YES ☐ NO ☐

Dwelling #1:

Occupant Name: _____ Occupant's Signature: _____

Date: _____

Address: _____

Phone#: _____

How many family members live in this dwelling, not including the farmworker/animal caretaker? _____

If you charge rent for this dwelling, please indicate the monthly rent amount. \$ _____
(If you do not receive rent, please insert N/A.)

Dwelling #2: (if applicable)

Occupant Name: _____ Occupant's Signature: _____

Date: _____

Address: _____

Phone#: _____

How many family members live in this dwelling, not including the farmworker/animal caretaker? _____

If you charge rent for this dwelling, please indicate the monthly rent amount. \$ _____
(If you do not receive rent, please insert N/A.)

Dwelling #3: (if applicable)

Occupant Name: _____ Occupant's Signature: _____

Date: _____

Address: _____

Phone#: _____

How many family members live in this dwelling, not including the farmworker/animal caretaker? _____

If you charge rent for this dwelling, please indicate the monthly rent amount. \$ _____
(If you do not receive rent, please insert N/A.)

NOTE: IF YOU HAVE MORE THAN THREE FARMWORKER/ANIMAL CARETAKER DWELLING UNITS, PLEASE PROVIDE THE REQUIRED INFORMATION ON A SEPARATE SHEET.

ADVISORY NOTICE REGARDING REMODELING OF STRUCTURES

INTRODUCTION

The Coastal and Non-coastal Zoning Ordinances allow for the issuance of zoning clearances for new structures and additions/remodels/partial demolition of existing structures. When a Zoning Clearance has been issued for an addition/remodel/partial demolition of an existing structure, but more than 50% of its roof or floor is removed for any reason, the Zoning Clearance will be voided and a new one will have to be issued for "new" construction. So, even if the Building and Safety Division, one's contractor or architect says the walls, roof and/or floors of a structure must be removed because they are unsound; the 50% rule is still applied.

When the above situation involves "non-conforming" structures, they can lose their "grandfathered" rights. Nonconforming structures are those that were legally constructed initially (or prior to the requirement to obtain permits as of March 1947) but do not meet current standards. Such structures are considered "grandfathered" if they were lawfully created. Structures commonly become non-conforming due to the following: Insufficient setbacks from property lines; Lack of required two-car covered parking; Being too tall; Being used for a purpose that is no longer permitted in the zone such as second or third dwelling on the site or a residence in a commercial zone; or because new or different permits are required presently.

Non-conforming structures can be altered or remodeled and retain their non-conforming status so long as less than 50% of a non-conforming structure's roof or floor is removed or destroyed. If this 50% figure is exceeded, then the entire structure must meet the current code requirements (see attached code sections). The fact that a structure is declared unsound by the Building and Safety Division and the owner is ordered to correct the situation does not mean Planning will authorize the re-construction of the building. Unsound and deteriorated buildings that do not meet current Zoning standards are not intended to be re-built.

CASE EXAMPLES

The remodel of a building in poor condition will frequently result in direction from one's contractor or architect to remove many of its key elements, if not everything down to the foundation to address existing deteriorated conditions in the building. Sometimes the Building and Safety Division will order unsafe building conditions corrected. In the eyes of the Building and Safety Division, this is no longer a "remodel", but effectively new construction that is handled differently and charged higher permit fees than a remodel. Planning views the removal of more than 50% of the roof or floor of a building as new construction and not a remodel. A

new Zoning Clearance is required along with a re-review of the building plans and its intended use.

Sometimes the internal remodel of a structure to convert it from a shop to a recreation room leads to the removal of more than 50% of the building's roof or floor because the building is not in good condition. When the owner comes back to Planning for a new Zoning Clearance for "new" construction, they may discover that a Conditional Use Permit (CUP) is required because the total square footage of existing and proposed accessory buildings exceeds 2000 sq. ft.

Some individuals have obtained approval to remodel their homes that are built too close to property lines. The plans submitted showed that more than 50% of the house would remain. Later they decided they would rather have new construction on the same "foot print" plus the requested addition. They removed all but one wall of the original house believing that they had preserved the "non-conforming" right to exceed the current setback standards. When the extent of the demolition was discovered by the building inspector, the project was stopped and the owners were forced to redesign the houses to meet current standards.

In other instances owners honestly assumed that the existing house (or more than 50% of it) could be retained along with its non-conforming features, e.g. a one-car garage. When the contractors discovered that the original house was not structurally sound and building inspectors ordered the unsound portions corrected, more than 50% of the roof or floor was removed along with its non-conforming status. New building plans were prepared for the new construction that was required and a new two car carport had to be added to the site.

Some property owners have assumed that they can incrementally remove more than 50% of an existing structure and still retain its non-conforming features. This is not true. Records are kept of the successive "improvements" to the original non-conforming structure, so once more than a cumulative 50% of the original structure has been removed, the non-conforming status of the property is lost.

CAVEATS

Property owners and their architects/agents are strongly advised to discuss the non-conforming use regulations of the Zoning Ordinance with the Public Counter Planning staff before commencing their projects. They are also advised to have frank and open discussions about the proposed project and to accurately and consistently depict the project on all plans submitted to the Planning and Building & Safety Divisions. Owners should independently assess the structural integrity of buildings to be remodeled and determine if they can be ultimately retained, or whether significant portions of the structures will have to be removed.

This assessment is very critical because if one incorrectly assumes that more than 50% of its floor or roof can be retained, new plans and new Zoning Clearance must be obtained from the Planning Division. If the structure in question is non-conforming and more than 50% of its roof or floor are removed then the entire building must conform to current standards. The re-engineering of a building and the securing of new permits in the middle of the construction process will be very costly and time consuming.

POLICY

In accordance with the attached Zoning Ordinance sections, where more than 50% of the roof or floor of a structure is removed, the construction project will be issued a stop work order and the entire project must obtain new Planning (and Building & Safety) permits before work can resume. Where the structure is "non-conforming" it must meet current standards.

I have read and understand the above and I hereby acknowledge the requirements for remodeling, adding onto, or partially demolishing structures, particularly nonconforming structures.

Property Owner's Signature

Date

Architect or Designer's Signature

Date



Accessory Dwelling Unit Owner-Occupant and Rental Term Affidavit

County of Ventura • Resource Management Agency • Planning Division
800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478 • vcrma.org/planning/

At the time of application for an accessory dwelling unit, the owner of the property must agree to reside in either the principal or accessory dwelling unit on the project site, pursuant to the Non-Coastal Zoning Ordinance Section 8107-1.7.2(r) and Coastal Zoning Ordinance Section 8175-5.1.1.2(n). Additionally, if the accessory dwelling unit is to be rented out at any time, it shall be on rental terms of no less than 30 consecutive days, pursuant to Non-Coastal Zoning Ordinance Section 8107-1.7.2(p) and Coastal Zoning Ordinance Section 8175-5.1.1.2(m).

The owner of the property must sign this affidavit and show valid California identification (and other supporting documents, if requested) to a Ventura County Planning Division staff member, confirming that he/she is the property owner. If there are multiple owners of the property, all property owners must sign the affidavit or provide a document (e.g., Power of Attorney, Articles of Incorporation, Trustee, etc.) which gives the applicant the authority to sign on behalf of all the owners of the property. If an agent other than the property owner(s) submits the affidavit, the affidavit must be signed by the owner(s) and notarized. The notarized affidavit must include the current legal notary language, as well as the signature and seal of the Notary Public.

Owner/Occupant Name¹: _____

Property Address: _____

Assessor's Parcel Number (APN): _____

I affirm under penalty of perjury that the foregoing is true and correct:

☐ I am the owner and occupant (or will be once construction is completed) of the primary or accessory dwelling unit referenced above.

☐ The accessory dwelling unit, as referenced by the zoning clearance number below, will be rented out for a term of no less than 30 consecutive days.

Print Name: _____ Date: _____

Owner-Occupant Signature _____

TO BE COMPLETED BY STAFF:

Accessory Dwelling Unit Zoning Clearance No.: _____

¹If there are multiple owners of the property, please submit multiple signed copies of the affidavit or a document which gives the applicant the authority to sign on behalf of all the owners of the property (e.g., Power of Attorney, Articles of Incorporation, Trustee, etc.)



County of Ventura Planning Division

800 S. Victoria Avenue, Ventura, Ca. 93009-1740 • (805) 654-2488 • vcrma.org/divisions/planning

Construction/Demolition ZC19-0896

Assessor's Parcel No.: 0640130145

Date Issued: 08/29/2019
Date Expires: 2/29/2020
Fee: \$334.00
Issued By: A Paniagua

All Associated APNs: 0640130145

Property Owner:
BILLIWHACK RANCH LLC

Applicant:
Everett Woody

Mailing Address:
3048 N COOLIDGE AV
LOS ANGELES, CA 90039

Mailing Address:
122 E. Arrellaga Street
Santa Barbara, CA 93101

Telephone:

Telephone: 323-663-9898

ZONING CLEARANCE TYPE: Construction/Demolition

Site Address: 2275 ALISO CYN, SANTA PAULA 93060

Parent Case No.:

Lot Area Sq Ft: 3167683.1999999997

Lot Area Acres: 72.72

Legal Lot Status: PMW/Merger

Map & Lot No: PMW 715

PROJECT DESCRIPTION: Zoning clearance to partially abate violation CV19-0100:

Minor structural repair & rehabilitation of an approximately 520 sq. ft. area found in the ground floor of an existing structure referenced on the submitted plans as "Building #4." The proposed scope entails:

1. Removal of the existing concrete within the floor, walls and roof (including parapet).
2. Sandblasting the exposed steel to a clean bright finish.
3. Repair or replacement of substandard structures found in the exposed steel frame pursuant to recommendations of engineer of record.

All proposed repaired concrete work shall match the existing concrete and shall be considered an "in-kind" replacement. The property's reference address, 2275 Aliso Canyon Rd, is a portion of the unincorporated area near Santa Paula and contains a Historic Site of Merit. An administrative certificate of appropriateness (ACOA) was approved by the Planning Division and can be referenced in record CH19-0027.

The existing structure was constructed in 1926 as a creamery made of heavy steel-reinforced concrete construction. All building materials, colors and architectural elements shall match the existing. This zoning clearance does not speak to, approve, nor deny any proposed use found on the submitted site plan or within the structure.

APPLICABLE ZONING:

Area Plan:
General Plan:

Zoning:
Area Plan Designation:

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 11 - Zoning Clearance
Application No. ZC19-0896

BUILDING COVERAGE ALLOWANCE:**Maximum Building Coverage:**

<u>Building Coverage</u>	<u>Existing</u>	<u>Proposed</u>	<u>Combined</u>
Prin. Structure(s) sf.			
Accessory Structure(s) sf.			
Total sf.			
% of Bldg. Coverage			

SQUARE FOOTAGE:

<u>Building Coverage</u>	<u>Existing</u>	<u>Proposed</u>	<u>Combined</u>
Principal Dwelling			
Accessory Structure DU			
Accessory 2nd DU			
Principal Structure AG			
Acc Structure AG			
Other Principal Structure			
Other Acc. Structure			

Does the cumulative GFA of any of the structures exceed
the maximum ministerial allowance?

DEVELOPMENT STANDARDS

Structure No. 1 Proposed Principal Remodel of Creamery

Category: 8105-4-Agriculture and Agricultural Operations

Sub Category: N/A

Specific Use: N/A

Max Height:

Structure 50 Years and Older: Yes

CHB Review Required: Yes

Setbacks From Lot Line Or Road Easement

Allowed Intrusions Notes: Building 4 on submitted site plan

Repair of 520 sq. ft. area

BELOW ARE SETBACK EXCEPTIONS THAT MAY APPLY**Allowed Intrusions into Setbacks:**

Stairways & balconies, open & unenclosed:	2.5' front, 4' rear
Porches & Landings, uncovered/unenclosed, at or below 1st floor:	6' front, 3' rear and side
Chimneys/fireplaces, masonry:	2' into all setbacks; keep min. 3' side setback
Architectural Features (e.g. eaves, cornices, canopies, etc.):	2.5' front, 2' side, 4' rear; keep min 2' side/rear setback

Are There Setback Exceptions?

Setback Exceptions:

Required Setbacks Between:

Habitable Structures:	10'
Habitable & Non-habitable Structures:	6'
Non-habitable Structures:	6'
Setbacks Between:	

FEES:

Total Fees: 334.00

ATTACHMENT(S):

Y Plot/Site Plan
N Ordinance Standards
N Compliance Agreement
N Declaration
N Cross Sections
N HOA Approval
OTHER: CH19-0027 Approval


Y Floor Plans
N Permit Conditions
Y Elevations
N Removal Notice and Caveats
N Arborist Report
N Affidavit

NOTES:

1. This Zoning Clearance becomes valid once the fees are paid.
2. This Zoning Clearance will be nullified pursuant to the Zoning Ordinance if the information provided by the applicant was not full, true and correct; it was issued erroneously; or it does not comply with the terms and conditions of the permit originally granting the use.
3. This Zoning Clearance expires within 180 days of its issuance date unless a Building Permit is issued. Once a building permit is issued, construction must commence within 180 days. This Zoning Clearance expires if construction does not commence within 180 days of issuance of a building permit.
4. The property owner is responsible for identifying all property lines and ensuring that all the requirements of this permit are complied with.
5. That authorizations by other County Departments that exceed the allowable limits noted herein do not excuse the property owner from complying with the provisions of this permit. (The stricter provisions apply).
6. The proposed project will not result in the removal of more than 50% of the roof or floor area of a non-conforming structure.
7. By May 15th of each year the property owner shall submit a "verification report" and applicable fees demonstrating to the Planning Director's satisfaction that the farmworker/animal caretaker meets the Zoning Ordinances' applicable employment criteria.
8. If the parcel numbers cited in this permit are within the boundary of a Homeowner's Association, additional review and approval of the project may be required by the HOA's Conditions, Covenants & Restrictions (CC&R's). HOA review and approval is the responsibility of the property owner.
9. If the project site(s) cited in this permit are located within the Dark Sky Overlay Zone, all new outdoor lighting shall be installed to be consistent with standards outlined in Sec. 8109-4.7 of the Non-Coastal Zoning Ordinance.

BY SIGNING BELOW I CERTIFY THE FOLLOWING:

- I am the owner of the subject property or I am the authorized agent of the property owner and have his/her permission to obtain this permit.
- I have noted on the attached plot plan all of the following applicable attributes: existing and proposed structures, Protected Trees (Oaks, Sycamores, and any 30+" diameter trees), marshes, wetlands, streams, rivers, landslides, edges and toes of slopes, abandoned or active oil wells, septic systems and leach fields. I have illustrated all roads, public and private easements, and utilities on the attached plot plan/site plan accurately and accept responsibility for any encumbrances, restrictions, or agreements on the subject property.
- I have illustrated all roads, public and private easements, and utilities on the attached plot plan/site plan accurately and accept responsibility for any encumbrances, restrictions, or agreements on the subject property.
- The information provided in this Zoning Clearance and attached plot/site plans, floor plans and elevations are full, true and correct.
- I have been informed that I am responsible for contacting the applicable Homeowners Association or Property Owners Association to ensure compliance with the CC&R's.
- I have reviewed, read and understand the terms, notes and conditions of this permit and as depicted in related attachments, and agree to abide by them and all other provisions of the Ventura County Zoning Ordinance. I further understand that the permit can be nullified for cause as noted above.



Applicant Signature

ZONING CLEARANCE NO. ZC19-0896

APN: 0640130145

FOR OFFICIAL USE ONLY

ISSUED BY: A Paniagua

DATE ISSUED: 08/29/2019

A Paniagua

Signature

BILLIWHACK RANCH STRUCTURAL REPAIR BUILDING 4

PROJECT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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SHEET INDEX

- A-1 PROJECT INFORMATION AND SHEET INDEX
- A-2 EXISTING SITE PLAN
- A-3 EXISTING ENLARGED SITE PLAN
- A-4 EXISTING FLOOR PLANS BUILDING 4 MAIN RESIDENCE
- A-5 EXISTING ELEVATIONS BUILDING 4 MAIN RESIDENCE

PROJECT TEAM

DESIGN CONSULTANTS:

EVERETT WOODY AND GIL GARCIA
121 E. ARRELLAGA STREET
SANTA BARBARA, CA 93101
805-357-2444

STRUCTURAL ENGINEER:

JOHN OELTMAN
3025 LONG VALLEY ROAD
SANTA YNEZ, CA 93402
805-358-6677

GENERAL CONTRACTOR:

HJM CONSTRUCTION
11416 VINTAGE
3779 BREAKER DRIVE, VENTURA, CA 93003
805-479-7005

PROJECT DATA

OWNER:

BILLIWHACK RANCH, LLC
3048 N. COOLIDGE AVENUE
LOS ANGELES, CA 90039
PHONE 213-305-0015

APN:

064-010-025 AND 064-010-026
SITE AREA
GENERAL PLAN DESIGNATION
HIGH FIRE AREA
MAXIMUM BUILDING HEIGHT
FRONT YARD SETBACK
REAR YARD SETBACK
SIDE YARD SETBACK

FINISHES

ALL FINISH COLORS AND MATERIALS TO MATCH EXISTING.

EXISTING BUILDING FLOOR AREAS

STORAGE AND MAINTENANCE BUILDING (14)	10,914 SQUARE FEET GROSS
GUEST HOUSE BUILDING (14)	2,352 SQUARE FEET GROSS
BEE KEEPER BUILDING (1)	5,341 SQUARE FOOT GROSS
CARETAKER DWELLING BUILDING (2)	4,564 SQUARE FOOT GROSS
EQUIPMENT STORAGE BUILDING (3)	4,564 SQUARE FOOT GROSS
TWO STORY MAIN RESIDENCE (4)	17,909 SQUARE FOOT GROSS
RANCH MAINTENANCE BUILDING (5)	9,350 SQUARE FOOT GROSS
RANCH EQUIPMENT STORAGE BUILDING (6)	5,341 SQUARE FOOT GROSS
CARETAKER DWELLING (142)	2,446 SQUARE FOOT GROSS
HAMPTER MILL BARN	3,550 SQUARE FOOT GROSS
THREE GRAIN SILOS TOTAL	1,679 SQUARE FOOT GROSS
TOTAL	68,723 SQUARE FOOT GROSS

SITE STATISTICS

TOTAL BUILDING COVERAGE	55,463 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 60'x90'	5,400 SQUARE FOOT GROSS
AREA UNDER CROP	3,543,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA	4,257,329 SQUARE FOOT GROSS OR 97.348 ACRES

SCOPE OF WORK

BUILDING 4 STRUCTURAL REPAIR OF 411 EXISTING 11,909 SQUARE FOOT FIVE (5) BEDROOM MAIN RESIDENCE. TEAR OUT (T.O.) CROCK VIDS.
ALL BUILDING MATERIALS, COLORS AND ARCHITECTURAL ELEMENTS SHALL MATCH EXISTING.

CODE INFORMATION

BUILDING TYPE R-3
CONSTRUCTION TYPE TYPE V-H-01
ROOF TYPE CLASS 'A'
BUILDING HEIGHT 47'-0" ABOVE EXISTING GRADE
BUILDING SQUARE FOOTAGE UNLIMITED
THIS PROJECT WILL COMPLY WITH
CBC 2014
CBC 2014 CALIFORNIA RESIDENTIAL CODE
CBC 2014 CALIFORNIA HISTORICAL BUILDING CODE
CBC 2014 GREEN CODE
CALIFORNIA ENERGY CODE 2013
CFC 2014
CFC 2014
CFC 2013
CFC 2013

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE	55,463 SQUARE FOOT GROSS
TOTAL SITE AREA	4,257,329 SQUARE FOOT GROSS OR 97.348 ACRES
BUILDING AREA 55,463/SITE AREA 4,257,329	1.31 LESS THAN 5% ALLOWED

VICINITY MAP



COUNTY OF VENTURA

PLANNING DIVISION

APPROVED

Date: 8/29/16

Permit No: 2016-0396

APPROVING

Planner Authorizing

Print Name

CULTURAL HERITAGE BOARD CERTIFICATION OF APPROVAL

Permit No: CH-19-0007

Exhibit No:

Date Approved: 8/18/19

Approval Body: ☐ Exempt ☒ Admin ☐ CHB

Authorized Signature: [Signature] Date: 8/28/19



DATE	08/20/19
BY	ANGELI DE COVOLO, INC.

BILLIWHACK RANCH BUILDING & STRUCTURAL REPAIR
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93108
805-452-2999

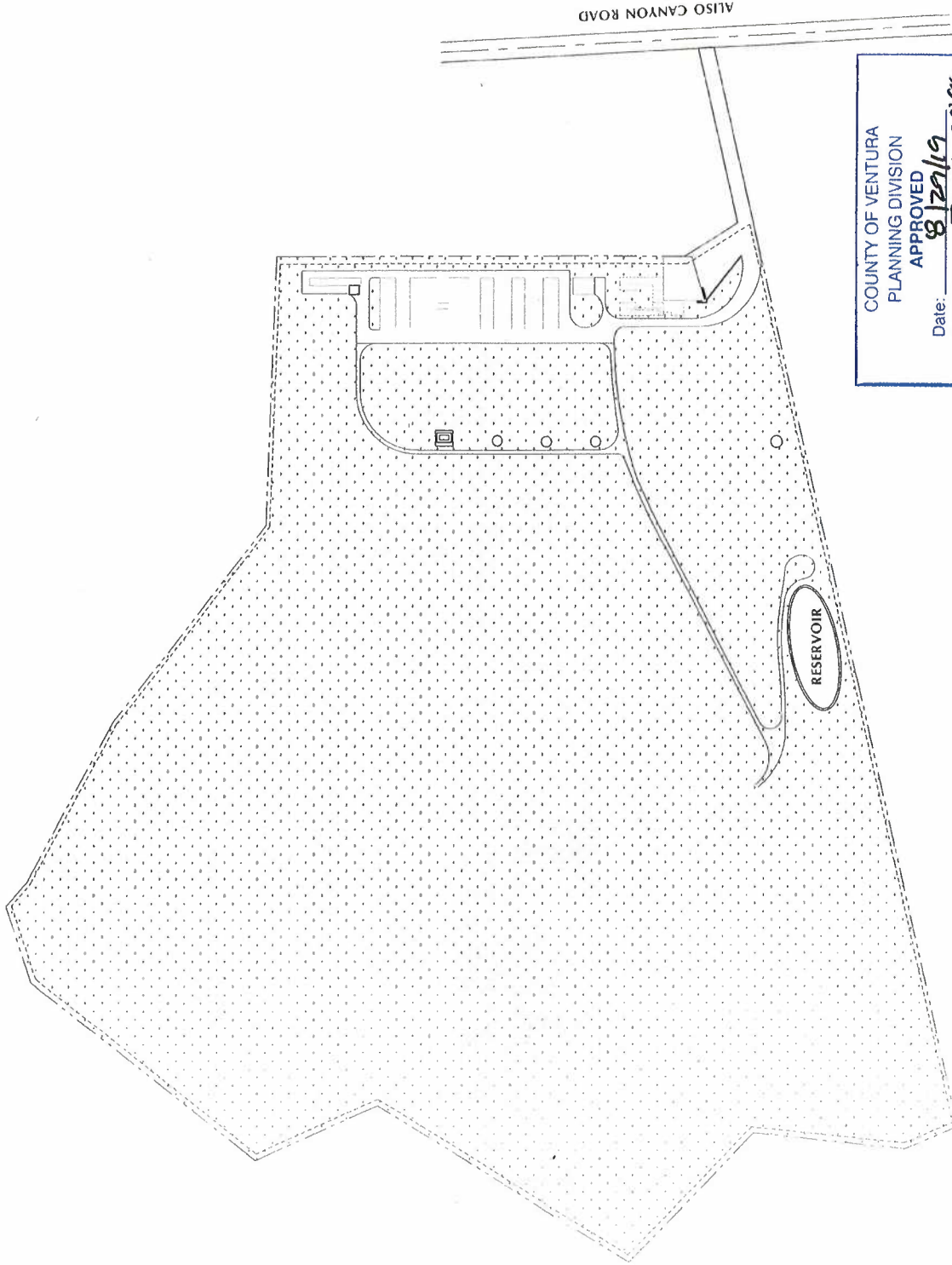
EXISTING SITE PLAN

PROJECT NO.	2275
DATE	08/20/19

A-2

KEY NOTES

GENERAL NOTES



COUNTY OF VENTURA
PLANNING DIVISION
APPROVED

Date: 8/20/19
Permit No: 2275-0896
Planner Authorizing: APH/RA/RA
Print Name: _____



SITE PLAN

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

AREA OF WORK

KEY NOTES

EXISTING BUILDING FLOOR AREAS

SITE STATISTICS

AUSO CANYON ROAD

COUNTY OF VENTURA
PLANNING DIVISION
APPROVED

Date: 8/29/19

25,000 GALLONS WATER STORAGE

APPROVED

Planner Authorizing

Print Name

ENLARGED SITE PLAN

GENERAL NOTES

Angeli de Covolo, Inc.
122 E. Arellaga Street
Santa Barbara, California 93101
805.432.2595

BILLIWHACK RANCH BUILDING 4 STRUCTURAL REPAIR

SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

A-3

COUNTY OF VENTURA
PLANNING DIVISION
APPROVED

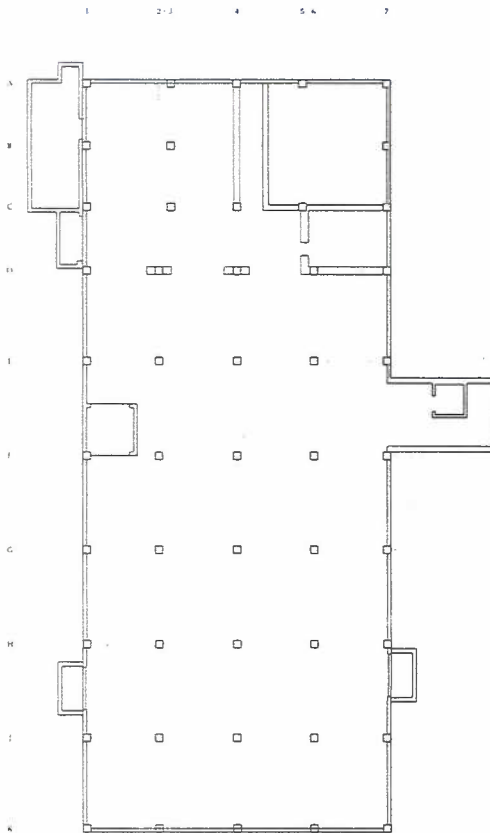
Date: 8/29/19
Permit No: EC19-0896

ADAM DAWSON
Planner Authorizing

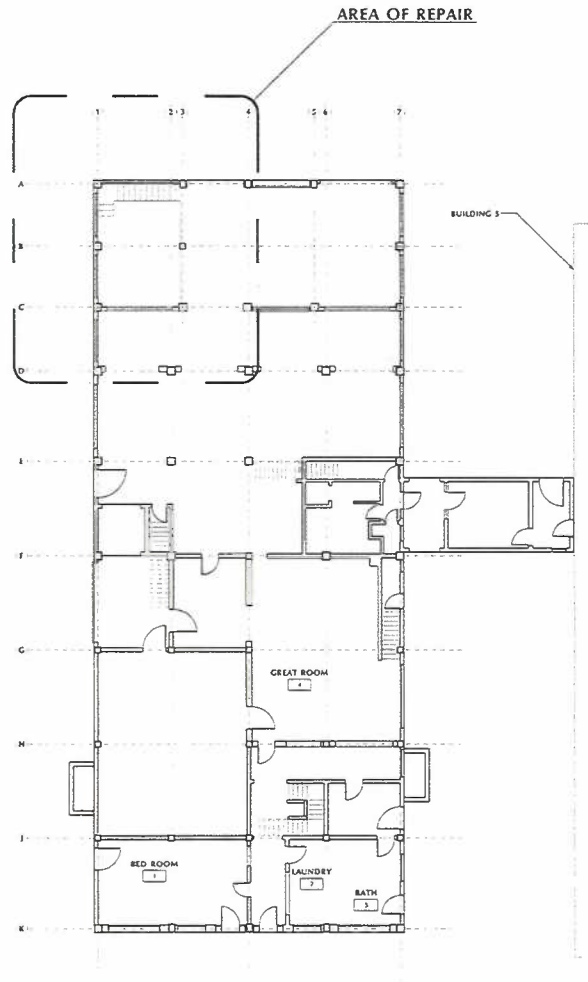
Print Name

☐ KEY NOTES ☐

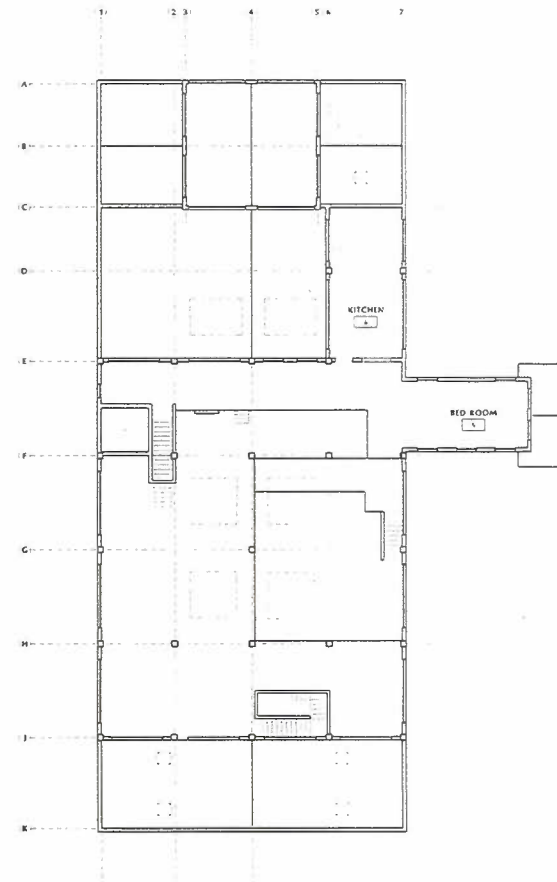
GENERAL NOTES



BASEMENT FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



2ND LEVEL FLOOR PLAN BUILDING 4

COUNTY OF VENTURA
PLANNING DIVISION

APPROVED

Date: 8/29/19

Permit No: 3C19-0396

APPAWIA GUT

Planner Authorizing

Print Name

☐ KEY NOTES ☐

GENERAL NOTES

Angeli de Covolo, Inc.
122 E. Anadaga Street
Santa Barbara, California 93101
805-432-2959

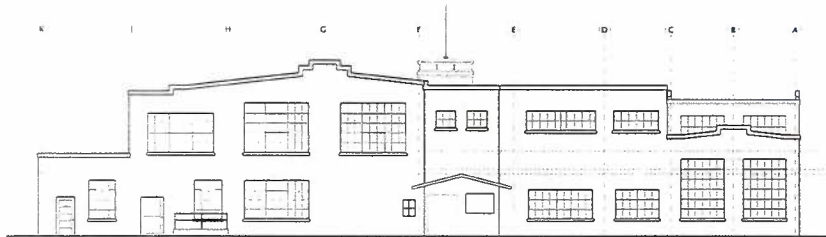
Sheet
1

BUILDING 4
EXISTING ELEVATIONS
BILLWHACK RANCH RENOVATION

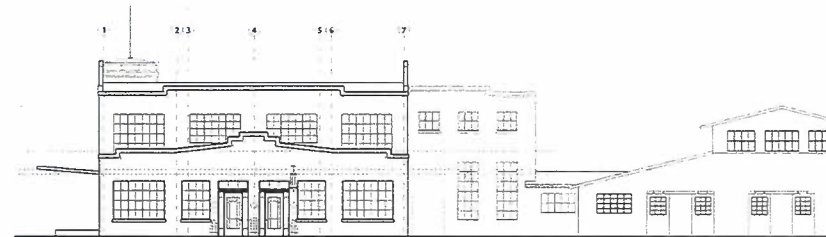
DATE: 8/29/19
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

DATE	REVISION
8/29/19	1

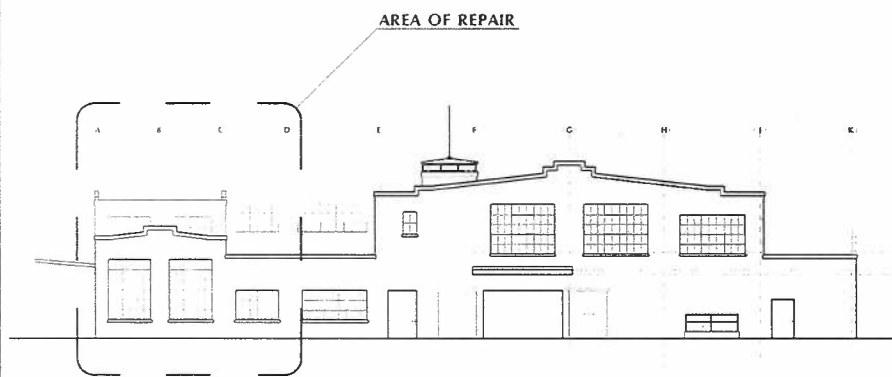
A-5



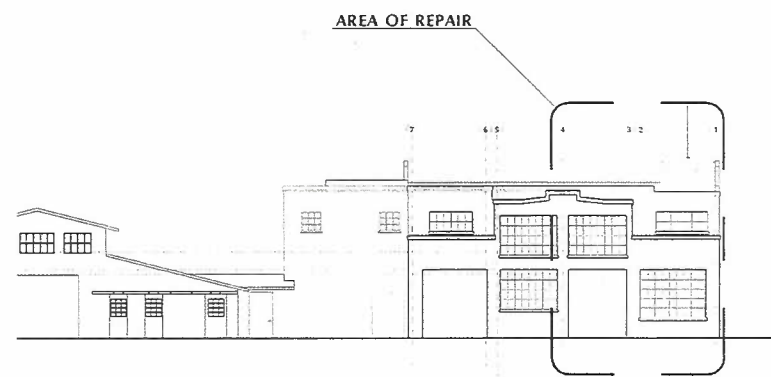
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



1 WEST ELEVATION
SCALE 1/8" = 1'-0"

APPROVED
Date: 8/29/19
Permit No: EC17-0896
APANAGUA
Planner Authorizing
[Signature]
Print Name

Permit No:

APANIAGWA

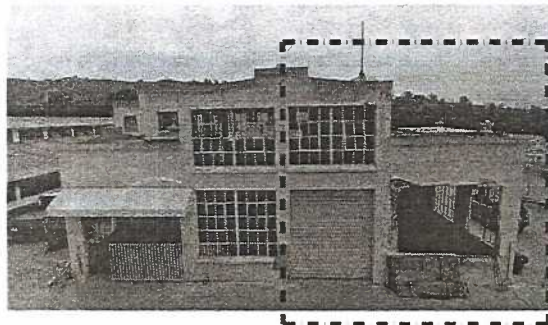
Planner Authorizing

Print Name _____

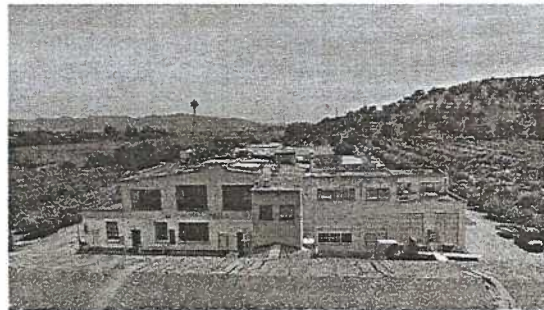
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805-452-2199

[illegible]

Bill Whack, P.E., F.A.S.T.E.
2070 A. St. AUSTIN, TX 78701
(512) 336-4444, FAX (512) 336-4444

**SHEET CONTAINS
PHOTOGRAPH**

DO 06 1074

CULTURAL HERITAGE BOARD
county of ventura

August 28, 2019

Everett Woody
Angeli de Covolo, Inc
122 E. Arrellaga Street
Santa Barbara, CA 93101

Subject: **Administrative Certificate of Appropriateness (ACOA) (CH19-0027)**
2275 Aliso Canyon Road
Santa Paula, CA 93060
Structural Repair Project – Building 4

The following project located at the above referenced property was forwarded to CHB staff for review:

Structural Repair of a failing portion of Building 4. This is the old Creamery Building located on the historic Billiwhack Dairy.

Cultural Heritage Board (CHB) Staff determined that the above project qualified for an ACOA due to the following findings:

- The proposed repaired concrete work is to match the existing concrete and is an "in-kind" replacement.
- The repair work is needed to prevent further damage to the existing structure.
- "An Administrative Certificate of Appropriateness (ACOA) for a Site of Merit shall be issued for work involving basic maintenance and repair or minor rehabilitation that does not involve a change of design, material, appearance or visibility of the property and its character-defining features." Ventura County Cultural Heritage Board Resolution No. 2017-2.1

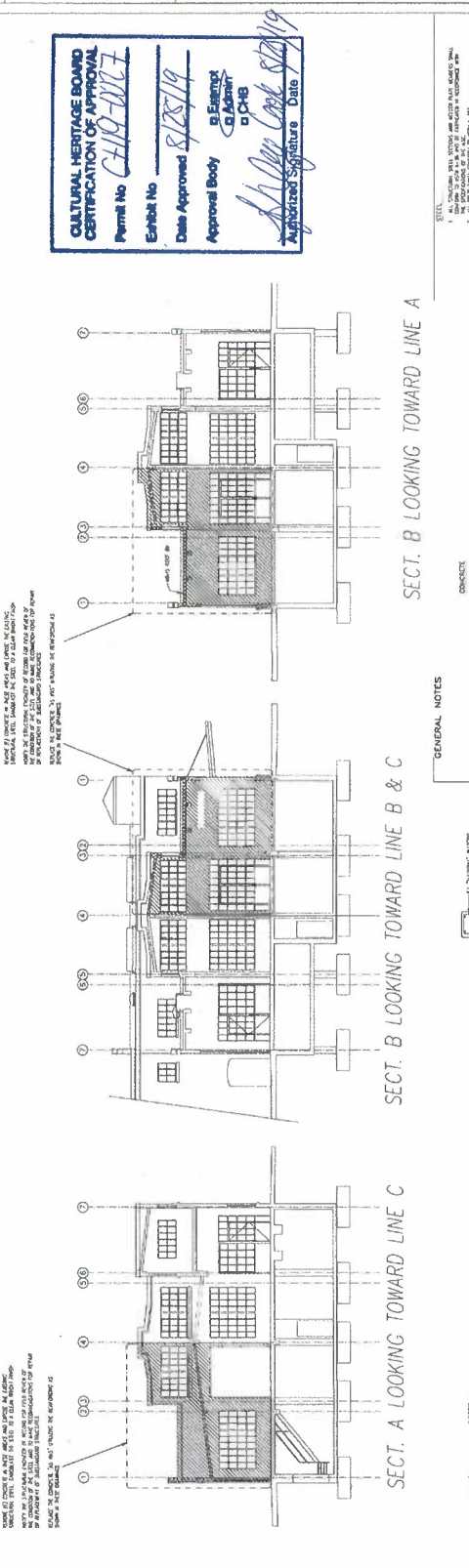
Additionally, the project was screened by the CHB Chair and the CHB Board member who represents the district and concurred that the project qualified for an Administrative Certificate of Appropriateness. The motion to allow administrative approval of the structural repair with consent of the CHB chair and CHB District representative was passed at the August 12, 2019 CHB meeting.

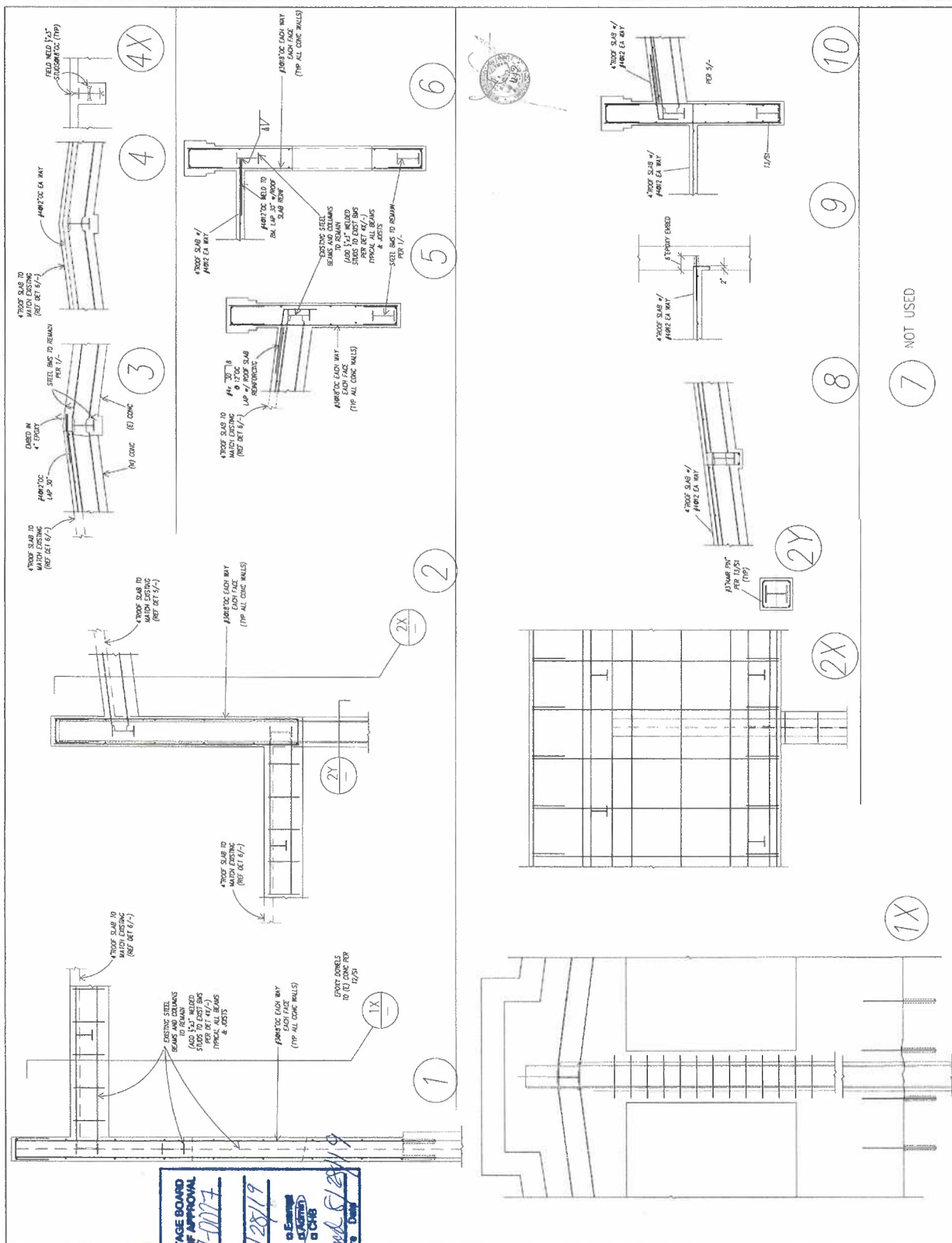
If you have any questions, please do not hesitate to call me at (805) 654-5042 or email me at ashley.cook@ventura.org.

Sincerely,



Ashley Cook, LEED AP
Cultural Heritage Program Coordinator

[illegible]



CULTURAL HERITAGE BOARD CERTIFICATION OF APPROVAL	Permit No. <u>CH19-0027</u>	Exhibit No. _____	Date Approved <u>8/28/19</u>	Approval Body a. Example b. (X) AHM c. CHB	Authorized Signature <u>[Signature]</u>	Date <u>8/28/19</u>
--	-----------------------------	-------------------	------------------------------	---	---	---------------------

B19-000857



A notice was added to this record on 2019-03-25.

Condition: Severity: Notice

Total conditions: 2 (Notice: 2)

[View notice](#)

Summary

Help

Go To ▾

Summary

Record

Activities (0)

Activity Summary (3)

Address (1)

Application History (3)

Record Type

Building/Building/Residential Alteration/NA

Status

Issued

Opened Date

08/29/2019

In Possession Time (hrs)

Detailed Description

Repair concrete roof, façade and walls, like for like. Reference CV19-00100

Priority

Assigned to Department

Building & Safety

Assigned to Staff

Martha Aldana

Assigned Date

Expiration Date

Closed by Department

Closed by Staff

Closed Date

Est. Completion Date

Application Name

Created By ACA

N

Filter Name: Record Detail Form - Building



Ventura County Cultural Heritage Board Minutes

September 09, 2019 at 1:15 p.m.— Item 3c

County of Ventura • Resource Management Agency • Planning Division
800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **1:15 P.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT THE VENTURA COUNTY GOVERNMENT CENTER**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Miguel Fernandez, Darwin McCredie, Ricki Mikkelsen, Gary Blum, John Kulwicz, and Stephen Schafer

CHB Members Absent:

Phil Englander

Staff Present:

Denice Thomas, Cultural Heritage Program Manager
Ashley Cook, Cultural Heritage Planner

3. **APPROVAL OF AGENDA**

3.a. Vote to approve the September 9, 2019 Agenda

CHB Member Schafer made a motion to re-order the agenda to take item 6b before 6a and to omit the August 26, 2019 minutes as they were not in the packet. CHB Member Fernandez seconded the motion. [Motion Passed;6-0]

3.b. Vote to approve the August 12, 2019 Minutes

CHB Member Schafer made a motion to approve the August 12, 2019 minutes. CHB Member Mikkelsen seconded the motion. [Motion Passed;4-0]
CHB Member McCredie and CHB Member Fernandez abstained.

4. **PUBLIC COMMENTS**

None.

5. **CONTINUED ITEMS**

None.

6. NEW BUSINESS

6.b. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No.: CH19-0021)

Disclosures:

None.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project and the update since the August 12, 2019, meeting. No new action was recommended as CHB Staff deferred to the CHB.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos, as well as, the history of the site. He answered questions from the Cultural Heritage Board (CHB) members. He mentioned that the owner opted not to get the Historic Resources Report (HRR) because the bids for the report were coming in too high. He mentioned that the tower element and skylights are rotten and needs to be replaced. He also stated that he was able to meet with the Building Official and that since the property is listed in a local inventory, he is allowed to use the Historic Building Code (HBC).

CHB Member Kulwiec left the meeting at this time.

Deliberation and Recommendation:

CHB Member Schafer stated that he was still not in agreement on the tower element and is unsure of the some of the doors and windows. He stated again the this is why the Historic Resources Report is needed. He made a re-motion to table the item until the applicant can provided a HRReport, by a qualified architectural historian, that includes analysis of the project as a district, analysis of the project according to the Secretary of the Interior Standards and includes a list of character defining features, and to condition the project to

have to submit HABS photography. Motion did not receive a second. [Motion dies]

CHB Chair continued the discussion and stated that this is obviously an adaptive re-use project and not a restoration project. It is difficult to know if we will be losing character defining features in this proposal.

CHB Member Fernandez asked the applicant what the incentive was for the owner to purchase to the property in the first place.

The applicant responded that they wish to live the in the historic property and have the ranch/farm lifestyle.

CHB Member Fernandez asked is the owners had any intentions to landmark the property? The applicant responded, "No.".

The applicant, Mr. Everett Woody, stated that the proposed project is not changing the character that much and while he understands that the position of the CHB is a position of caution, he was hoping to discuss more of the architecture at the meeting. He does not understand the CHB's need for a consultant to prepare a report as consultants can be swayed in their analysis.

CHB member asked Staff if the applicant can be conditioned to submit a historic resources report by a qualified Architectural Historian that is vetted by the County. Denice Thomas responded that the County is not set up at this time to do that. CHB Member Schafer stated he would like to see this agendized to discuss at a future meeting.

The CHB started to discuss tabling the item again, Denice Thomas recommended that the CHB either approve or deny the item. The item was tabled before and the applicant stated their client was not going have an HRR prepared; giving the applicant a decision allows the property owner to appeal if they wish.

CHB Member Schafer made a motion to deny the COA. CHB member Fernandez seconded the motion. [motion passed 3-2].

6.a. Location: 103 Lake Sherwood Drive, Lake Sherwood, CA 91361

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) to remove an existing 32-inch steel rail from the front elevation, install a new six-foot-tall clear glass panel on the front elevation, and construct a new stucco privacy wall on the side

elevation. The property is designated Ventura County Landmark No. 177. (Case No.: CH19-0028).

Disclosures: None

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

Presentation of public speakers:

The applicant, Dan Rosales addressed the Cultural Heritage Board (CHB) and informed the CHB the owners are a young couple and they have a need for a new rail that meets safety standards, especially for young children; that is why they are proposing this design to the CHB today. They feel that the contemporary glass rail is keeping with the spirit and style of the contemporary house.

Deliberation and Recommendation:

CHB Member Fernandez stated that the rail is incredibly significant, and the corner of the rail is a very important part of the home. He is in favor of keeping the rail and adding the glass panel either in front or behind. He also stated that the corner of the rail should remain, and the wall be held off the edge a bit to maintain the corner. CHB member Schafer is opposed to the wall but agrees with Staff's opinion on adding the glass. The CHB members discussed that maybe instead of the six-foot-tall stucco wall that the applicant make the wall opaque glass instead. The CHB members had concerns with the lack of details or structural information on how the glass wall would be attached and how the connection would affect the edge of the patio. CHB Member McCredie mentioned that he would be in favor of some type a panel that was more temporary. He also mentioned that containers and plants may be a better option to explore instead of the wall. Staff made a recommendation to table the item until the applicant could explore more options given the feedback from the CHB and allow the applicant to provide details and structural drawings for a subsequent submittal. CHB Member Schafer made a motion to table the item. CHB Member Fernandez Seconded the motion. [Motion passed 5-0].

10. REPORTS

7.a. Board Member Reports:

CHB Chair Blum updated the CHB the Oxnard Performing Arts Theater. He Also mentioned that there will be no home tour this fall. He also updated us on the bank building and that the City has encouraged the developers to look into adaptive reuse of the historic building. Nicole Doner has found information on the Building as well, there is now push to save to the 1974 era modern building.

CHB Member Mikkelsen: None

CHB Member McCredie: None

CHB Member Schafer: None

CHB Member Fernandez: None

7.b. CHB Program Updates from Staff:

Denice Thomas: Announced that CHB Member Englander has resigned from the CHB and will be moving to the East Coast.

Ashley Cook: None

11. NEXT MEETING

Ashley Cook announced the next regularly scheduled meeting is September 23, 2019.

12. ADJOURNMENT

At 3:42 p.m., the Cultural Heritage Board concurred to adjourn.



Gary Blum, Chair

ATTEST:

 *Dillian Murray for*

Denice Thomas, Cultural Heritage Program Manager

RECORDED AT THE REQUEST OF AND
RETURN TO:

COUNTY OF VENTURA
RMA-CODE COMPLIANCE DIVISION L#1750
800 S. Victoria Avenue
Ventura, CA 93009



20190924-00113908-0 1/2

Ventura County Clerk and Recorder

MARK A. LUNN

09/24/2019 09:55:43 AM

1519685 \$.00 CE

"NO FEE REQUIRED"

(GOVT. CODE SEC. 6103 & 27383)

Recorded for the benefit of the
County of Ventura

Authorized Signature

Space above this line for Recorder's Use



COUNTY OF VENTURA

Resource Management Agency

Code Compliance Division

800 South Victoria Avenue L#1750

Ventura, CA 93009

(805) 654-2463, 654-5177 FAX

NOTICE OF NONCOMPLIANCE

Violation Number: CV19-0100

Property Address: 2275 Aliso Canyon Road
Santa Paula, CA

Assessor's Parcel Number: 064-0-130-145

Property Owner: Billiwhack Ranch LLC
3048 N Coolidge Avenue
Los Angeles, CA 90039

Property owner as recorded in Document Number 20181220-00142641-0 of the Official Records of the County of Ventura as of December 20, 2018.

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 14 - Notice of
Noncompliance CV19-0100

The following violation(s) of the Ventura County Building Code and/or Non-coastal Zoning Ordinance Code and/or permit conditions have been identified in connection with the above described property.

Violation 1. Non-permitted modifications to the following structures:

- a) Caretaker dwelling (H2) - removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slab. The amount of work completed has exceeded the threshold of 50% of the walls and 50% of the floors. The legal non-conforming use of the structure as a caretaker dwelling has been lost.
- b) Two-story main residence (4) - removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).
- c) Caretaker dwelling (2) - non-permitted conversion of storage building to a caretaker dwelling unit and office.
- d) Pool area adjacent to ranch maintenance and storage building (1A) - large concrete pool/structure, empty and with no barrier.

The above are in violation of:

- Non-Coastal Zoning Ordinance section(s) 8101-3 General Prohibitions, 8105-1.3 & 8105-4 Residential Permitted Uses
- Ventura County Building Code section(s) 105.3 Failure to file application for permits, 105.1 Failure to obtain permits, 110.1 Failure to have work inspected.

The owner of record was notified in writing on June 25, 2019, of the County's intention to record a Notice of Noncompliance if the violations were not abated.

Pursuant to Section 116.2 of the Ventura County Building Code and/or Section 8114-3.6 of the Non-coastal Zoning Ordinance Code, the Code Compliance Director shall cause a release of Notice of Noncompliance to be recorded with the County Recorder when it is determined that the above noted violations, and any others that might exist, have been abated to the satisfaction of a Code Compliance Officer; the current fee for recordation of the Release of Notice of Noncompliance has been paid; and the County's costs incurred in the abatement of violations on the site (including interest and late charges) have been paid.

By: _____

COUNTY OF VENTURA
Doug Leeper, Director
Code Compliance Division

Date: _____

9-23-19

Zoning Clearance Correction Notice

Applicant Name: Everett Woody

General Plan: Agricultural

Applicant Phone: 805-452-2999

Area Plan Designation: N/A

Address: 2275 ALISO CYN RD

Legal Lot Status: PMW/Merger

Parcel: 0640130145

Lot area acres: 97.89

Zoning Clearance: ZC19-1390

Submittal Date: 12/19/2019

Zoning: AE-40 ac

Correction Notice Date: 12/20/2019

Project Description:

Zoning clearance to partially abate violation CV19-0100:

Scope of work includes the interior remodel of building #4.

Correction Notice:

On September 9, 2019 the Cultural Heritage Board formally denied a request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No.: CH19-0021). The scope of work found on this zoning clearance was also a portion of the scope tabled at the September 9 hearing. Therefore, this project cannot be approved until the project scope in whole is approved by the CHB or this project applies and is approved for a COA as an individual project. The internal remodel is subject to review as this site of merit contains architectural components found within the building.

The applicant was advised of the situation. An early-plan check memo was issued with this project. Original plans submitted were swapped with newest submittal (to VC Building & Safety).

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 15 - December 20, 2019
Correction Notice #1 for ZC19-1390

NOTICE FOR THE DENIAL OF A ZONING CLEARANCE APPLICATION

April 14, 2020

Everett Woody
122 East Arrellaga Street
Santa Barbara, CA 93101

SUBJECT: Denial of a Zoning Clearance Applications
Case Numbers: ZC19-0684 & ZC19-1390
Address: 2275 Aliso Canyon Road
Assessor's Parcel Number (APNs): 064-0-130-145 & 064-0130-125

Dear Mr. Woody:

The Planning Division has reviewed your applications for Zoning Clearances to partially abate violation case no. CV19-0100 (case numbers ZC19-0684 and ZC19-1390) recorded against a property addressed as 2275 Aliso Canyon Road. The proposed project is located on a 97.73-acres property comprised of two Assessor Parcel Numbers (APN 064-0-130-145 & -125) located in the Agricultural Exclusive 40-acre minimum (AE-40 ac) zone and the Agricultural General Plan land use designation. The two assessor parcel numbers represent a single legal lot merged through Parcel Map Waiver no. 715.

The subject property is commonly known as the Billiwhack Ranch and was identified as a Site of Merit by the Western Santa Clara Valley Historic Resources Survey commissioned by the County of Ventura Resource Management Agency. The Billiwhack Ranch is a former cattle stock farm and dairy which is currently planted in citrus and avocado orchards. The California Department of Parks and Recreation approved the Western Santa Clara Valley Historic Resources Survey and it includes a District Record prepared by Judy Triem dated November 11, 1995 which evaluated the Billiwhack Ranch (Exhibit 1). The District Record identifies the subject property as having a National Register of Historic Places status code of "3D" (Exhibit 2) indicating that the site appears to be eligible for listing in the National Register through the California Office of Historic Preservation.

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 16 - Notice of Denial of
Zoning Clearances



Violation case no. CV19-0100 includes the following: 1. the removal of all walls, plumbing, electrical, mechanical systems, and floors from a 2,646 square foot legal non-conforming dwelling; 2. the removal of interior walls, plumbing, electrical, and mechanical systems of a creamery building; 3. the conversion of a 4,564 square foot storage building to a dwelling and office; and 4. the maintenance of an unsafe drained swimming pool without security barriers.

Zoning Clearance ZC19-0684 was submitted on June 19, 2019 to partially abate violation case no. CV19-0100. The scope of the work includes: 1. reconstructing the 2,646 square foot legal non-conforming "caretaker dwelling" that had all the walls and floors removed (labeled Building H2 on plans); 2. Interior remodeling and repairing of the creamery building as a 17,310 square foot "main residence" (Building 4 on plans); 3. remodeling a 4,564 square foot "caretaker dwelling" (Building 2 on plans); and 4. remodeling a 2,385 square foot "guest house" (Building H1 on plans). In addition to these buildings, the submitted plans illustrate six other existing agricultural buildings (Buildings 1A, 1, 3, 5, 6, and Hammer Mill Barn) and three grain silos, all of which are not part of the violation case (Exhibit 3). Zoning Clearance ZC19-1390 was submitted on December 19, 2019 to separate the interior remodel of the creamery building as a 17,310 square foot "main residence", listed as scope of work item no 2 in ZC19-0684 above (Exhibit 4). The site plan submitted with ZC19-1390 matches the site plan that was submitted with ZC19-0684.

Both plans submitted with ZC19-0684 and ZC19-1390 indicate that the property is developed with four dwellings, six agricultural accessory buildings (totally 39,060 square feet), three grain silos, and is planted with 82.50 acres of crops. However, building permits, assessor records (Exhibit 5), and the California Department of Parks and Recreation District Record (Exhibit 2) confirm that the property was developed with two dwellings (Buildings H1 and H2), a large creamery building (Building 4), eight agricultural buildings, and three grain silos. The demolition of all the walls and the floor of Building H2 is part violation case no. CV19-0100, therefore one dwelling of approximately 2,385 square feet (Building H1) remains on the property. As the only legal dwelling on the property, the Planning Division can only determine this to be the principal dwelling. In addition, measurements made using 2019 aerial photographs of the property show that approximately 56-acres of the property are planted in orchards, contradicting the 82.50 acres indicated on the plans. The amount of acreage planted in orchards is important in determining how many farmworker dwelling units the property qualifies for.

After careful review of the application materials, it has been determined that the project requested in ZC19-0684 and ZC19-1390 cannot be approved through a Zoning Clearance because the scope of work in both requests are inconsistent with the Nonconformities and Substandard Lot provisions related to rebuilding a nonconforming structure voluntarily removed, damaged, or destroyed (Article 13, section 8113-6.1.2 of the Non-Coastal Zoning Ordinance) and the standards to issue a zoning clearance (Article 11, section 8111-1.1.1.b).

Specifically, the number and size of dwellings proposed do not comply with the standards of the Ventura County Zoning Ordinance (section 8111-1.1.1.b(1)), the scope of work includes remodeling a historic dwelling on the property which is not part of the existing violation and this work is not necessary to abate a violation (section 8111-1.1.1.b(4)), and as an eligible Cultural Heritage Site, the project has not been issued a Certificate of Appropriateness from the Cultural Heritage Board (section 8111-1.1.1.b(10)).

The following clarifies why each the four items that were submitted as a scope of work with Zoning Clearance no. ZC19-0684 and ZC19-1390 are denied:

1. All walls and floors have been removed from this 2,646 square foot dwelling (Building H2), therefore it has lost its nonconforming status pursuant to section 8113-6.1.2 (Destruction of Uses Not Amortized). With the walls and floor demolished (Exhibit 6) this farmworker dwelling can only be reconstructed if every portion of the building conforms to the regulations of the AE zone. With the existing principal dwelling on the property (Building H1) and approximately 56 acres in orchards, pursuant to section 8105-4 (Permitted Uses in the Open Space, Agricultural, Residential and Special Purpose Zone) and section 8107-26 (Farmworker and Animal Caretaker Dwelling Units) the site qualifies for one farmworker dwelling with a maximum size of 1,800 square feet. The request to reconstruct Building H2 is denied because the proposed farmworker dwelling is too large. Pursuant to section 8105-4 (Permitted Uses in the Open Space, Agricultural, Residential and Special Purpose Zone) and section 8107-26 (Farmworker and Animal Caretaker Dwelling Units) a Conditional Use Permit for a farmworker dwelling exceeding 1,800 square feet may be applied for. The approval would only be granted for compelling reasons. Future project descriptions and scope of work may be redesigned that could comply with the Ventura County Non-Coastal Zoning Ordinance.
2. It has been confirmed that the creamery building (Building 4) is not a dwelling, therefore all permitting of this structure will be treated as the conversion of an agricultural building to a single-family dwelling, not a remodel of a single-family dwelling. Pursuant to sections 8105-4 (Permitted Uses in the Open

Space, Agricultural, Residential and Special Purpose Zone) and 8107-1.7 (Accessory Dwelling Units), an accessory dwelling unit on an AE Zone property over 10 acres can be no larger than 1,800 square feet. In order to convert the creamery building to the principal dwelling, the existing 2,385 square foot principal dwelling on the property (Building H1) would have to be designated as an accessory dwelling unit. The request to convert the creamery to the principal dwelling and utilize the existing dwelling as an accessory dwelling unit is denied because Building H1 is too large to be designated as an accessory dwelling unit. In addition, the plans submitted for both ZC19-0684 and ZC19-1390 indicate that only interior remodeling is needed to convert the creamery building to a single-family dwelling. Photographs taken as part of the violation case no. CV19-0100 investigation and submitted to the Planning Division show that numerous doors and windows, including framing, must be replaced to make the creamery building habitable (Exhibit 7). The full scope of work to make the creamery habitable as a dwelling must be accurately detailed in any future permit application. However, in order to make the necessary findings to approve any work to this building the full scope of work must be reviewed by the Cultural Heritage Board and a Certificate of Appropriateness must be issued (section 8111-1.1.1.b(10)).

3. Building permits, assessor records (Exhibit 5), and the California Department of Parks and Recreation District Record (Exhibit 1) confirm that Building 2 is a historic barn and has never been a legal dwelling. The request, ZC19-0684, to treat this 4,564 square foot barn like an existing legal nonconforming caretaker dwelling and "remodel" it is denied because the Planning Division determined the conversion of a barn in a nonresidential zone (AE) to a dwelling is not allowed because the barn is too large to be an accessory dwelling (section 8107-1.7) or a farmworker dwelling (section 8107-26). In order to make the necessary findings to approve any future permit application for work to this building, the full scope of work must be reviewed by the Cultural Heritage Board and a Certificate of Appropriateness must be issued (section 8111-1.1.1.b(10)).
4. The remodeling of Building H1 cannot be approved because it was not part of the confirmed violation case CV19-0100. Pursuant to section 8111-1.1.1.b(4), a Zoning Clearance can not be issued on a lot where a violation exists, unless the Zoning Clearance is necessary for the abatement of the existing violation. A Zoning Clearance cannot be approved to remodel this dwelling until all the violations identified in violation case CV19-0100 have been addressed. In addition, the full scope of work for the remodel must be accurately detailed in the request as the plans to do not clarify what work is proposed in this building. Any scope of work proposed for this building must

be reviewed by the Cultural Heritage Board staff to determine if a Certificate of Appropriateness is required (section 8111-1.1.1.b(10)).

As originally communicated to you through a Correction Notice issued on July, 9 2019, a Historic Resources Report is required for the entire scope of work detailed in Zoning Clearance nos. ZC19-0684 and ZC19-1390. Given the historic significance of the site, a full scope of work to address all of your development objectives must be submitted to the Planning Division for review and Certificate of Appropriateness must be issued by the Cultural Heritage Board to approve any aspect of the project.

On July 24, 2019, a Cultural Heritage Board Certificate of Appropriateness application was submitted without a Historic Resources Report prepared by a qualified historian. The Board considered the project without information prepared by a qualified historian on August 12, 2020 and continued the item. On September 9, 2019, the Cultural Heritage Board denied the request for a Certificate of Appropriateness after the applicant failed again to provide information prepared by a qualified historian.

In summary, the decision to deny the Zone Clearance applications is based upon the inability to make a finding for consistency with the nonconforming provisions and make all necessary findings for a Zoning Clearance issuance, specifically Noncoastal Zoning Ordinance sections 8111-1.1.1.b(1), 8111-1.1.1.b(4), and 8111-1.1.1.b(10). That is the proposed development is:

1. not permissible under the present zoning on the land and does not comply with the standards of Division 8, Chapter 1 and 2 of the Ordinance Code;
2. a violation exists on the site and (in the case of the principal dwelling remodel) the Zoning Clearance is not being issued to abate a violation; and,
3. because the site is a potential Cultural Heritage Site a Certificate of Appropriateness has not been issued.

On March 16, 2020, the County Planning Division, Building & Safety, and Code Enforcement held a coordination meeting with the applicant team. Staff specifically asked, twice, for the property owner to be in attendance or by conference call to ensure the permitting challenges could be discussed fully. This attendance did not happen which is unfortunate. Trying to solve for unpermitted construction activities, resolve the violations, and attempt to address the land use desires of the property owner is challenging. Further consideration by the applicant team with a revised project description and filing of new permit applications will be necessary. Once your revised project description can be defined, County staff can advise you which permit applications will be necessary to file.

By April 24, 2020 (i.e., within 10 calendar days after the Planning Director's determination, after accounting for weekends and holidays), any aggrieved person may file an appeal of this determination with the Planning Division. Appeals must be accompanied by the appropriate fee, appeal form, and reimbursement agreement. Appeal forms are available on-line at <https://vcrma.org/appeals>. If an appeal is filed, the Planning Division shall then set a hearing date before the Planning Commission for review (NCZO, section 8111-7.1).

The effective date of this decision is March 14, 2020, unless an appeal is filed within the specified appeal period. If you have any questions about this letter, please contact Winston Wright at 805-654-2468 or winston.wright@ventura.org.

Sincerely,

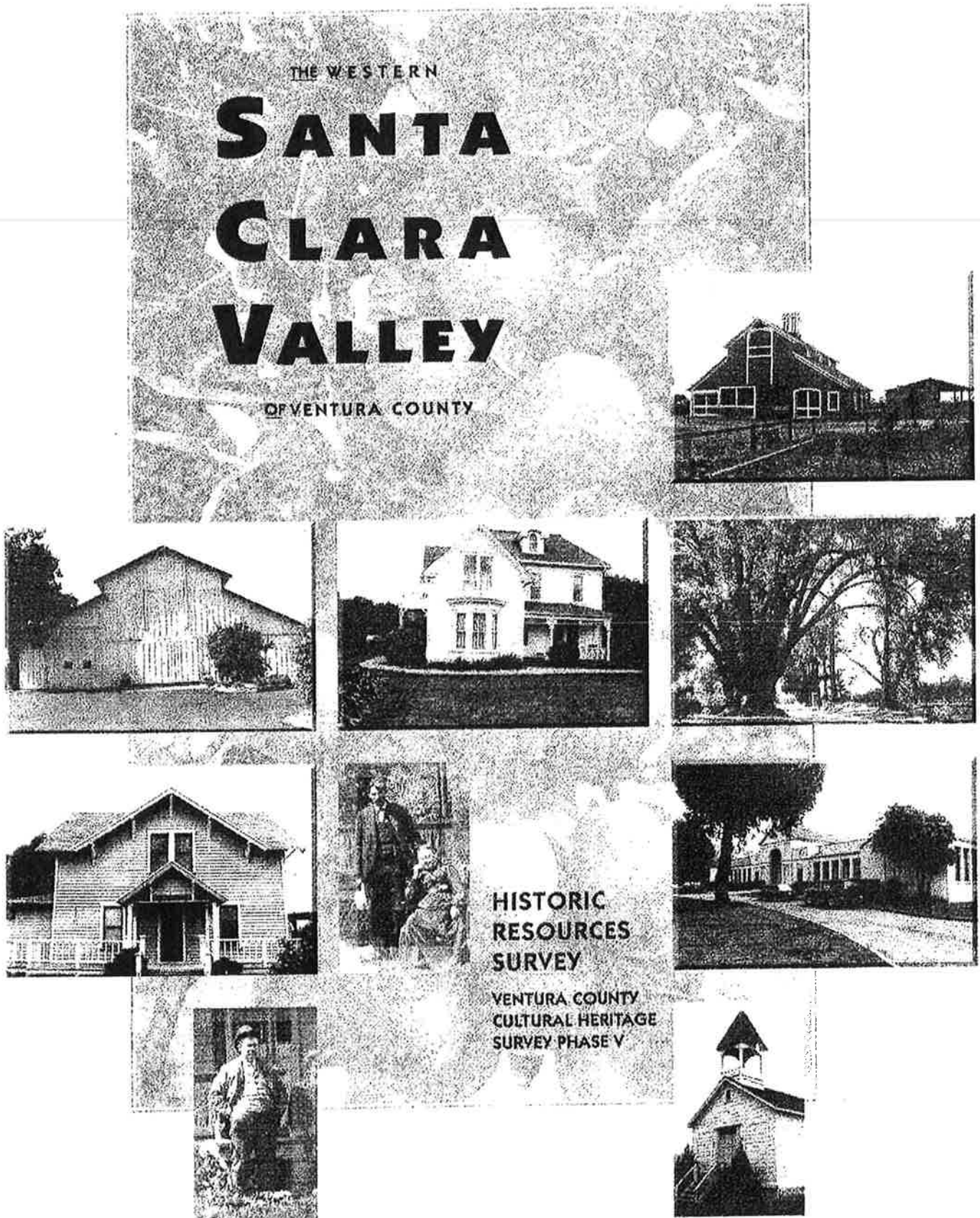
A handwritten signature in dark ink, appearing to read "Dave Ward", is written over a horizontal line.

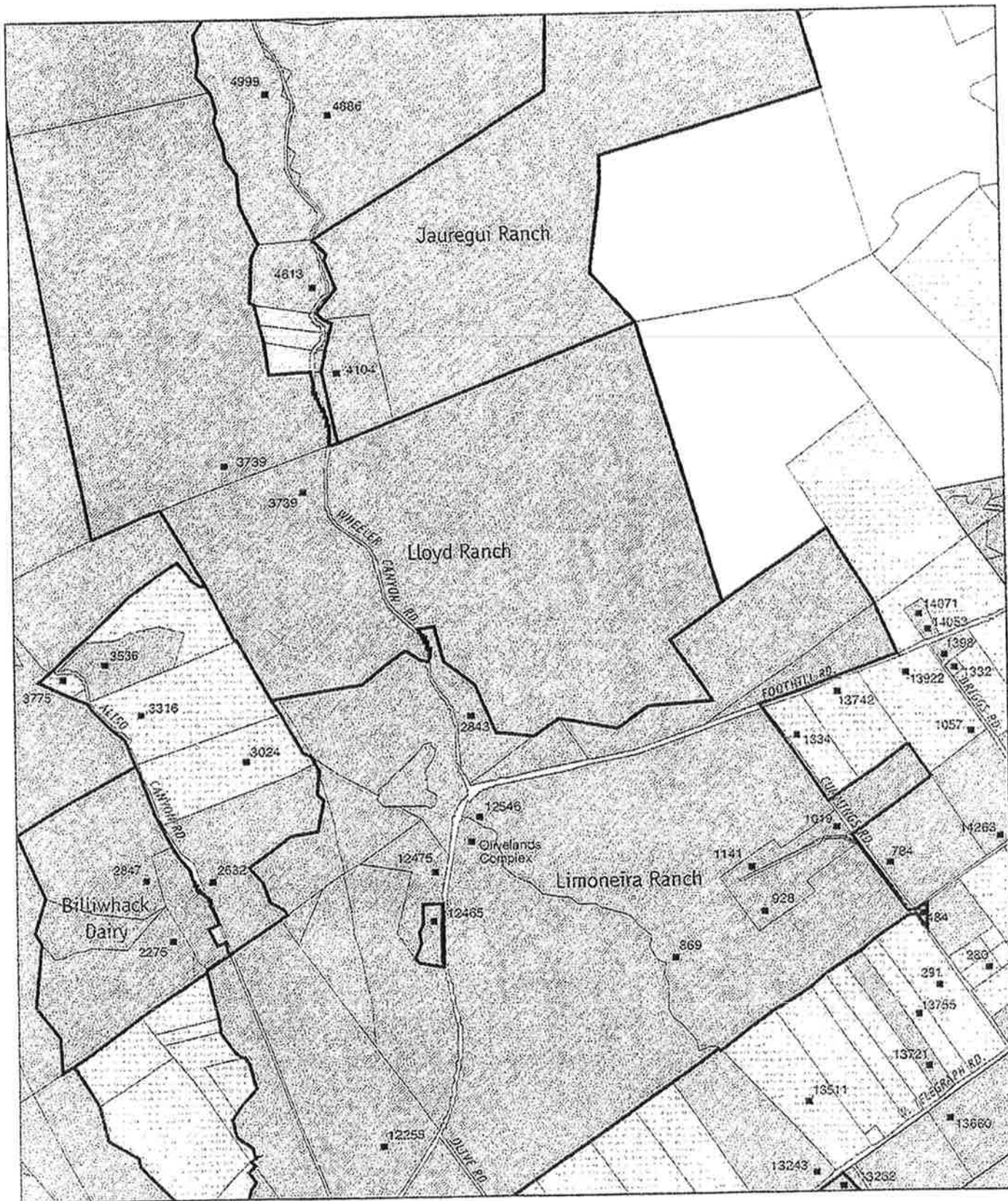
Dave Ward, AICP
Planning Director
Ventura County Planning Division





c: Billiwhack Ranch LLC, 3048 North Coolidge Avenue, Los Angeles, CA 90039
Case file

Exhibits:

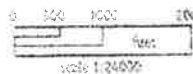
1. Historic Resources Survey District Record dated November 11, 1995
2. California Historical Resource Status Codes
3. Billiwhack Ranch Renovation (ZC19-0684 Plans)
4. Billiwhack Ranch Main Residence Remodel (ZC19-1390 Plans)
5. Assessor Records
6. Photos of Building 2 Demolition
7. Photos of Creamery with no Windows or Doors





-  Contributing Agricultural Parcels, with contributing building(s)
-  Contributing Agricultural Parcels, unimproved or with non-contributing buildings
-  Non-contributing Parcels
-  Not in Survey Area

Santa Clara Valley
of Ventura County
HISTORIC RESOURCES SURVEY



No.	Dir.	Street	Resource Name	Other ID	NRHP Status Code	Land-mark Status
			Santa Paula Oil Field		4S2	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Cow stables	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Creamery building	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Milk barn	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Hammermill	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Milker's Dormitory	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Silos	3D	
2632		Aliso Canyon Road	Oliver T. Fitzpatrick Ranch	Faxton Ranch	3D	
2632		Aliso Canyon Road	Fitzpatrick Ranch	Faxton Ranch	3D	
2847		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Manager's Residence	3D	
3536		Aliso Canyon Road	Marriott Ranch		3D	eligible
4215		Aliso Canyon Road	Hobson Brothers Ranch		3D	
201		Anacapa Terrace	Leslie T. Sharp Ranch	Rancho Filoso	3D	eligible
1057		Briggs Road	E.E. Gerry Residence		3D	
1332		Briggs Road	Wilde Ranch		3D [land]	
1398		Briggs Road	Mary & Albert Thille Ranch		3D	
484		Cummings Road	Limoneira Ranch	Olivelands pump station	3D	
784		Cummings Road	Jefferson Crane Ranch	J.L. Crane Residence	3D	
869		Cummings Road	Limoneira Ranch	Camp 100 (farmworker's cottages #101-129)	3D	
928		Cummings Road	Limoneira Ranch	928 Cummings Rd. - P 1-10	3D	
1019		Cummings Road	Limoneira Ranch	1019 Cummings Road - C37 - employee's residence	3D	
1019		Cummings Road	Limoneira Ranch	Employee Residence Court	3B	
1141		Cummings Road	Limoneira Ranch	Residence #6, Limoneira Credit Union	3D	
1141		Cummings Road	Limoneira Ranch	Residence #5	3D	
1141		Cummings Road	Limoneira Ranch	Residence #4	3D	
1141		Cummings Road	Limoneira Ranch	Residence #3	3D	
1141		Cummings Road	Limoneira Ranch	Residence #2	3D	
1141		Cummings Road	Limoneira Ranch	Residence #1	3D	
1141		Cummings Road	Limoneira Ranch	Residence #24	3D	
1141		Cummings Road	Limoneira Ranch	Main office	3B	eligible

DISTRICT RECORD

Primary # _____

HRI # _____

Trinomial _____

Page 1 of 11

NRHP Status Code

3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

D1. Historic Name: *Billiwhack Stock Farm & Dairy*

D2. Common Name: *Billiwhack Ranch*

D3. **Detailed Description** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.):

The former stock farm/dairy complex is composed of silos, dairy barns, milking barns, creamery and employee houses. Two roads lead up the gently sloping hillside to a large terraced area containing the once-operating dairy buildings. Today these buildings function as offices and storage for the citrus operation on the surrounding 70 acre parcel. All of the buildings are built of reinforced concrete and are tile lined. Located in a long row, on the east side of the road, from south to north, are three dairy barns, a creamery building (milk processing), a milking barn, and second dairy barn. To the east of this barn is a milker's dormitory. West of the buildings, against the hillside, are three large hollow clay tile silos and a concrete building that housed a hammer mill. In the center of this large flat area originally stood a large number of open-sided livestock feeding sheds, measuring approximately 20 by 60 feet. A two-story dormitory for the employees has also been demolished and only the underground parking area remains. A small office building is located adjacent to the parking area.

D4. **Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

The Billiwhack Ranch is bounded on the east by ranch property and Aliso Canyon Road and by agricultural lands on the north, west and south.

D5. **Boundary Justification:**

The boundary of the nominated property is the present 70 acres owned by the Held Family, and another parcel that includes the original dairy manager's residence. This site includes all of the original dairy buildings and structures and the acreage of the original Billiwhack property.

D6. **Significance: Theme agriculture**

Area Santa Clara Valley

Period of Significance 1925-1943

Applicable Criteria A & C

Discuss district's importance in terms of its

historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built by August Rubel between 1925 and 1934. A number of smaller family dairies were established in the area between 1920 and 1950, including the Orr Family's Orange Grove Dairy and the Golden State Dairy operated by the Lindsey Family, and later by the Pinkerton family. However, no other dairy compared in size to the Billiwhack Stock Farm & Dairy and its "state of the art" buildings. [Continued]

D7. **References** (Give full citations including the names and addresses of any informants, where possible.):

Sheridan, History of Ventura County, Vol.II, 1926, p. 484.

Interview with Craig Held, 11/10/95

Ventura County Star Free Press, 7/18/36; 6/17/76

Oxnard Daily Courier, 6/15/26; 6/14/34

D8. **Evaluator: Judy Triem**

Date: 11/15/95

Affiliation and Address: 627 E. Pleasant Street, Santa Paula, CA 93060

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 2 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

Recorded by: *Judy Triem/San Buenaventura Research Assoc.*

Date *11/3/95*

☒ Continuation ☐ Update

D.6 (Significance)

A native of Zurich, Switzerland, August Rubel arrived in Ventura County in 1922, after graduation from Harvard at the age of twenty-three. He and his wife Mary Colgate McIsaac purchased approximately 240 acres of land in Aliso Canyon with the intent of establishing a dairy. Rubel hired Oxnard contractor Adolph Schroeder to construct the dairy buildings. The designer is unknown.

From the start, Rubel envisioned a "state of the art" dairy, including the most advanced buildings and techniques available, and had also purchased the finest holstein herd he could afford. The herd included "Prince Aggie," a prize bull from Thomas Bard's Berylwood Ranch near Port Hueneme. Prince Aggie was an undefeated California champion and "the highest yearly record butter bull in the world for his seven nearest dams."

In 1926 Prince Aggie died unexpectedly at the height of his career. The loss proved disastrous for Rubel, who sold the dairy in 1928 to Ben and Sam Frarkin, operators of the Valley Dairy Company of Los Angeles and El Monte, one of the largest dairy producing companies in the Los Angeles area. The unfinished buildings were not completed until 1934. Billiwhack operated as a dairy from 1934 until about 1943. In 1969 it was purchased by its present owners and is now a citrus ranch. The former dairy buildings are used for storage and various other agricultural related uses.

State of California —The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 11

*Resource Name (assigned by recorder) Billiwhack Stock Farm & Dairy

Drawn By:

Saticoy USGS 7.5 minute quad, 1951, with assessor parcel overlay.

*Date: 7/17/96



PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 30

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 4 of 11

Resource Name or #: (Assigned by recorder) Billiwhack Stock Farm & Dairy

P1. Other Identifier: Cow stables

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Ventura

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Saticoy Date 1951 T ; R ; 1/4 of 1/4 of Sec : B.M.

c. Address: 2275 Aliso Canyon Road City Santa Paula Zip 93060

d. UTM: (Give more than one for large and/linear resources) 11 ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. 64-130-12/14

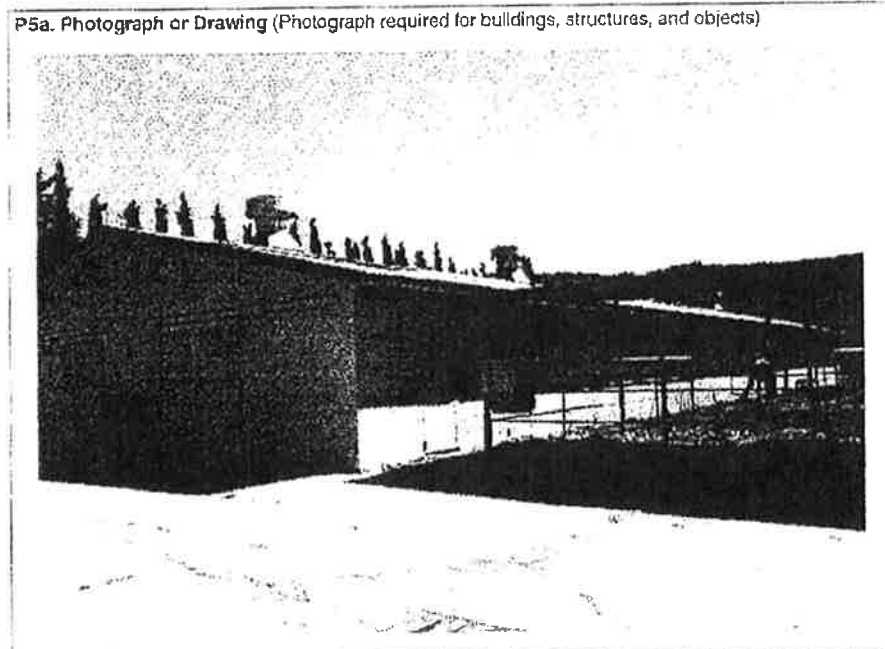
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Four identical buildings were used to house the dairy herd. These long narrow buildings, constructed of concrete, have low gable roofs with overhanging eaves. The low concrete ceilings are supported with metal trusses. The floors have a patterned tile with drains. Each animal had its own stall with a small window and door leading to the corrals. The corrals have been removed, except for one at the north end between the milking barn and the feed shed. Two sets of double doors on tracks are located at each end of the building. Three of the sheds remain fairly unaltered, but in the process of converting one shed to an office, some doors and windows were enclosed.

P3b. Resource Attributes: (List attributes and codes) HP33 - Farm/ranch

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Cow stable, southwest elevation, 7/07/95 #1020

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1924-1934-E

P7. Owner and Address

Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060

P8. Recorded by: (Name, affiliation, and address)

Judy Trien/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009

P9. Date Recorded: 11/16/95

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings
Review Code _____ Reviewer _____ Date _____

Page 5 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Creamery building*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; _____ mE/ _____ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

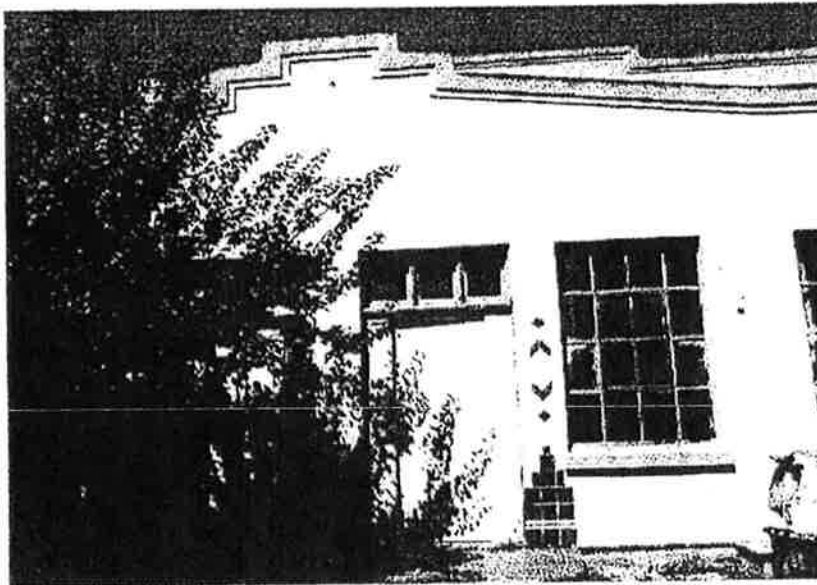
This is the most elaborately designed of the dairy buildings due to the use of tile and stenciling. The poured-in-place concrete building has an irregular plan with a series of interconnecting wings of both one and two stories. A small hipped roof tower topped with a pole is located in the center of the two-story portion of the building. The flat roofs on each section have raised parapets with decorative raised stepped parapets along some of the elevations, especially the eastern elevation, adjacent to the original access road. Tilework set in geometric patterns are located at either side of the two entrances. Decorative classical designs are found above the pilasters on either side of the door. Above the door are three small transom windows. The building has numerous steel multi-paned windows with concrete sills varying in size from four to sixteen panes. The walls at the western end of the building have been damaged from water leakage. Several windows have been broken and some openings are boarded up. This building is in poor condition. The interior is unique because of the stenciled ceiling, skylights and the heavy use of tile both on walls and floors. The second floor is a mezzanine.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Creamery, east elevation, 7/07/95#1018



P6. Date Constructed/Age and Source
☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)
Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 6 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milk barn*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements, include design, materials, condition, alterations, size, setting, and boundaries)

The milk barn has a two-story center section with a low pitched gable roof and overhanging eaves. Rows of multi-paned windows run along the entire length and width of the concrete building. A long, sloping shed roof extends from each side creating the one story section. Several multi-paned doors on tracks are located across the west end of the building. Groups of windows are also found on the one story portion of the building. The building has retained its design integrity, but is in only fair condition.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Milk barn, southwest elevation, 7/07/95, #1021

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triam/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings
Review Code _____ Reviewer _____ Date _____

Page 7 of 11

Resource Name or #: (Assigned by recorder) Billiwhack Stock Farm & Dairy

P1. Other Identifier: Hammermill

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Ventura
and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad Saticoy Date 1951 T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____
c. Address: 2275 Aliso Canyon Road City Santa Paula Zip 93060
d. UTM: (Give more than one for large and/linear resources) 11 ; _____ mE/ _____ mN
e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. 64-130-12/14

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This unusual building is constructed of concrete and built into the hillside, virtually in the manner of a bunker. The front or eastern elevation is divided into three bays with large multi-paned windows divided by concrete posts that have two windows in the center forming an H-shape. Concrete steps ascend on either side of the building and the top has a flat projecting roof. This building housed the hammermill, a special type of mill that separated silage from grain. This silage was then stored in the adjacent silos.

P3b. Resource Attributes: (List attributes and codes) HP33 - Farm/ranch

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Hammermill, east elevation, 7/07/95, #1010

P6. Date Constructed/Age and Source

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060

P8. Recorded by: (Name, affiliation, and address)

Judy Thern/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009

P9. Date Recorded: 11/16/95

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

3D

Other Listings

Review Code _____ Reviewer _____

Date _____

Page 8 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milker's Dormitory*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This long, narrow building is one-story in height with a low-pitched gable roof covered with clay tile. The wide eaves are open. The wide windows have wood sashes and wood casings. The building is covered with smooth stucco finish. A shed roof extends from the west side of the building to form a carport. This building once served as a dormitory for the milkers who worked at the dairy. It now serves as a single family residence.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)

Milker's dormitory, southwest elevation, 7/07/97, #1019

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D
Other Listings
Review Code _____ Reviewer _____ Date _____

Page 9 of 11

Resource Name or #: (Assigned by recorder) *Billwhack Stock Farm & Dairy*

P1. Other Identifier: *Silos*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec : B.M

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

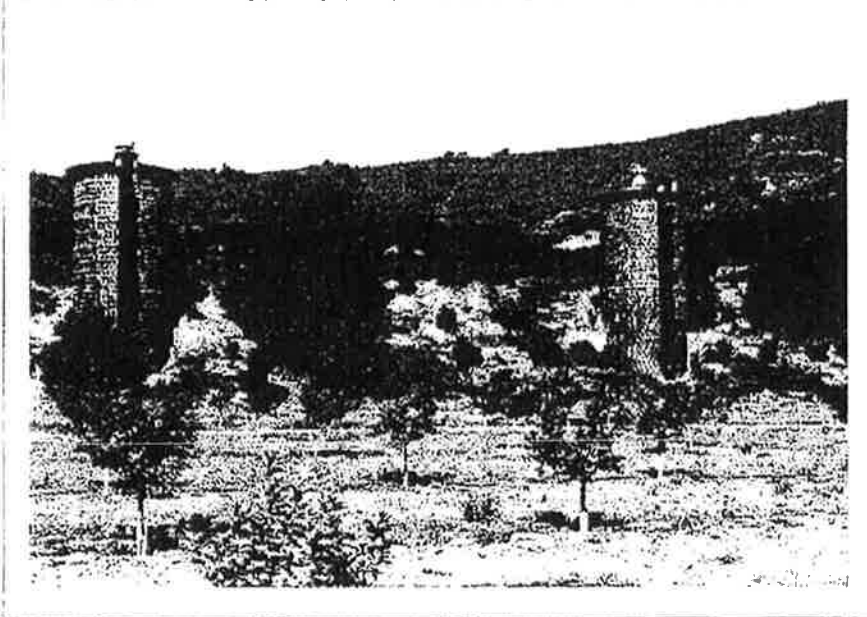
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Three identical silos are located immediately to the south of the hammermill building. The silos are round in plan, are built of hollow clay tile blocks, and are between thirty to forty feet in height. They were used to store the silage produced by the hammermill. The silage was then transferred to the feed sheds that once stood in the large open area just east of the silos. This area is now planted in citrus.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☐ Building ☒ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Silos, east elevation, 7/07/95, #1009

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)
Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 10 of 11

Resource Name or #: (Assigned by recorder) Billwhack Stock Farm & Dairy

P1. Other Identifier: Manager's Residence

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Ventura

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Salicoy Date 1951 T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 2847 Aliso Canyon Road City Santa Paula Zip 93060

d. UTM: (Give more than one for large and/linear resources) 11 ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. 54-130-13

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This English Tudor style residence with an irregular plan has a main one and one-half story portion with a wing extending on the northeast side. Covered with slate, the steep pitched hip roof is broken by a hipped dormer window centered over the front porch and a tall corbelled brick chimney to the north. The eaves are open and very shallow with exposed rafter tails. A pergola with a turned balustrade extends across the front of the porch. The front door has two windows in the upper portion with two panels in the lower half. Multi-paned wood casement and fixed windows are located throughout the house except for the front wing whose windows are fixed. This wing was originally the garage. The upstairs dormer was also added later. The house is covered with stucco siding and wide shiplap and rests on a concrete perimeter foundation. It is in excellent condition.

The house is located at the end of a long dirt road that curves to the north at the top of the low hill and enters the formally landscaped setting with a large yard area with many shrubs and ornamental trees. A stucco wall with decorative tile and wrought iron inserts extends across the edge of the hill adjacent to the driveway. The lot is narrow with the hillside closing near the rear of the house. At the rear is a small one-story building, known as the "poker room" built into the hillside during the 1940s. A new garage has been added at the end of the driveway. The 90 acre ranch is planted in citrus trees.

P3b. Resource Attributes: (List attributes and codes) HP2 - Single Family Property HP33 - Farm/ranch

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Residence, east elevation, 7/07/95; #1024



P6. Date Constructed/Age and Sources:
☐ Prehistoric ☒ Historic ☐ Both

1926-E

P7. Owner and Address

Jim Williams
2847 Aliso Canyon Road
Santa Paula, CA 93060

P8. Recorded by: (Name, affiliation, and address)

Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009

P9. Date Recorded: 11/5/95

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☒ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____
HRI # _____

Page 11 of 11

NRHP Status Code 3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

B1. Historic Name: *Billiwhack Dairy-manager's residence*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *same*

B5. Architectural Style: *English tudor*

B6. Construction History: (Construction date, alterations, and date of alterations)
1926 - main house; game room- 1940s

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

B8. Related Features: *garage, small game room*

B9a. Architect: *Roy Wilson*

b. Builder: *unknown*

B10. Significance: Theme: *Agriculture*

Area: *West Santa Clara Valley*

Period of Significance: *1925-1943*

Property Type: *ranch buildings*

Applicable Criteria: *A, C*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

This house is significant for its association with the Billiwhack Dairy. It was built by August Rubel to house the manager of the dairy. It was designed by local architect Roy Wilson. The Billiwhack Stock Farm and Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built between 1925 and 1934 by August Rubel. The house and grounds have retained a great deal of their original integrity of design and setting.

B11. Additional Resource Attributes: (List attributes and codes)

HP2 - Single Family Property

HP33 - Farm/ranch

B12. References:

Interview with Jim Williams, 4/21/95

B13. Remarks:

B14. Evaluator: *Judy Triem*

Date of Evaluation: *11/15/95*

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

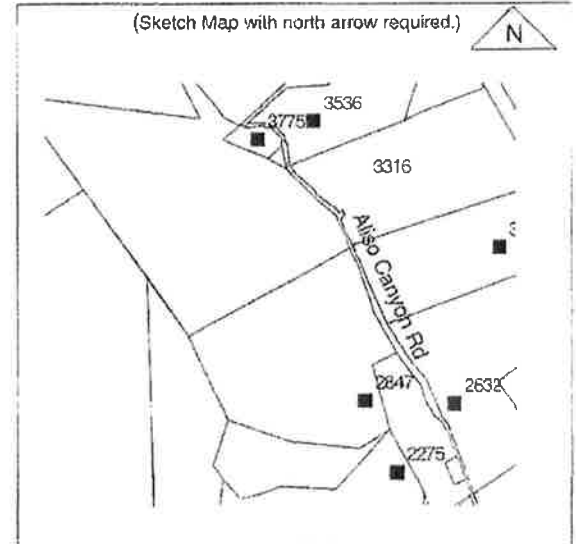


Exhibit 2

California Historical Resource Status Codes

1 Properties listed in the National Register (NR) or the California Register (CR)

- 1D Contributor to a district or multiple resource property listed in NR by the Keeper. Listed in the CR.
- 1S Individual property listed in NR by the Keeper. Listed in the CR.
- 1CD Listed in the CR as a contributor to a district or multiple resource property by the SHRC
- 1CS Listed in the CR as individual property by the SHRC.
- 1CL Automatically listed in the California Register – Includes State Historical Landmarks 770 and above and Points of Historical Interest nominated after December 1997 and recommended for listing by the SHRC.

2 Properties determined eligible for listing in the National Register (NR) or the California Register (CR)

- 2B Determined eligible for NR as an individual property and as a contributor to an eligible district in a federal regulatory process. Listed in the CR.
- 2D Contributor to a district determined eligible for NR by the Keeper. Listed in the CR.
- 2D2 Contributor to a district determined eligible for NR by consensus through Section 106 process. Listed in the CR.
- 2D3 Contributor to a district determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2D4 Contributor to a district determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.
- 2S Individual property determined eligible for NR by the Keeper. Listed in the CR.
- 2S2 Individual property determined eligible for NR by a consensus through Section 106 process. Listed in the CR.
- 2S3 Individual property determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2S4 Individual property determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.
- 2CB Determined eligible for CR as an individual property and as a contributor to an eligible district by the SHRC.
- 2CD Contributor to a district determined eligible for listing in the CR by the SHRC.
- 2CS Individual property determined eligible for listing in the CR by the SHRC.

3 Appears eligible for National Register (NR) or California Register (CR) through Survey Evaluation

- 3B Appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation.
- 3D Appears eligible for NR as a contributor to a NR eligible district through survey evaluation.
- 3S Appears eligible for NR as an individual property through survey evaluation.
- 3CB Appears eligible for CR both individually and as a contributor to a CR eligible district through a survey evaluation.
- 3CD Appears eligible for CR as a contributor to a CR eligible district through a survey evaluation.
- 3CS Appears eligible for CR as an individual property through survey evaluation.

4 Appears eligible for National Register (NR) or California Register (CR) through other evaluation

- 4CM Master List - State Owned Properties – PRC §5024.

5 Properties Recognized as Historically Significant by Local Government

- 5D1 Contributor to a district that is listed or designated locally.
- 5D2 Contributor to a district that is eligible for local listing or designation.
- 5D3 Appears to be a contributor to a district that appears eligible for local listing or designation through survey evaluation.
- 5S1 Individual property that is listed or designated locally.
- 5S2 Individual property that is eligible for local listing or designation.
- 5S3 Appears to be individually eligible for local listing or designation through survey evaluation.
- 5B Locally significant both individually (listed, eligible, or appears eligible) and as a contributor to a district that is locally listed, designated, determined eligible or appears eligible through survey evaluation.

6 Not Eligible for Listing or Designation as specified

- 6C Determined ineligible for or removed from California Register by SHRC.
- 6J Landmarks or Points of Interest found ineligible for designation by SHRC.
- 6L Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.
- 6T Determined ineligible for NR through Part I Tax Certification process.
- 6U Determined ineligible for NR pursuant to Section 106 without review by SHPO.
- 6W Removed from NR by the Keeper.
- 6X Determined ineligible for the NR by SHRC or Keeper.
- 6Y Determined ineligible for NR by consensus through Section 106 process – Not evaluated for CR or Local Listing.
- 6Z Found ineligible for NR, CR or Local designation through survey evaluation.

7 Not Evaluated for National Register (NR) or California Register (CR) or Needs Revaluation

- 7J Received by OHP for evaluation or action but not yet evaluated.
- 7K Resubmitted to OHP for action but not reevaluated.
- 7L State Historical Landmarks 1-769 and Points of Historical Interest designated prior to January 1998 – Needs to be reevaluated using current standards.
- 7M Submitted to OHP but not evaluated - referred to NPS.
- 7N Needs to be reevaluated (Formerly NR Status Code 4)
- 7N1 Needs to be reevaluated (Formerly NR SC4) – may become eligible for NR w/restoration or when meets other specific conditions.
- 7R Identified in Reconnaissance Level Survey: Not evaluated.
- 7W Submitted to OHP for action – withdrawn.


BILLIWHACK RANCH RENOVATION

A-1

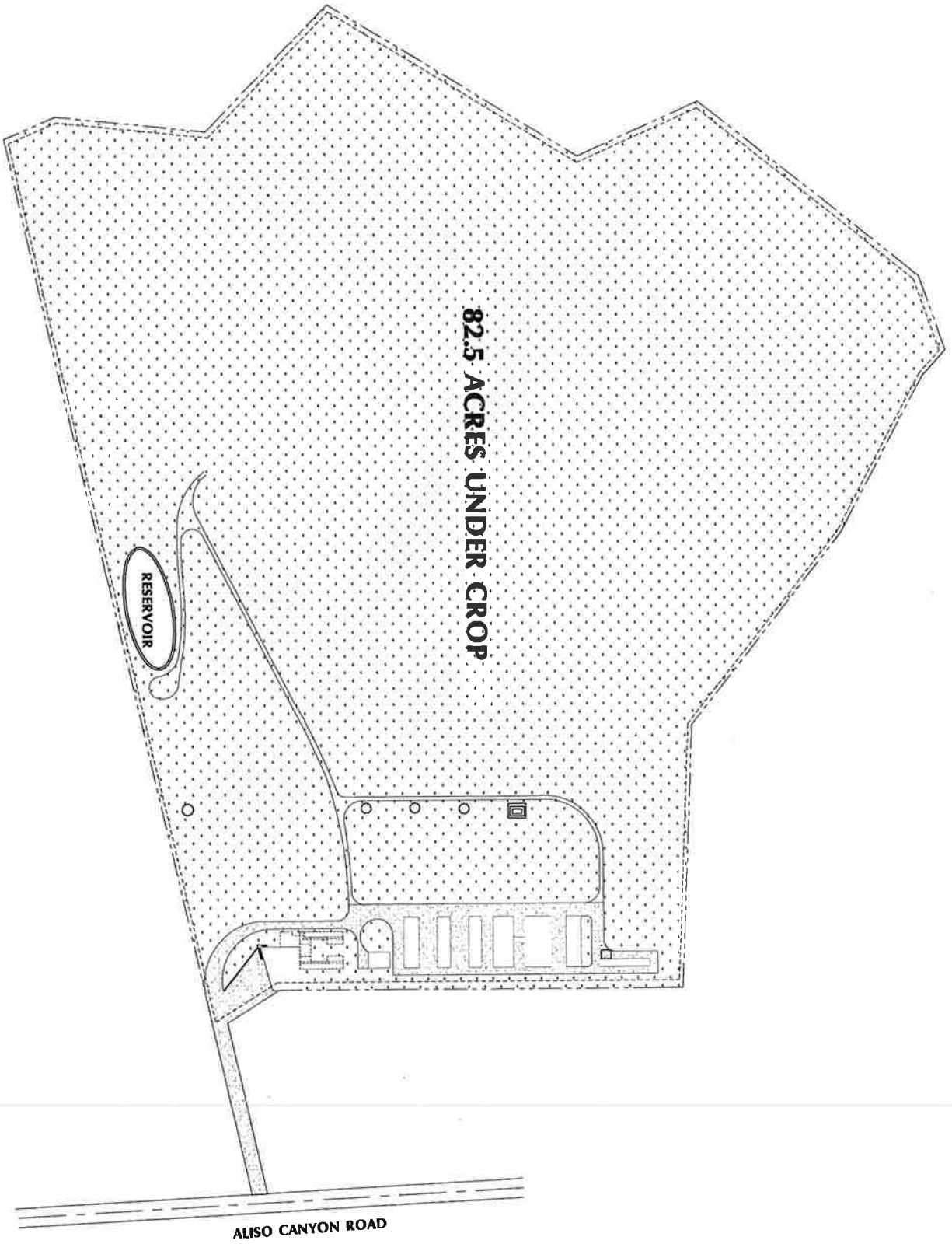
DATE 06/28/2019	DRAWN BY JLH	CHECKED BY JLH	SHEET NO. 2275	TITLE TITLE SHEET	SHEET CONTENTS
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BILLWHACK RANCH
2779 ALISO CANYON ROAD
SANTEE, CALIF. 92086

BILLWHACK RANCH RENOVATION



Angeli de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805.452.2959



GENERAL NOTES

KEY NOTES

SITE PLAN



A-2

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 95060
BILLIWHACK RANCH RENOVATION

NO.	REVISION	DATE
1		
2		
3		
4		



Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,804 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT GRAIN SILO

EXISTING EDISON POWER POLE

RAISED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

AREA OF WORK

AREA OF WORK

AREA OF WORK

ENLARGED SITE PLAN

KEY NOTES

EXISTING BUILDING FLOOR AREAS

STORAGE AND MAINTENANCE BUILDING (1A)	10,914 SQUARE FEET GROSS
GUEST HOUSE BUILDING (H1)	2,385 SQUARE FEET GROSS
BEE KEEPER BUILDING (1)	5,341 SQUARE FEET GROSS
CARETAKER DWELLING BUILDING (2)	4,564 SQUARE FEET GROSS
EQUIPMENT STORAGE BUILDING (3)	4,564 SQUARE FEET GROSS
TWO STORY MAIN RESIDENCE (4)	17,804 SQUARE FEET GROSS
RANCH MAINTENANCE BUILDING (5)	9,350 SQUARE FEET GROSS
RANCH EQUIPMENT STORAGE BUILDING (6)	5,341 SQUARE FEET GROSS
CARETAKER DWELLING (H2)	2,646 SQUARE FEET GROSS
HAYTER MILL BARN	3,550 SQUARE FEET GROSS
THREE GRAIN SILOS TOTAL	1,629 SQUARE FEET GROSS
TOTAL	67,561 SQUARE FEET GROSS

SITE STATISTICS

TOTAL BUILDING COVERAGE	55,683 SQUARE FEET GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA	607,912 SQUARE FEET GROSS
AREA UNDER CROP	3,543,700 SQUARE FEET GROSS OR 82.50 ACRES
TOTAL SITE AREA	4,257,328 SQUARE FEET GROSS OR 97.7348 ACRES

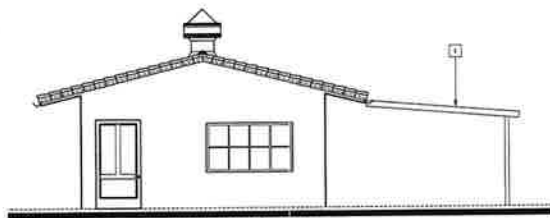
BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE	55,683 SQUARE FEET GROSS
TOTAL SITE AREA	4,257,328 SQUARE FEET GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED.	

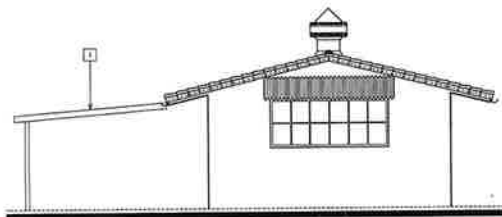
ALISO CANYON ROAD

GENERAL NOTES

1. VERIFY ALL PROPERTY LINES VERIFY ANY DIMENSIONS SHOWN WITH THE PROPOSED FENCE CONSTRUCTION
2. ALL ITEMS NOT REFERRED TO AS EXISTING ARE TO BE REFERRED TO AS NEW



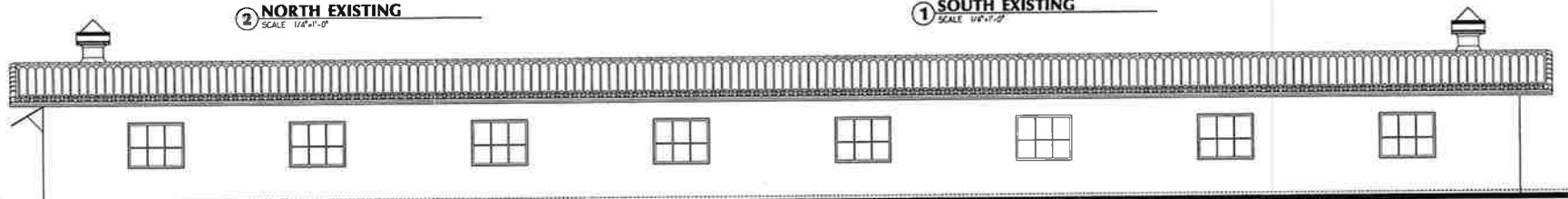
2 NORTH EXISTING
SCALE 1/8"=1'-0"



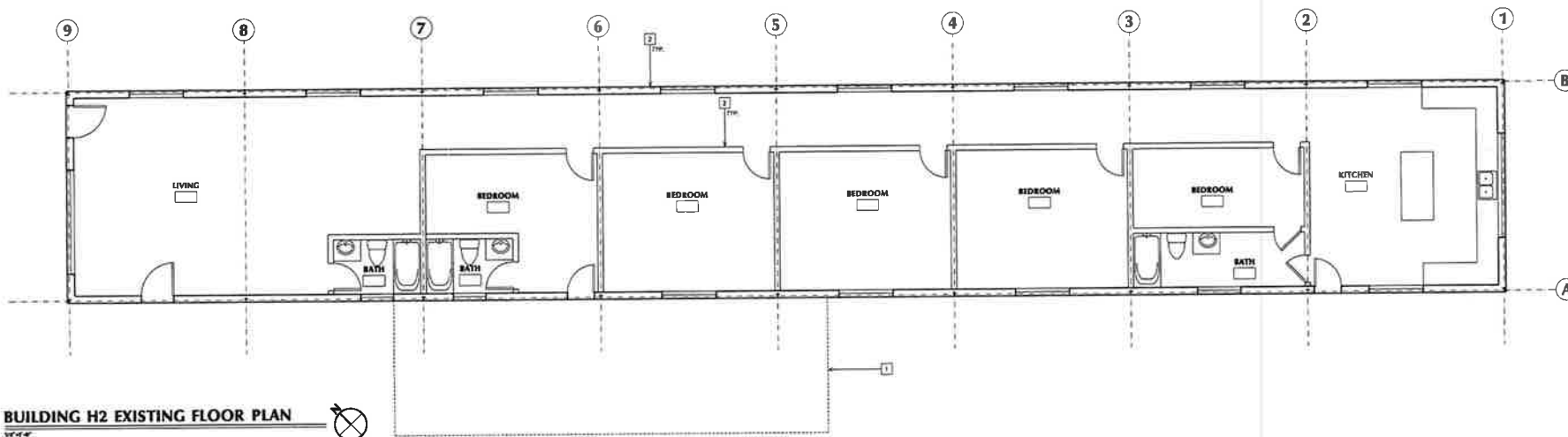
1 SOUTH EXISTING
SCALE 1/8"=1'-0"

- KEY NOTES**
- 1. EXISTING 100 SQUARE FOOT ALUMINUM CANOPY HAS BEEN REMOVED
 - 2. ALL INTERIOR AND EXTERIOR WALLS HAVE BEEN REMOVED DUE TO FLOOD DAMAGE AND 15 YEARS OF DEFERRED MAINTENANCE

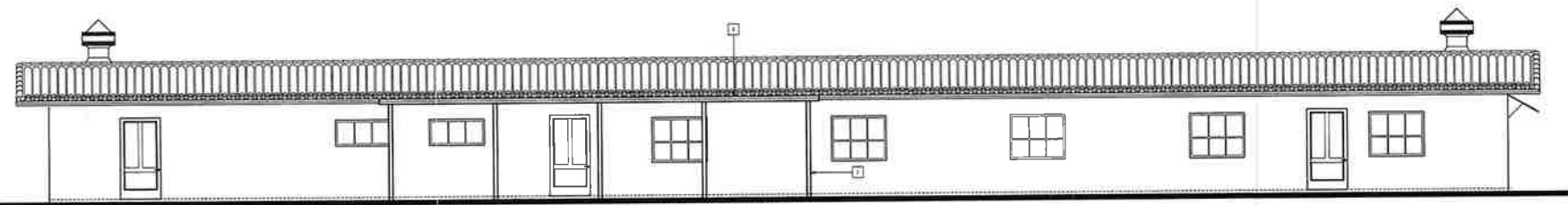
GENERAL NOTES



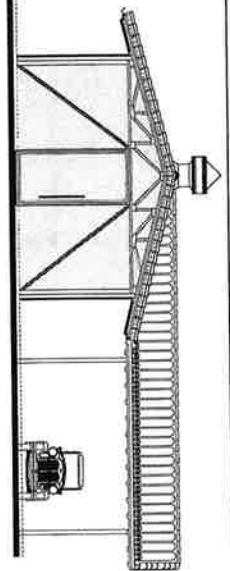
3 EAST EXISTING
SCALE 1/8"=1'-0"



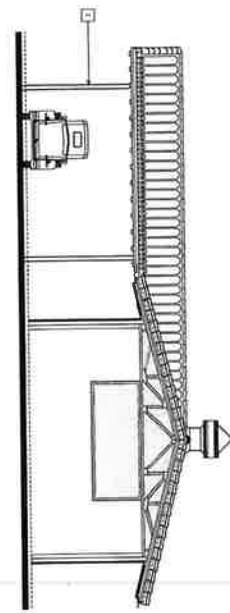
BUILDING H2 EXISTING FLOOR PLAN
SCALE 1/8"=1'-0"



4 WEST EXISTING
SCALE 1/8"=1'-0"



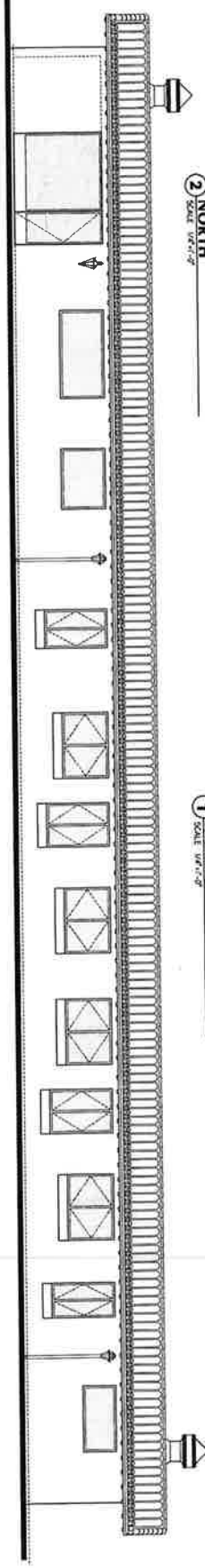
2 NORTH
SCALE 1/4" = 1'-0"



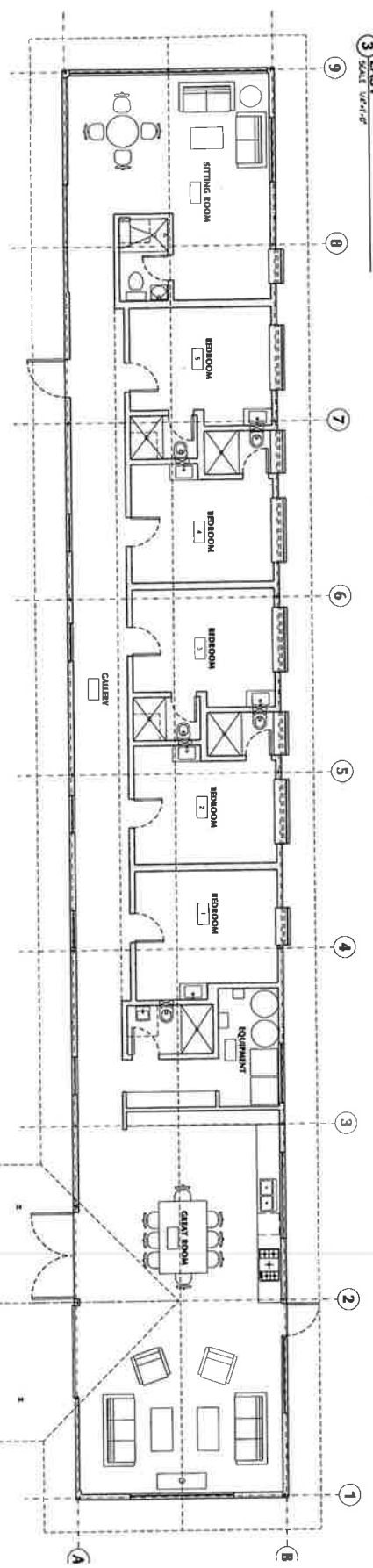
1 SOUTH
SCALE 1/4" = 1'-0"

GENERAL NOTES

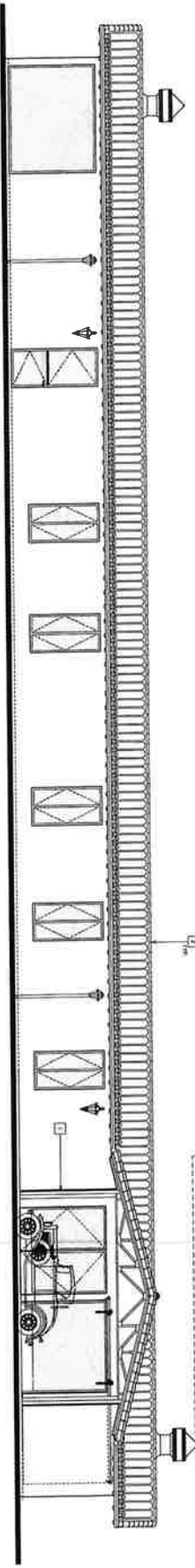
- KEY NOTES
- 1. EXISTING GARAGE - MAINT. TO MATCH EXISTING.
 - 2. EXISTING T&E ROOF SHALL BE RE-INSTALLED.



3 EAST
SCALE 1/4" = 1'-0"



BUILDING H2 FLOOR PLAN
SCALE 1/4" = 1'-0"



4 WEST
SCALE 1/4" = 1'-0"

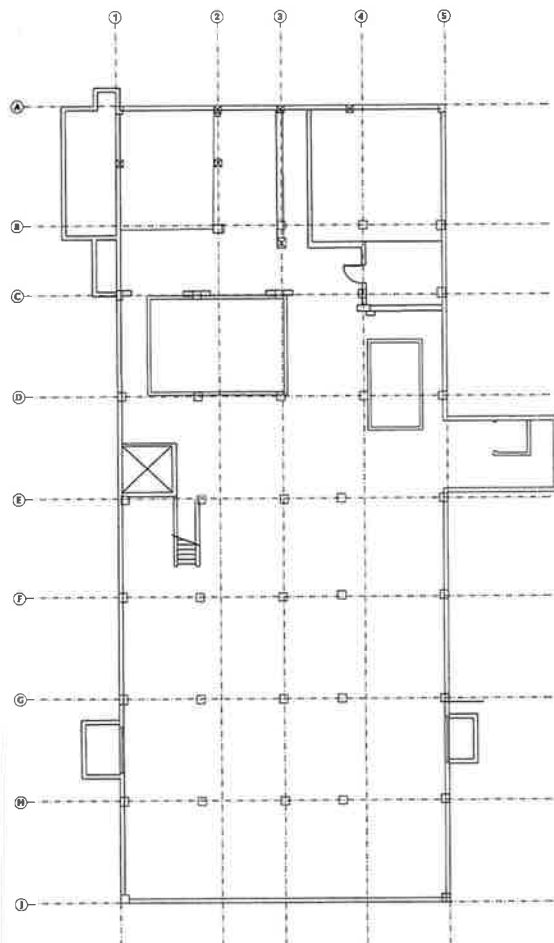


Angeli de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 452 2099

SHEET CONTENTS
BUILDING H2
FLOOR PLAN AND ELEVATIONS

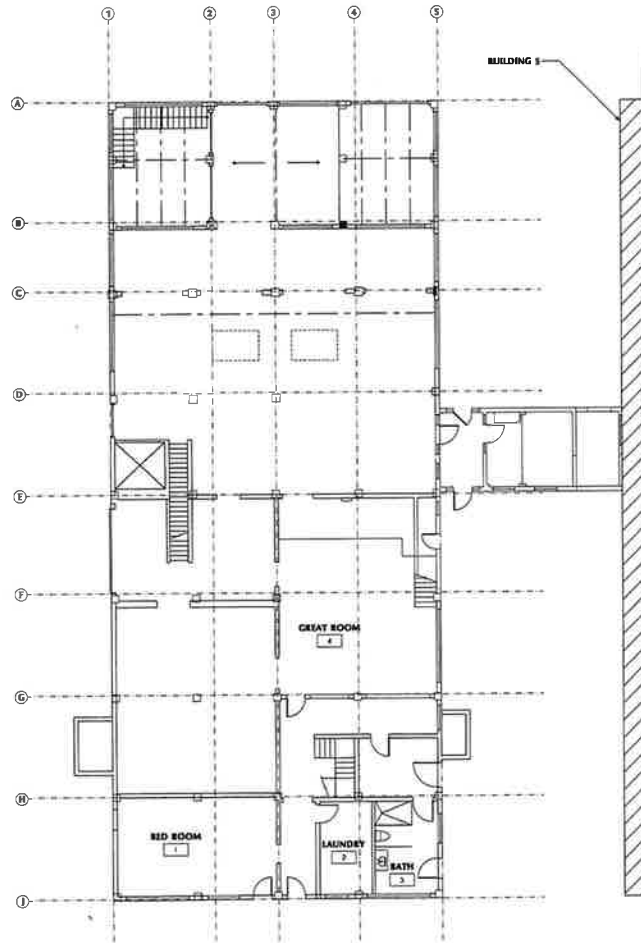
BILLIWHACK RANCH
2075 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION

A-5



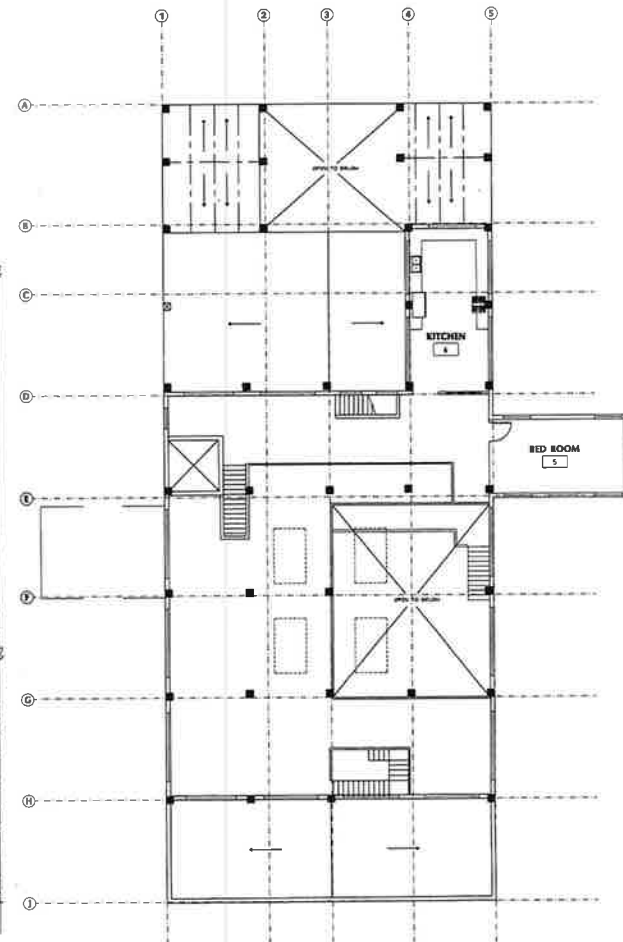
BEASEMENT FLOOR PLAN BUILDING 4

1/8"=1'-0"



GROUND LEVEL FLOOR PLAN BUILDING 4

1/8"=1'-0"



2ND LEVEL FLOOR PLAN BUILDING 4

1/8"=1'-0"

□ KEY NOTES □

GENERAL NOTES

DATE	BY	CHKD

BILLIWHACK RANCH
2275 ALBERTA DRIVE
SAN ANTONIO, TEXAS 78217
BILLIWHACK RANCH RENOVATION

SHEET CONTENTS
BUILDING 4
EXISTING FLOOR PLANS

NO.	DESCRIPTION
1	EXISTING FLOOR PLANS
2	2275
3	20.11.2018

A-6

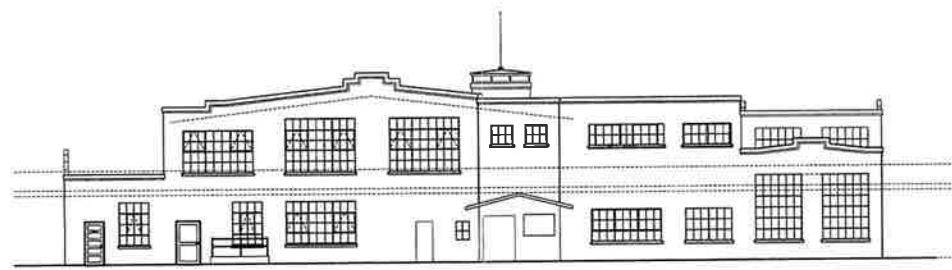
GENERAL NOTES

1. EXISTING WINDOW AND DOOR SYSTEMS WILL BE RESTORED
2. EXISTING WINDOW AND DOOR SYSTEMS THAT CANNOT BE RESTORED SHALL BE REPLACED TO MATCH EXISTING

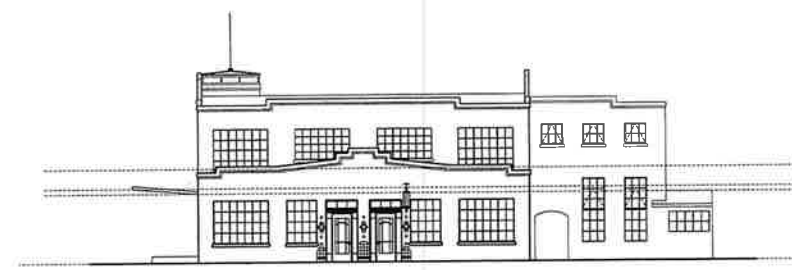


□ KEY NOTES □

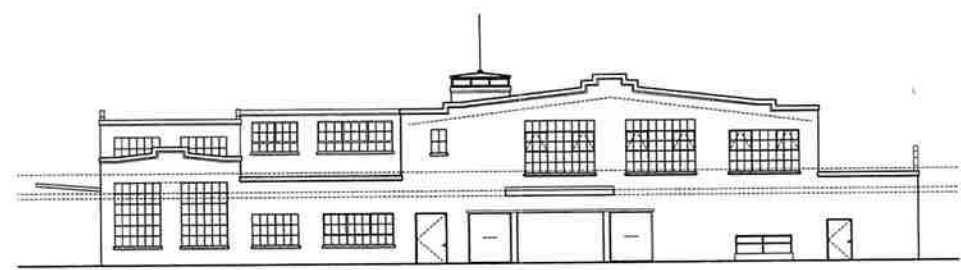
GENERAL NOTES



1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"



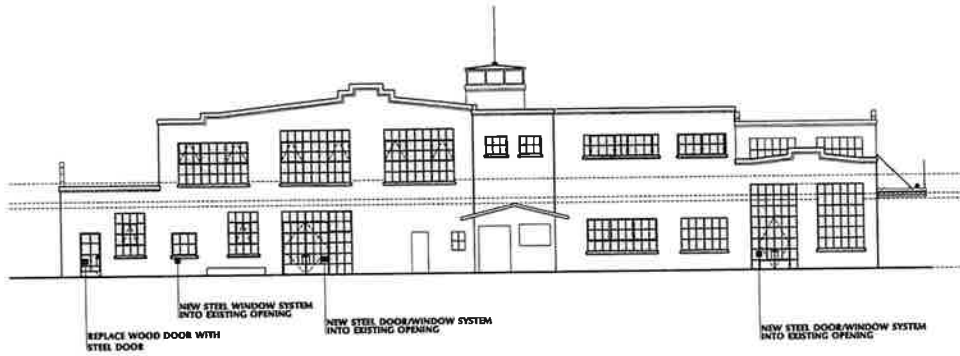
1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



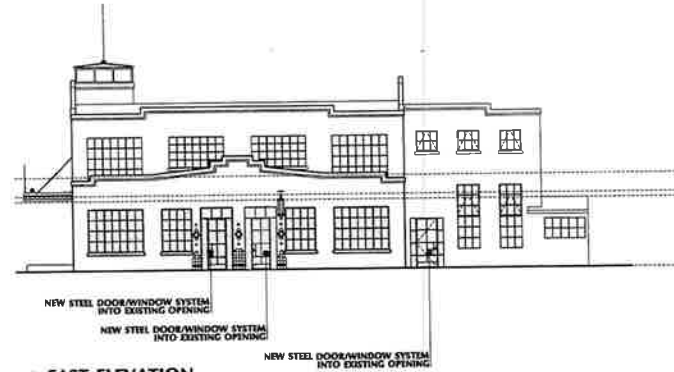
1 WEST ELEVATION
SCALE 1/8" = 1'-0"

GENERAL NOTES

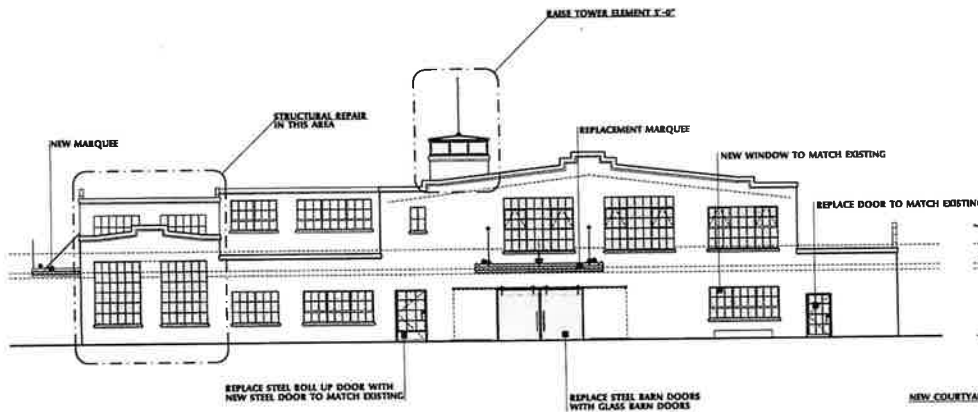
1. EXISTING WINDOW AND DOOR SYSTEMS WILL BE RESTORED
2. EXISTING WINDOW AND DOOR SYSTEMS THAT CANNOT BE RESTORED SHALL BE REPLACED TO MATCH EXISTING



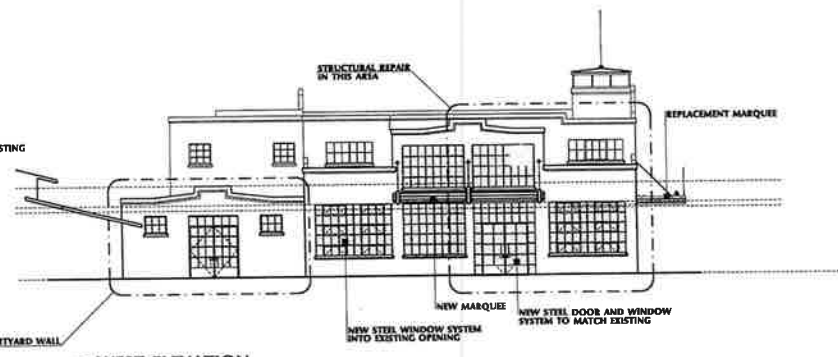
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"

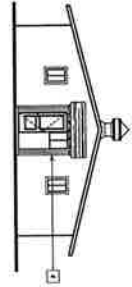


1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

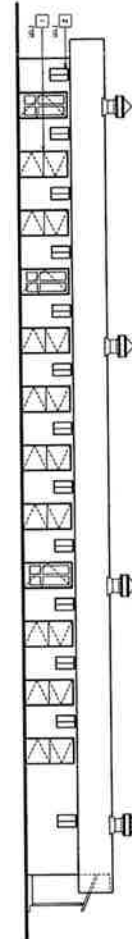


1 WEST ELEVATION
SCALE 1/8" = 1'-0"

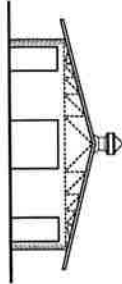
- KEY NOTES**
- 1. REMOVE EXISTING STEEL, DUTCH DOORS.
 - 2. REMOVE ALL WINDOWS.
 - 3. REMOVE ALL BATH AND KITCHEN PARTITIONS.
 - 4. REMOVE PORCH AND BRICK WALK.



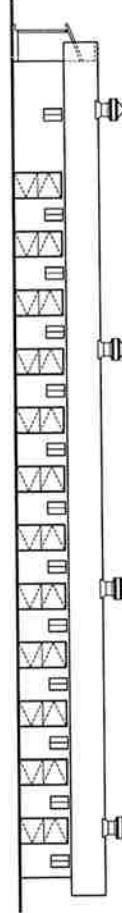
1 EAST
SCALE 1/8"=1'-0"



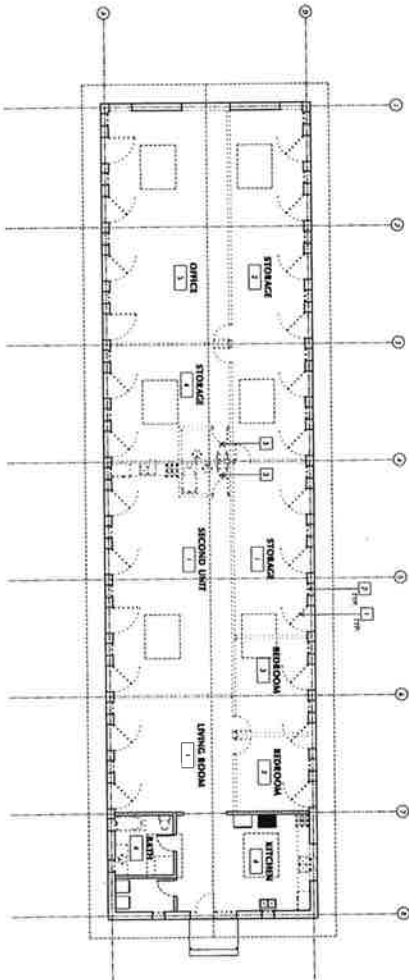
1 SOUTH
SCALE 1/8"=1'-0"



3 WEST
SCALE 1/8"=1'-0"



4 NORTH
SCALE 1/8"=1'-0"



GENERAL NOTES

- 1. WALLS TO REMAIN
- 2. WALLS TO BE REMOVED

EXISTING FLOOR PLAN

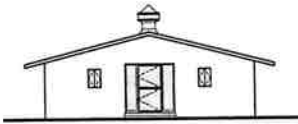


Angeli de Covolo, Inc.
122 E. Arrillaga Street
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805 452 2998

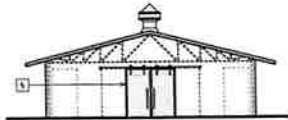
BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION

SHEET CONTENTS
BUILDING 2
EXISTING FLOOR PLANS
AND ELEVATIONS

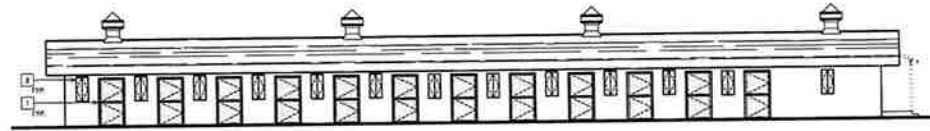
A-10
2275
06.11.2018



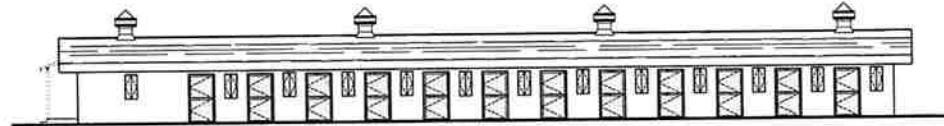
1 EAST
SCALE 1/8"=1'-0"



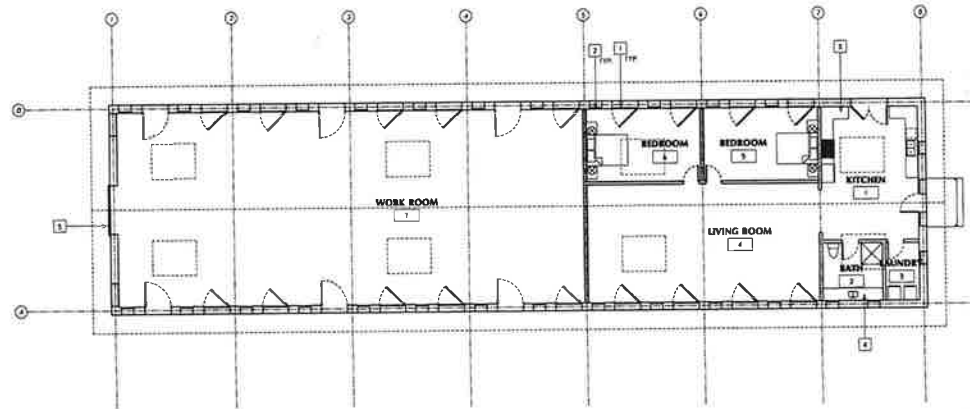
3 WEST
SCALE 1/8"=1'-0"



1 SOUTH
SCALE 1/8"=1'-0"



4 NORTH
SCALE 1/8"=1'-0"



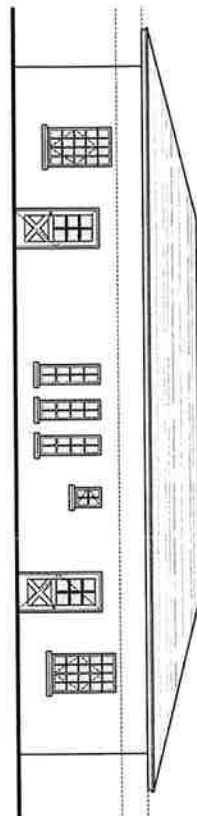
PROPOSED FLOOR PLAN
1/8"=1'-0"

KEY NOTES

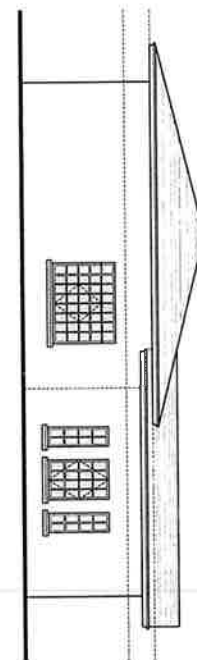
1. NEW GLASS BUTCH DOORS INSTALLED IN EXISTING OPENINGS.
2. NEW STEEL FRAME HINDOOS INSTALLED IN EXISTING OPENINGS.
3. NEW KITCHEN CABINETS AND FIXTURES.
4. BATH RENOVEL.
5. NEW SLIDING GLASS BARN DOORS.

GENERAL NOTES

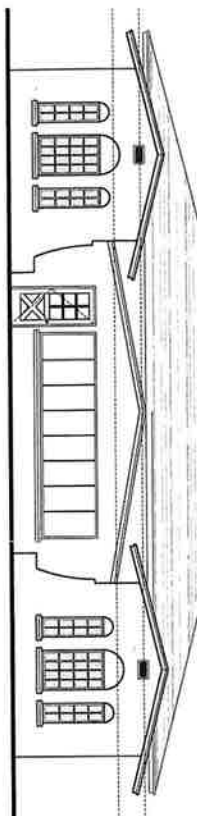
1. WALLS TO REMAIN
2. WALLS TO BE RENOVEL
3. NEW WALLS
4. 5'-00" TYPICAL PLASTER OVER ENTIRE BUILDING



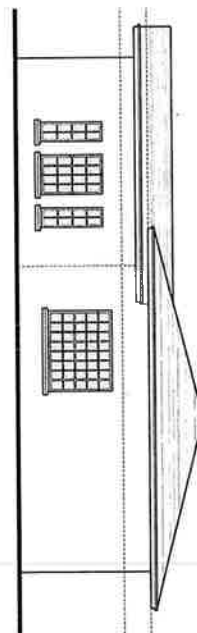
2 WEST
SCALE 1/4" = 1'-0"



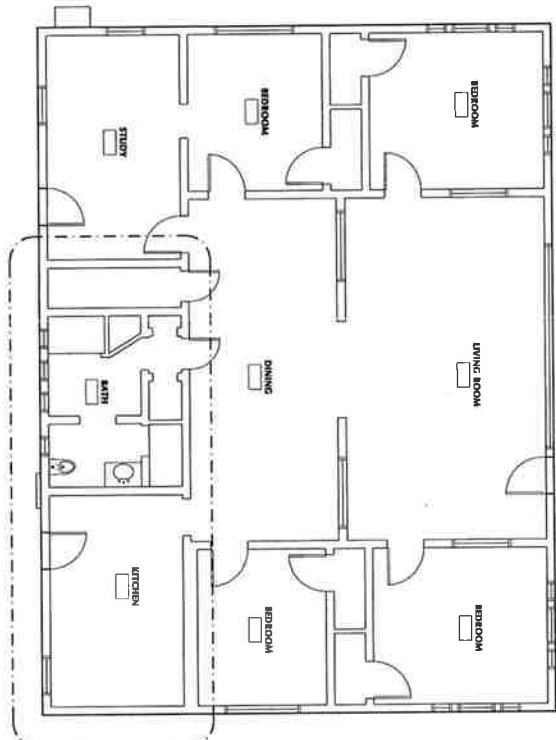
1 SOUTH
SCALE 1/4" = 1'-0"



3 EAST
SCALE 1/4" = 1'-0"



4 NORTH
SCALE 1/4" = 1'-0"



FLOOR PLAN

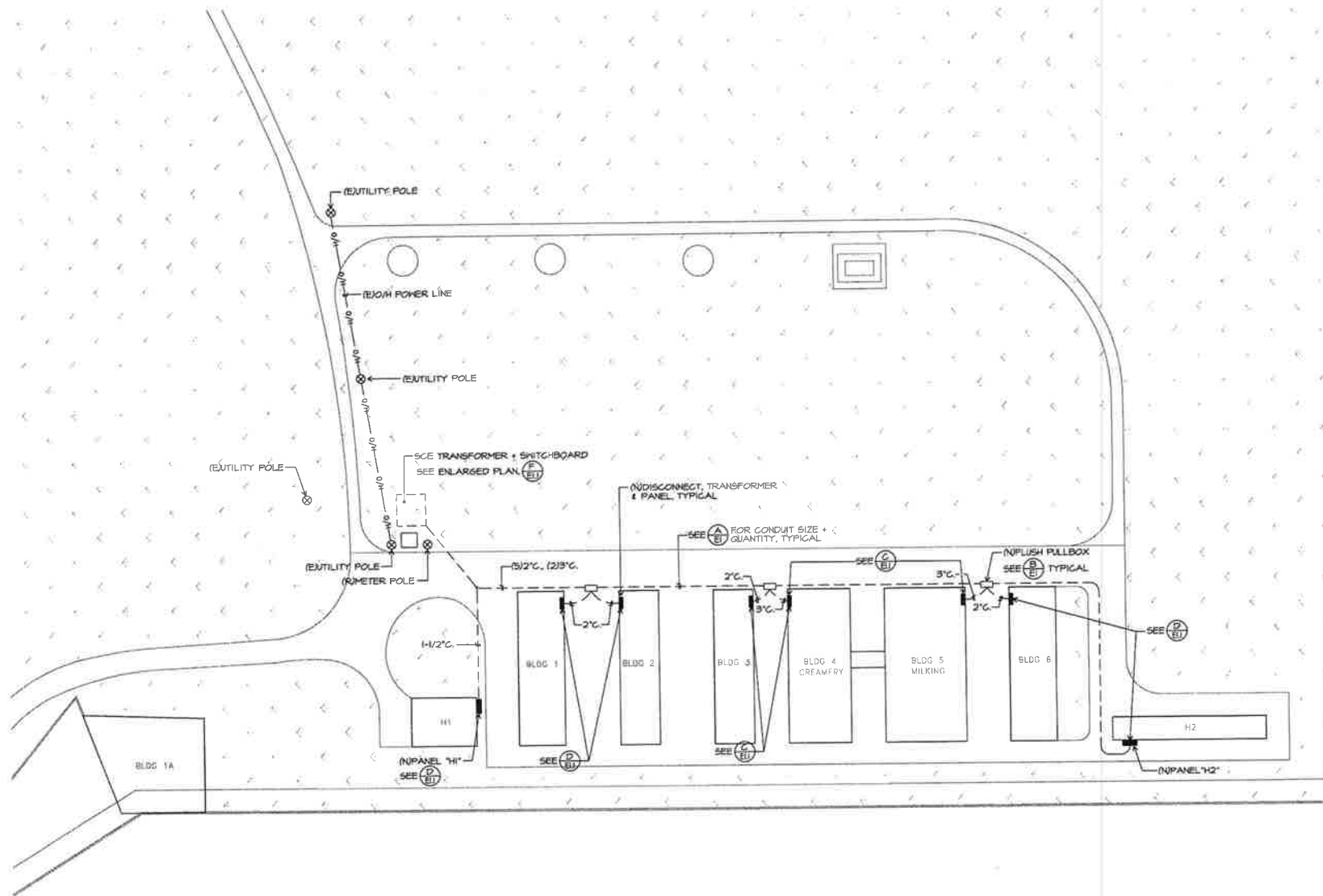


AREA OF REMODEL

GENERAL NOTES

1. EXISTING AND PROPOSED ARE SHOWN. NO OTHER CHANGES.





ELECTRICAL SITE PLAN

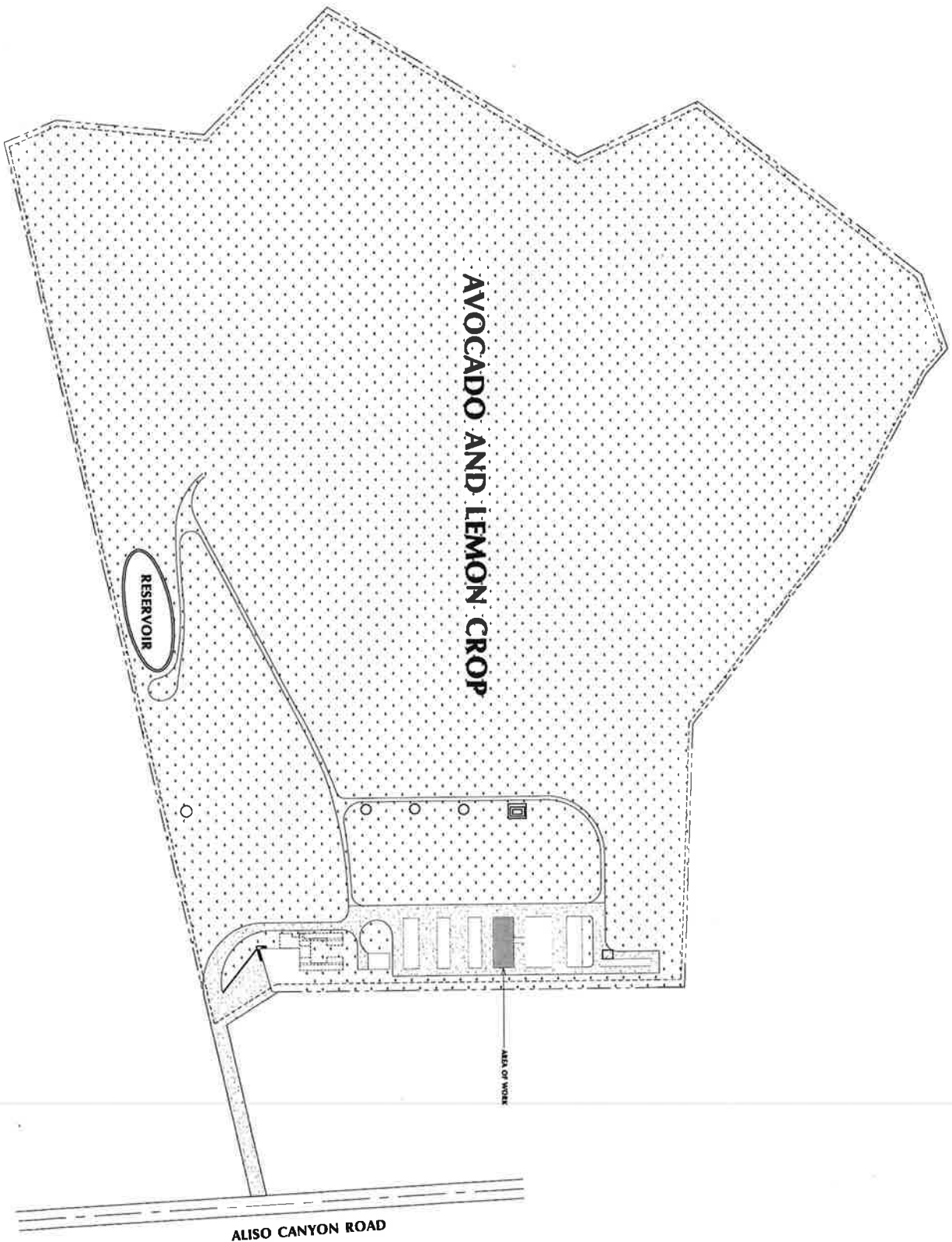
SCALE: 1" = 40'-0" 5' 0' 3' 0' 2'

REVISIONS	BY
 IMPE INDUSTRIAL MECHANICAL PROJECT ENGINEERS 2275 ALISO CANYON ROAD SANTA PAULA, CA 93060 (805) 251-1111 FAX (805) 251-1112 www.impe.com	
	
BILL INGHACK RANCH ELECTRICAL SERVICE 2275 ALISO CANYON ROAD SANTA PAULA, CA 93060	
ELECTRICAL SITE PLAN	
DATE	06-29-11
SCALE	AS NOTED
DRAWN	MSE/R
JOB	19162
SHEET	E-2
OF	2 SHEETS

BILLIWHACK RANCH MAIN RESIDENCE REMODEL

PROJECT NOTES	SHEET INDEX	PROJECT TEAM	PROJECT DATA
<p>1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO THREE PRECEDENCE OVER SCALE SHOWN ON DRAWING.</p> <p>2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.</p> <p>3. PERMITS AND CONNECTIONS: THE OWNER SHALL PAY FOR ALL PLANNING/CONSULTING AND BUILDING PERMIT FEES.</p> <p>4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE BUILDING CODE, CALIF. SPECIFICATIONS, AND ALL OTHER APPLICABLE REQUIREMENTS, ORDINANCES AND REGULATIONS. WHERE CONFLICTS BETWEEN BUILDING CODES AND SPECIFICATIONS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.</p> <p>5. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.</p> <p>6. THE CONTRACTOR SHALL ARRANGE FOR ALL TESTING AND INSPECTION REQUIRED BY APPLICABLE CODES, ORDINANCES AND DIRECTIVES OF THE GOVERNING BUILDING OFFICIAL. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING AND INSPECTIONS IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS FOR TESTS AND INSPECTIONS INDICATING NON-CONFORMANCE.</p> <p>7. THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFIED DESIGN.</p> <p>8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS DISCOVERED WHILE DOING AND CLARIFICATION SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.</p> <p>9. THE CONSTRUCTION DOCUMENTS REPRESENT THE PROPOSED STRUCTURE UNLESS NOTED OR SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES AND PROCEDURES.</p> <p>10. APPLICABLE PROVIDED SHALL USE A COMMON DATUM SHALL TO BE DESIGNATED BY THE CONSTRUCTION SUPERVISOR FOR ALL CRITICAL MEASUREMENTS.</p> <p>11. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.</p> <p>12. MATERIAL AND PAINT COLORS TO BE SELECTED BY ARCHITECT PRIOR TO FABRICATION.</p> <p>13. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. WHERE UTILITIES ARE ENCOUNTERED OTHER THAN THOSE KNOWN AND SHOWN, IMMEDIATELY NOTIFY THE OWNER, AND ENTER INTO NEGOTIATION FOR THE PERFORMANCE OF THE REQUIRED WORK, WHICH SHALL BE OVER AND ABOVE THE AMOUNT OF THE BID PROPOSAL. ANY REQUIRED REROUTING OF EXISTING UTILITY SERVICE SHALL BE APPROVED BY THE LOCAL UTILITY COMPANY PRIOR TO COMMENCING THAT WORK.</p> <p>14. DURING THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF THE EXISTING ELEMENTS TO REMAIN. WHERE QUESTIONS OR DISCREPANCIES ARISE, CONSULT THE ARCHITECT ABOUT THE EXTENT AND/OR REPORT OF THE REQUIRED DIRECTION BEFORE COMMENCING WORK.</p> <p>15. ALL DIMENSIONS ARE TO FACE OF FINISHED CONCRETE OR FINISHED UNLESS NOTED OTHERWISE.</p> <p>16. UNLESS OTHERWISE SPECIFIED HEREIN, THE CONTRACTOR, UPON COMPLETION OF THE ENTIRE WORK DESCRIBED IN THE CONTRACT, SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE STATING THAT ALL WORK PERFORMED AS PART OF THE CONTRACT IS FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, AND THAT DURING SAID ONE YEAR PERIOD, ALL DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE REPAIRED AND/OR REPLACED IN PLACE INCLUDING ANY WORK OF UTILITY PRIOR AND BEER OBTAINED BY SUCH DEFECTIVE WORKMANSHIP AND/OR MATERIALS AND BY THE REPAIR AND/OR REPLACEMENT OF SUCH WORKMANSHIP AND/OR MATERIALS, AT NO ADDITIONAL COST TO THE OWNER.</p> <p>17. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND DEBRIS MATERIALS FROM THE PORTION OF THE WORK IMPROVED HEREIN AND DEPOSIT IT IN AN ON-SITE CONTAINER, PROVIDED BY THE CONTRACTOR.</p> <p>18. IMPROVED EXISTING WORK IS DAMAGED BY REMOVAL OF ADJACENT WORK OR ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIALS TO MATCH EXISTING AS APPROVED BY THE ARCHITECT.</p> <p>19. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIVE CONTINGENCIES AS REQUIRED BY THE FIRE DEPARTMENT.</p> <p>20. EACH CONTRACTOR SHALL MAINTAIN GENERAL LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT WITH PROPERTY DAMAGE AND BODILY INJURY COVERAGE FOR EACH PERSON AND VEHICLE FOR EACH ACCIDENT. PROPERTY DAMAGE COVERAGE MUST BE AT LEAST \$1,000,000. BODILY INJURY COVERAGE MUST BE AT LEAST \$1,000,000. THE CONTRACTOR IS LIABLE FOR REPAIRS, REPAIRS AND DELAYS CAUSED BY ANY WORKMANSHIP OR MATERIALS. THE CONTRACTOR SHALL MAINTAIN WORKERS' COMPENSATION INSURANCE IN FULL COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND ANY REQUIREMENTS. INDEMNITY THE OWNER SHALL PROVIDE FIRE AND WORKERS' COMPENSATION BY HIS OWN INSURANCE. THE GENERAL CONTRACTOR AND FINANCIAL CONTRACTOR SHALL BE WAIVER AS ADDITIONAL INSURANCE AS REQUIRED BY THE INSURANCE POLICY.</p> <p>21. ALL NEW WORK SHALL BE DONE WITH STANDARDS OF THE CALIFORNIA PROJECT SAFETY SYSTEMS COMPLIANCE TO QUALITY CERTIFICATE OF COMPLIANCE TO OWNER.</p> <p>22. CONTRACTOR IS TO PROVIDE (1) THREE COPIES OF SHOP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND PEX/PEX AND ALL MECHANICAL AND ELECTRICAL LAYOUTS AND DETAILS FOR ARCHITECT'S APPROVAL.</p> <p>23. SUBMITTALS, REVIEWS OR COMMENTS THAT ARE REQUIRED ONLY IF NEW ITEMS ARE SUBMITTED TO THE ARCHITECT AS A TRACED PRIMARY IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN WRITING. ALL SUBMITTALS MUST BE AT LEAST 10 DAYS BEFORE THE DATE OF CONSTRUCTION. THE CONTRACTOR IS LIABLE FOR REPAIRS, REPAIRS AND DELAYS CAUSED BY ANY WORKMANSHIP OR MATERIALS. THE CONTRACTOR SHALL MAINTAIN WORKERS' COMPENSATION INSURANCE IN FULL COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND ANY REQUIREMENTS. INDEMNITY THE OWNER SHALL PROVIDE FIRE AND WORKERS' COMPENSATION BY HIS OWN INSURANCE. THE GENERAL CONTRACTOR AND FINANCIAL CONTRACTOR SHALL BE WAIVER AS ADDITIONAL INSURANCE AS REQUIRED BY THE INSURANCE POLICY.</p> <p>24. CATALOGS OF ALL LIGHT FIXTURES, ACCESSORIES AND EQUIPMENT REQUIRED SHALL BE SUBMITTED IN PRELIMINARY TO THE ARCHITECT FOR APPROVAL.</p> <p>25. TAKE PRECAUTION TO PROVIDE NECESSARY SAFETY MEASURES DURING THE COURSE OF CONSTRUCTION. IF AT ANY TIME THE SAFETY OF THE ADJACENT STRUCTURE OR PERSONNEL WOULD APPEAR TO BE ENDANGERED, STOP CONSTRUCTION AND NOTIFY OWNER. DO NOT REMOVE PROTECTION UNTIL SAFE CONDITIONS HAVE BEEN ESTABLISHED AND PERMISSION BY THE OWNER HAS BEEN GRANTED TO RESUME OPERATION.</p> <p>26. ALL ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.</p> <p>27. ALL ADAPTIVE DISCREPANCIES ARE CONSIDERED A PART OF THIS DOCUMENT.</p> <p>28. REFER TO ADDITIONAL GENERAL AND SPECIFIC NOTES CONTAINED IN THE VARIOUS CONSULTANT SECTIONS OF THESE DOCUMENTS.</p> <p>29. CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL FOR LOCATING SPACES, CONSTRUCTION SCHED, BUILDING MATERIALS STORAGE AND EQUIPMENT ON SITE.</p>	<p>A-1 PROJECT INFORMATION AND SHEET INDEX</p> <p>A-2 EXISTING SITE PLAN</p> <p>A-3 EXISTING ENLARGED SITE PLAN</p> <p>A-4 EXISTING FLOOR PLANS</p> <p>A-5 PROPOSED BASEMENT FLOOR PLAN</p> <p>A-6 PROPOSED GROUND LEVEL FLOOR PLAN</p> <p>A-7 PROPOSED UPPER LEVEL FLOOR PLAN</p> <p>A-8 PROPOSED ROOF PLAN</p> <p>A-9 EXISTING ELEVATIONS</p> <p>A-10 DETAILS</p> <p>A-11 BUILDING SECTION</p> <p>A-12 BUILDING SECTIONS</p> <p>S1.1 STRUCTURAL PLAN, DETAILS AND CALCULATIONS</p> <p>E-1 SITE ELECTRICAL DETAILS</p> <p>E-1.1 SITE ELECTRICAL TRENCH DETAILS</p> <p>E-2 ELECTRICAL PLAN</p> <p>EE-1 SYMBOLS AND DETAILS</p> <p>EE-2 BUILDING 4 COMPLIANCE FORMS AND SCHEDULES</p> <p>EE-3 BUILDING 4 LIGHTING PLAN</p> <p>EE-4 BUILDING 4 POWER PLAN</p> <p>EE-5 BUILDING 4 ROOF PLAN</p> <p>EE-6 BUILDING 4 ELECTRICAL DETAILS</p> <p>P1.0 PLUMBING NOTES</p> <p>P2.0 PLUMBING BASEMENT PLAN</p> <p>P2.1 PLUMBING GROUND FLOOR PLAN</p> <p>P2.2 PLUMBING UPPER FLOOR PLAN</p> <p>P2.3 PLUMBING ROOF PLAN</p> <p>P2.4 DETAILS</p> <p>P2.5 PLUMBING ISOMETRIC DIAGRAMS</p> <p>M1.0 MECHANICAL NOTES</p> <p>M1.1 MECHANICAL EQUIPMENT SCHEDULES</p> <p>M1.2 MECHANICAL EQUIPMENT DIAGRAMS</p> <p>M1.3 MECHANICAL EQUIPMENT DETAILS</p> <p>M2.0 MECHANICAL BASEMENT PLAN</p> <p>M2.1 MECHANICAL GROUND FLOOR PLAN</p> <p>M2.2 MECHANICAL UPPER FLOOR PLAN</p> <p>M2.3 MECHANICAL ROOF PLAN</p>	<p>DESIGN CONSULTANTS:</p> <p>EVERETT WOODY AND GIL GARCIA 122 E. ARRELLAGA STREET SANTA BARBARA, CA 93101 (805) 452-2094</p> <p>GEOTECHNICAL ENGINEER:</p> <p>MARK WORMAN WORMAN ENGINEERING P.O. BOX 391, OJAI, CA 93024 (805) 302-9361</p> <p>STRUCTURAL ENGINEER:</p> <p>JOHN DELTMAN 3025 LONG VALLEY ROAD SANTA TIEZ CA 93460 (805) 686-6677</p> <p>ELECTRICAL ENGINEER:</p> <p>JOHN MELODY 56 WEST ALAMAR AVENUE, SUITE B SANTA BARBARA CA 93105 (805) 569-9216</p> <p>PLUMBING ENGINEER:</p> <p>JOHN GRINDS, A G MECHANICAL ENGINEERS 624 STATE STREET SANTA BARBARA CA 93101 (805) 966-0844</p> <p>MECHANICAL ENGINEER:</p> <p>HAYNE ADAMS, A G MECHANICAL ENGINEERS 624 STATE STREET SANTA BARBARA CA 93101 (805) 966-0844</p> <p>GENERAL CONTRACTOR:</p> <p>N.M. CONSTRUCTION NATE WHITSON 3278 BREAKER DRIVE, VENTURA, CA, 93003 (805) 479-7905</p>	<p>OWNER:</p> <p>BILLIWHACK RANCH, LLC 3048 N COOLIDGE AVENUE LOS ANGELES, CA 90039 PHONE 213-308-0015</p> <p>APN: 064-0-130-125 AND 064-0-130-145 ZONE: AE-40 SITE AREA: 98 ACRES GENERAL PLAN DESIGNATION: YES HIGH FIRE AREA: YES MAXIMUM BUILDING HEIGHT: 35'-0" PRINCIPAL 25'-0" OTHERS FRONT YARD SETBACK: 20'-0" FROM PROPERTY LINE REAR YARD SETBACK: 15'-0" SIDE YARD SETBACK: 10'-0"</p> <p>BUILDING TYPE: R-3 CONSTRUCTION TYPE: TYPE V-NON ROOF TYPE: CLASS 'A' BUILDING HEIGHT: 40'-0" ABOVE EXISTING GRADE BUILDING SQUARE FOOTAGE: UNLIMITED</p> <p>THIS PROJECT WILL COMPLY WITH:</p> <p>IBC 2016 CBC 2016 CALIFORNIA RESIDENTIAL CODE CBC 2016 CALIFORNIA HISTORICAL BUILDING CODE CBC 2016 CALIFORNIA EXISTING BUILDING CODE CGSBC GREEN CODE CALIFORNIA ENERGY CODE 2013 CFC 2016 CFC 2016 CFC 2016 CFC 2016</p>
		<p>BUILDING DENSITY CALCULATIONS</p> <p>TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES BUILDING AREA 55,683/SITE AREA 4,257,328 - 1.3% LESS THAN 5% ALLOWED</p>	<p>FINISHES</p> <p>ALL FINISH COLORS AND MATERIALS TO MATCH EXISTING.</p>
		<p>SITE STATISTICS</p> <p>TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS AREA UNDER COVER 3,549,700 SQUARE FOOT GROSS OR 82.50 ACRES TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES</p>	<p>SCOPE OF WORK</p> <p>1. BUILDING 4 INTERIOR REMODEL OF AN EXISTING 17,939 SQUARE FOOT FIVE (5) BEDROOM FOUR (4) BATH AND THREE (3) HALF BATH MAIN RESIDENCE YEAR BUILT CIRCA 1926</p> <p>2. ALL SUPPLY AND WASTE PLUMBING SHALL BE REPLACED.</p> <p>3. RADIANT FLOOR HEATING ON GROUND AND UPPER LEVEL FLOOR.</p> <p>4. HEAT RECOVERY HVAC SYSTEM.</p> <p>5. NEW CLASS 'A' ROOF THE EXISTING CONCRETE ROOF UNDER SEPARATE PERMIT.</p> <p>6. NEW ELECTRICAL SERVICE, LIGHTING, RECEPTACLES.</p> <p>7. STRUCTURAL DETAILS AND CALCULATIONS FOR NEW OPENINGS IN CONCRETE WALLS.</p>
		<p>EXISTING BUILDING FLOOR AREAS</p> <p>STORAGE AND MAINTENANCE BUILDING (1A) 10,914 SQUARE FEET GROSS GUEST HOUSE BUILDING (1B) 2,352 SQUARE FEET GROSS BEE KEEPER BUILDING (1) 5,341 SQUARE FOOT GROSS CARETAKER DWELLING BUILDING (2) 4,564 SQUARE FOOT GROSS EQUIPMENT STORAGE BUILDING (3) 4,564 SQUARE FOOT GROSS TWO STORY MAIN RESIDENCE (4) 17,939 SQUARE FOOT GROSS RANCH MAINTENANCE BUILDING (5) 9,350 SQUARE FOOT GROSS RANCH EQUIPMENT STORAGE BUILDING (6) 5,341 SQUARE FOOT GROSS CARETAKER DWELLING (12) 2,646 SQUARE FOOT GROSS HAYMEYER MILL BARN 3,550 SQUARE FOOT GROSS THREE GRAIN SILOS TOTAL 1,600 SQUARE FOOT GROSS TOTAL 68,223 SQUARE FOOT GROSS</p>	<p>VICINITY MAP</p>





GENERAL NOTES

KEY NOTES

SITE PLAN

A-2

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2215 ALISO CANYON ROAD
SANTA PAULA, CA 93360
BILLIWHACK RANCH FAMILY RESIDENCE

NO.	REVISION	DATE



Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

ENLARGED SITE PLAN

KEY NOTES

GENERAL CONTRACTOR:

N.M. CONSTRUCTION
NATE WHITSON
3279 BREAKER DRIVE, VENTURA, CA. 93003
805 479 7905

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7345 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED

SITE STATISTICS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS
AREA UNDER CROP 3,549,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7346 ACRES

ALISO CANYON ROAD

GENERAL NOTES

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2399

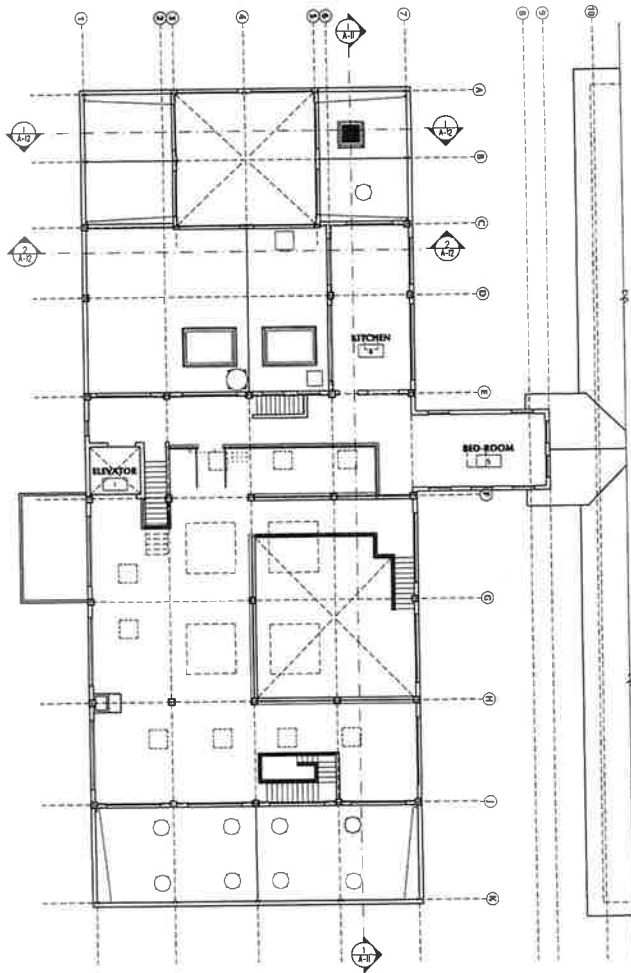
NO.	REVISION

BILLWICK RANCH
122 E. ARRELAGA STREET
SANTA BARBARA, CA 93101
BILLWICK RANCH FAMILY RESIDENCE

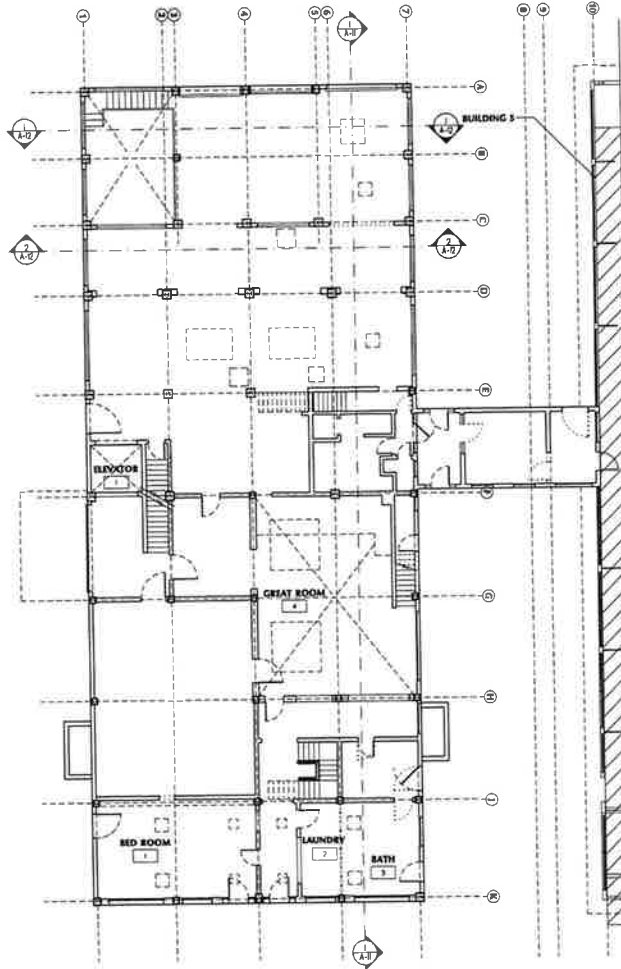
SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

DATE	BY	CHKD

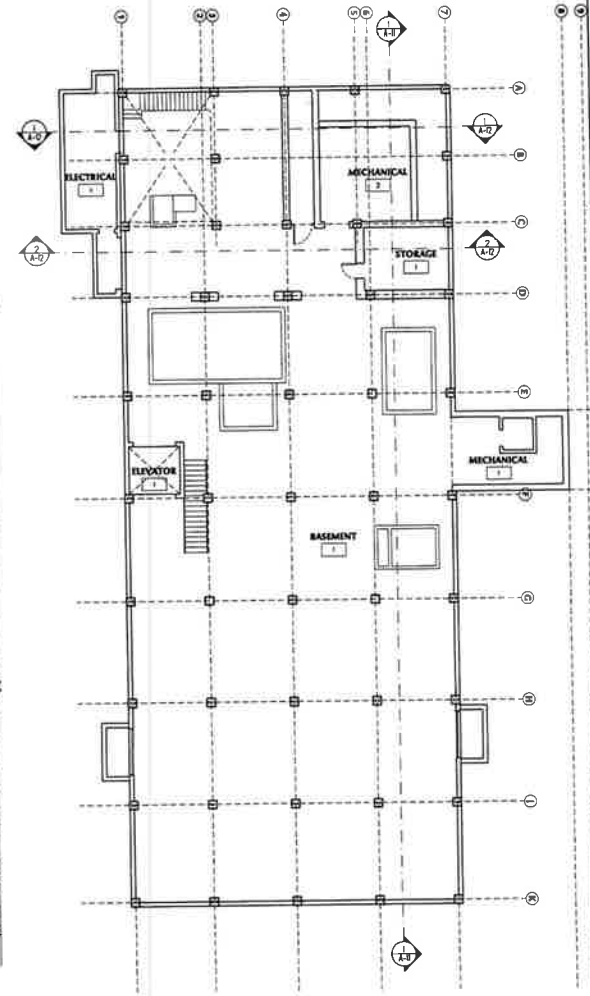
A-3



2ND LEVEL FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



BASEMENT FLOOR PLAN BUILDING 4

GENERAL NOTES

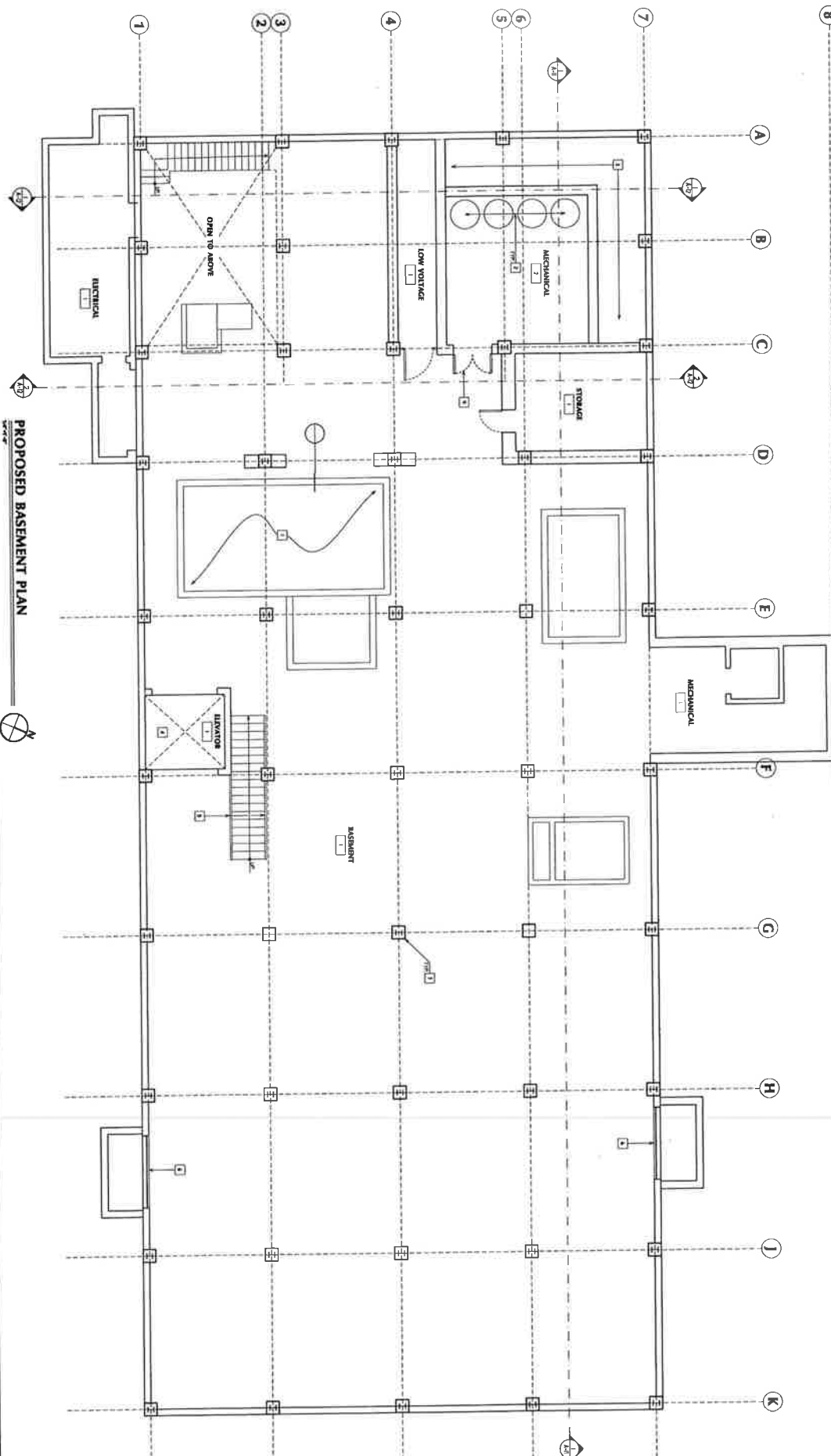
KEY NOTES

KEY NOTES

1. EXISTING CONCRETE FOUNDATION SHALL BE CONCRETE TO A MINIMUM OF 12" THICK.
2. ALL EXISTING WALLS TO REMAIN SHALL BE CONCRETE TO A MINIMUM OF 12" THICK.
3. ALL EXISTING FLOORING SHALL BE REMOVED AND FLOORING SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
4. ALL EXISTING ROOFING SHALL BE REMOVED AND ROOFING SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
5. ALL EXISTING MECHANICAL EQUIPMENT SHALL BE REMOVED AND MECHANICAL EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
6. ALL EXISTING ELECTRICAL EQUIPMENT SHALL BE REMOVED AND ELECTRICAL EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
7. ALL EXISTING PLUMBING EQUIPMENT SHALL BE REMOVED AND PLUMBING EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
8. ALL EXISTING HVAC EQUIPMENT SHALL BE REMOVED AND HVAC EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
9. ALL EXISTING STRUCTURAL EQUIPMENT SHALL BE REMOVED AND STRUCTURAL EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
10. ALL EXISTING OTHER EQUIPMENT SHALL BE REMOVED AND OTHER EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.

GENERAL NOTES

1. ALL WORK NOT SHOWN TO BE DONE BY THE CONTRACTOR SHALL BE DONE BY THE OWNER.
2. ALL EXISTING STRUCTURAL MEMBERS SHALL BE REINFORCED WITH STEEL.
3. EXISTING WALL TO REMAIN SHALL BE CONCRETE TO A MINIMUM OF 12" THICK.
4. EXISTING FLOOR TO REMAIN SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
5. EXISTING ROOF TO REMAIN SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.



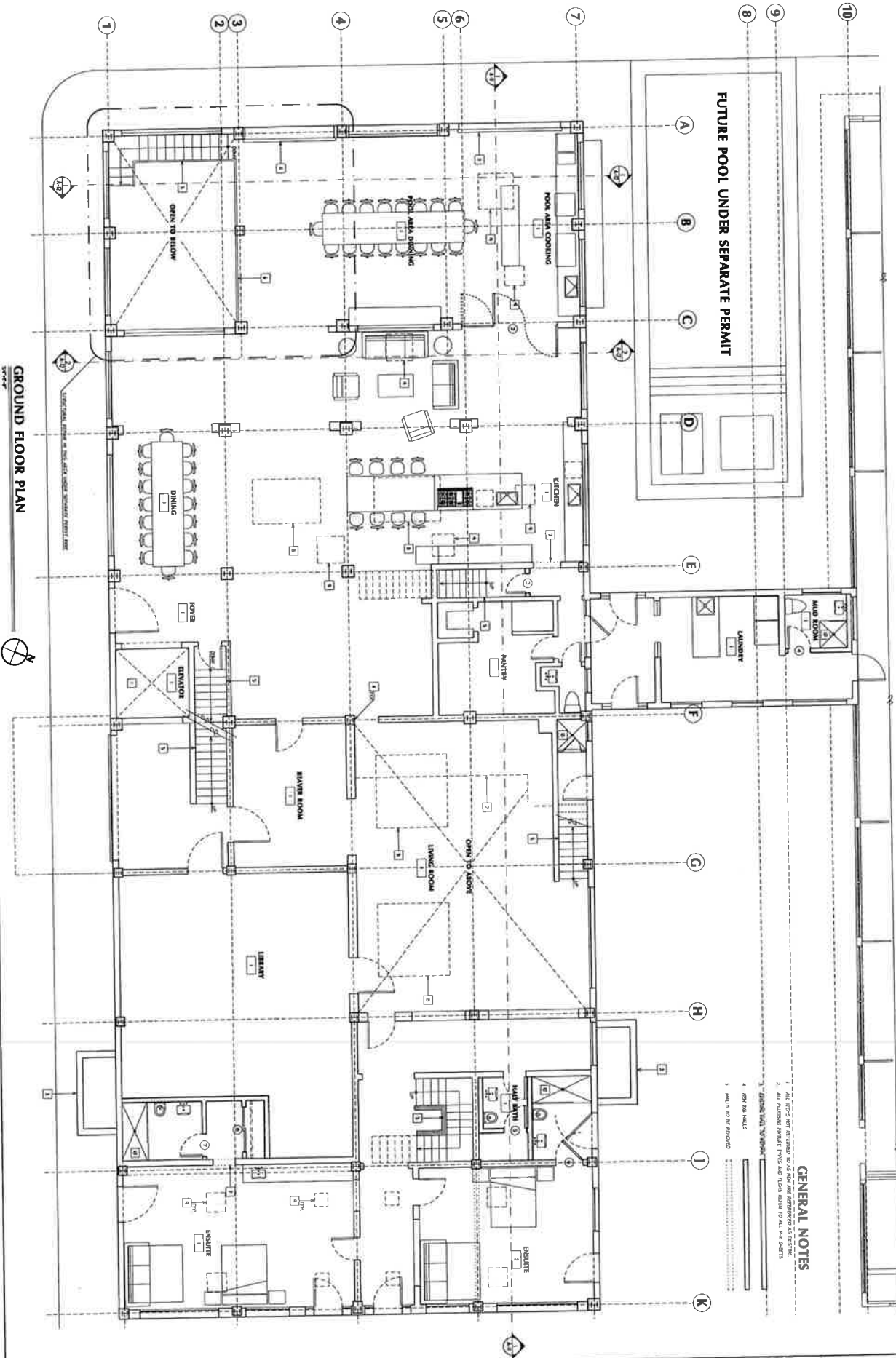
PROPOSED BASEMENT FLOOR PLAN

A-5

PROPOSED
BASEMENT FLOOR PLAN

BILLIWHACK RANCH
2078 ALISO CANYON ROAD
SANTA ANITA, CA 92086
BILLIWHACK RANCH FAMILY RESIDENCE

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2899



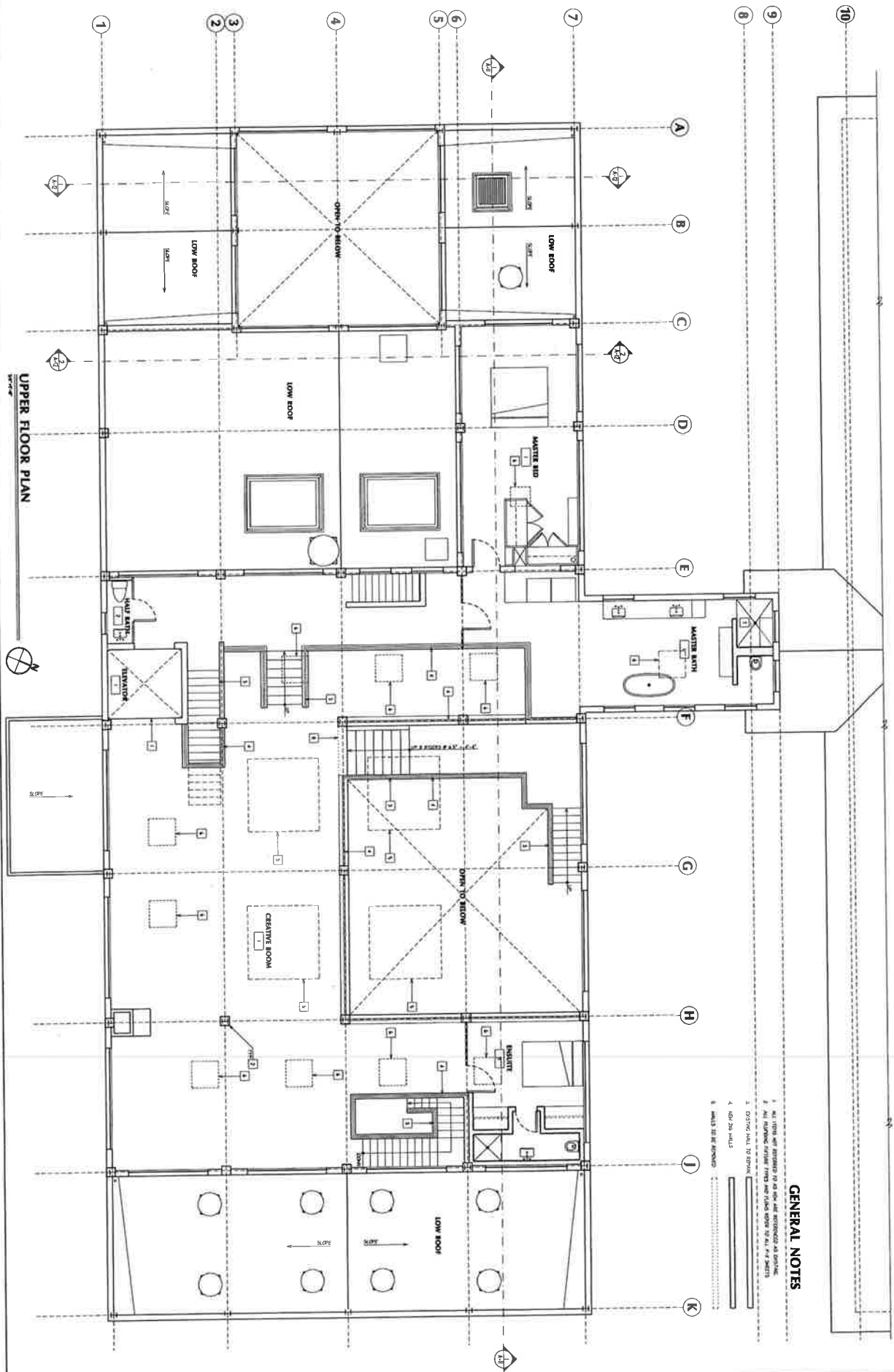
GROUND FLOOR PLAN

KEY NOTES

1. FUTURE POOL UNDER SEPARATE PERMIT
2. FUTURE POOL UNDER SEPARATE PERMIT
3. FUTURE POOL UNDER SEPARATE PERMIT
4. FUTURE POOL UNDER SEPARATE PERMIT
5. FUTURE POOL UNDER SEPARATE PERMIT
6. FUTURE POOL UNDER SEPARATE PERMIT
7. FUTURE POOL UNDER SEPARATE PERMIT
8. FUTURE POOL UNDER SEPARATE PERMIT
9. FUTURE POOL UNDER SEPARATE PERMIT
10. FUTURE POOL UNDER SEPARATE PERMIT

GENERAL NOTES

1. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
2. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
3. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
4. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
5. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
6. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
7. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
8. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
9. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.
10. ALL NOTES ARE REFERENCED TO THE PLAN AND NOT TO THE ELEVATION.



UPPER FLOOR PLAN

GENERAL NOTES

1. PREPARE ELEVATION SHOW DAY FOR RESTORATION.
2. CONCRETE FOUNDATION.
3. CONCRETE FLOORING.
4. STEEL, WOOD, BRICK, TILE, ETC.
5. SCHEDULES, ETC.
6. SEE ARCHITECT'S NOTES.
7. SEE ARCHITECT'S NOTES.
8. SEE ARCHITECT'S NOTES.
9. SEE ARCHITECT'S NOTES.
10. SEE ARCHITECT'S NOTES.

KEY NOTES

-
-

A-7

SHEET CONTENTS
PROPOSED
UPPER FLOOR PLAN

BILLIWHACK RANCH
2725 ALBERT CANYON ROAD
SANTA PAULA, CA 93090
BILLIWHACK RANCH FAMILY RESIDENCE

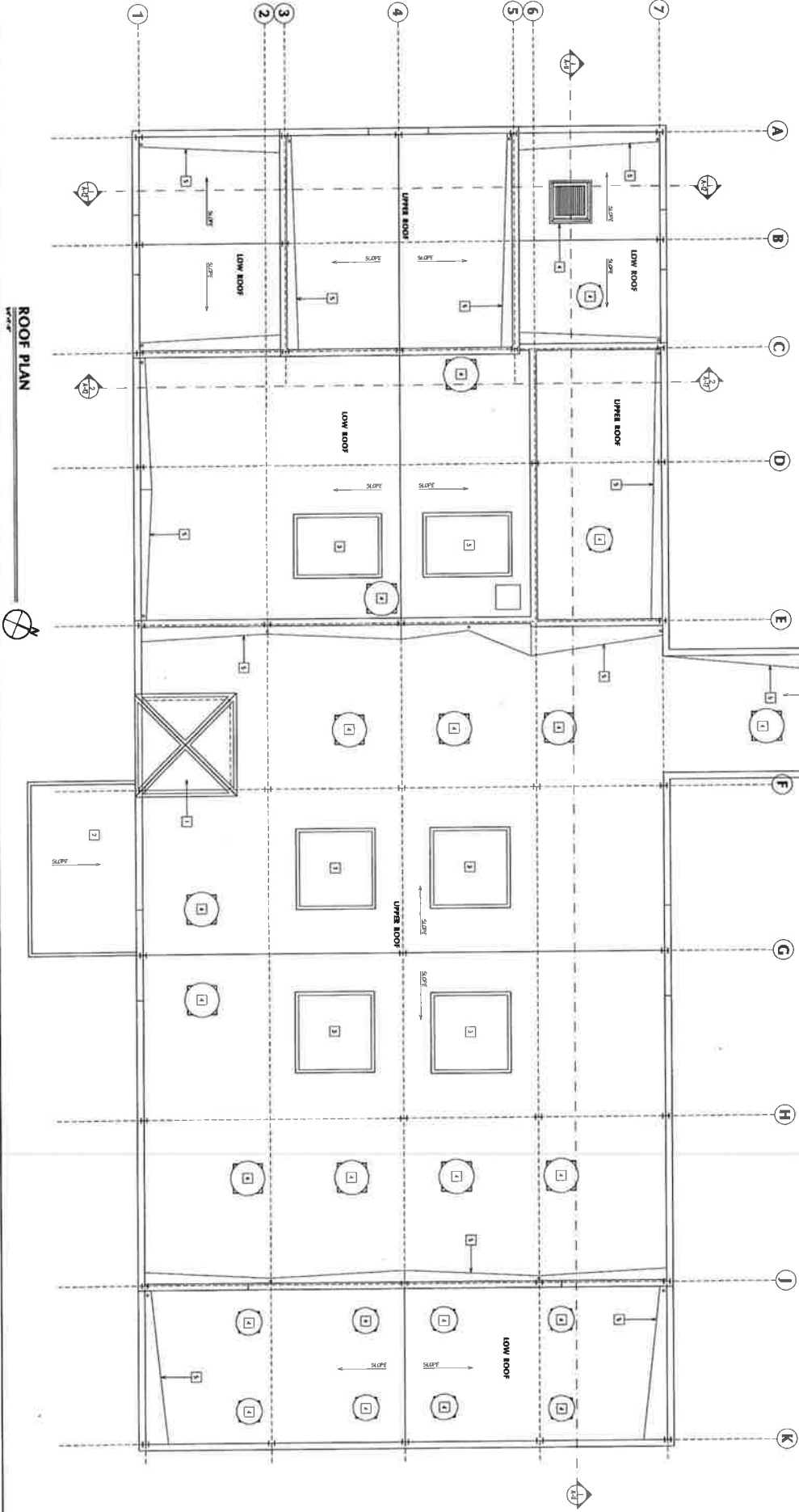
NO.	REVISION	DATE

NCARB



Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2599

ROOF PLAN



GENERAL NOTES

1. ALL ITEMS ARE SHOWN TO BE NEW AND REMOVED AS EXISTING.
2. ALL EXISTING ROOFING, FLASHING, AND DRAINAGE TO REMAIN.
3. DRAINAGE: SEE DETAIL.
4. SEE DETAIL FOR ROOFING.
5. SEE DETAIL FOR ROOFING.
6. SEE DETAIL FOR ROOFING.
7. SEE DETAIL FOR ROOFING.
8. SEE DETAIL FOR ROOFING.
9. SEE DETAIL FOR ROOFING.
10. SEE DETAIL FOR ROOFING.

KEY NOTES

- 1. EXISTING ROOFING: SEE DETAIL.
- 2. EXISTING ROOFING: SEE DETAIL.
- 3. EXISTING ROOFING: SEE DETAIL.
- 4. EXISTING ROOFING: SEE DETAIL.
- 5. EXISTING ROOFING: SEE DETAIL.
- 6. EXISTING ROOFING: SEE DETAIL.
- 7. EXISTING ROOFING: SEE DETAIL.
- 8. EXISTING ROOFING: SEE DETAIL.
- 9. EXISTING ROOFING: SEE DETAIL.
- 10. EXISTING ROOFING: SEE DETAIL.

SHEET CONTENTS
PROPOSED ROOF PLAN

BILLIHACK RANCH
2075 ALISO CANYON ROAD
SANTA PAULA, CA 93090
BILLIHACK RANCH FAMILY RESIDENCE

A-8

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999

NCARB

Architectural License

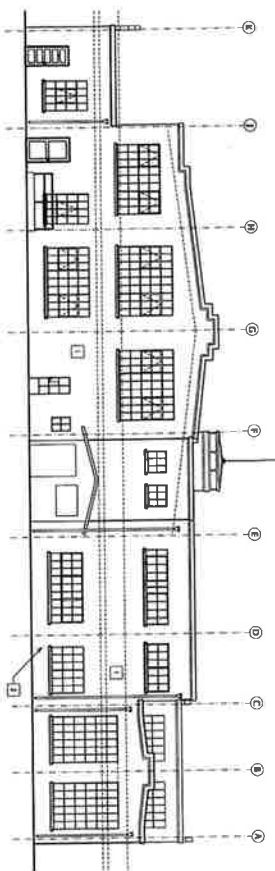
NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

KEY NOTES

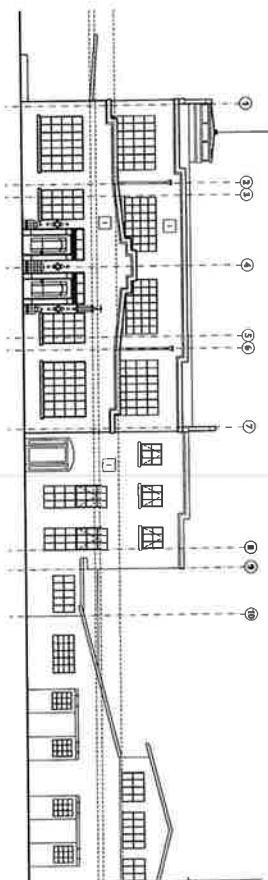
- 1. REMOVE AND REINSTATE EXISTING MATERIALS, EXCEPT FOR ELECTRICAL, MECHANICAL AND PIPING, AND REPAIR TO MATCH EXISTING.
- 2. DEMOLITION SHALL BE DONE IN ACCORDANCE WITH LOCAL ORDINANCES.

3. ALL NOTES ARE SUBJECT TO THE SPECIFICATIONS AND CONDITIONS.

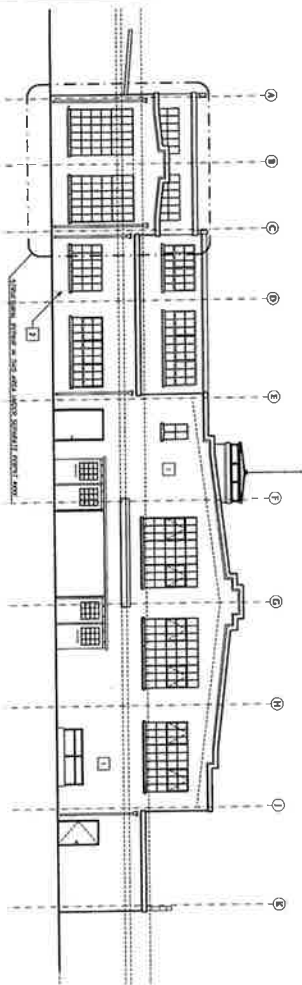
GENERAL NOTES



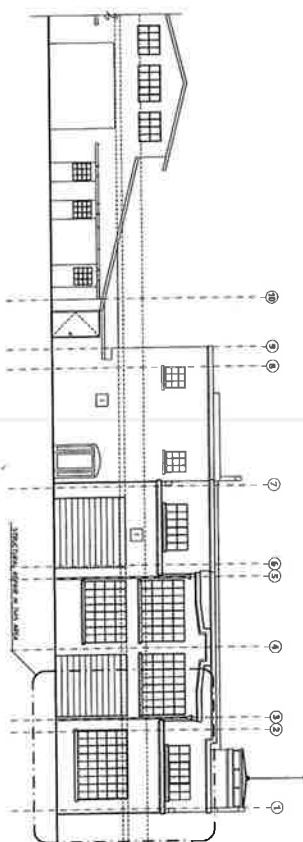
2 EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



3 WEST ELEVATION
SCALE 1/8" = 1'-0"

SHEET CONTENTS
BUILDING 4
EXISTING ELEVATIONS

BILLWACK RANCH
2075 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWACK RANCH FAMILY RESIDENCE



Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999

A-9

Exhibit 5

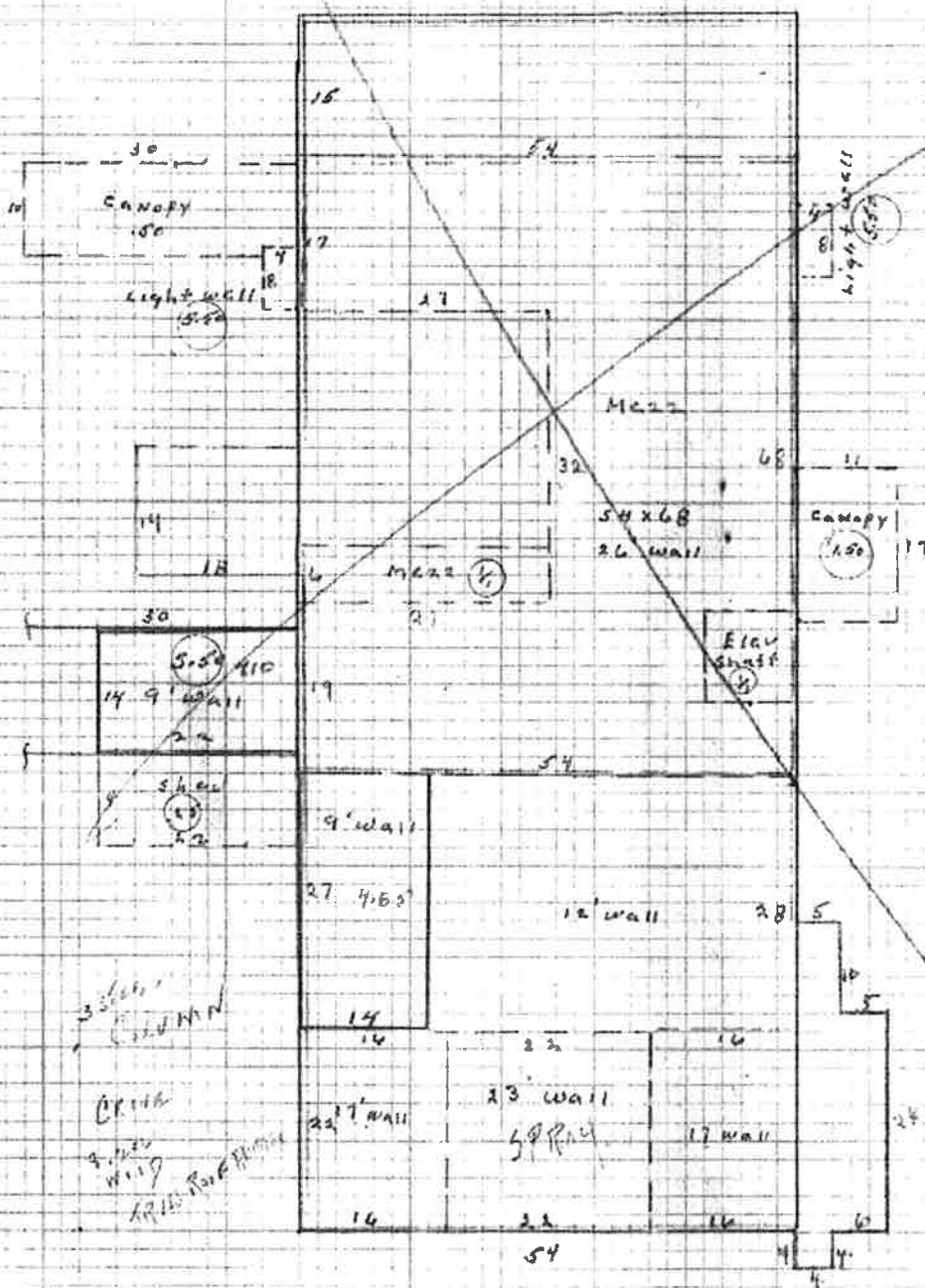
ME Houston*earless, DIV OF 0000 of America Inc. IT 1b BLK CODE 83-04 ADDRESS Willoughby Road										PARCEL 100-100-100 SHEET 61 OF 79 SHEETS									
B. A. Saticoy (Aliso Tract Sub B) MAP 3A										DESCRIPTION OF BUILDING									
CONSTRUCTION RECORD										ROOM AND FINISH DETAIL									
EFFECT. APPR. NORMAL % GOOD YEAR YEAR Age Remaining Life Table % Cond Arch. Func. Plan Can- form Storage-space Work- 1926 24 1946 30 30 0840 78 G G G G										BATH & LAVATORY DETAIL									
SPECIAL FEATURES										REFRIGERATION:									

Building 4 Main Residence

LOT _____ NAME _____
 BLK. _____
 MAP _____

12' Wall Area @ 6.50
 26' " " @ 20.00
 17' " " @ 7.25
 17' L.C.S.S. Plot 6.35
 23' Wall 1.20
 Mc 22 5.00

Shed Area 6x30 @ 1.80



Dist. 2.00

FRONT

RESIDENTIAL BUILDING RECORD

H2 Farm Worker Dwelling

ADDRESS ALISO CYN RD.

ZIP CODE

PARCEL 01A 0-130 075

SHEET 3 OF 8 SHEET

DESCRIPTION OF BUILDING

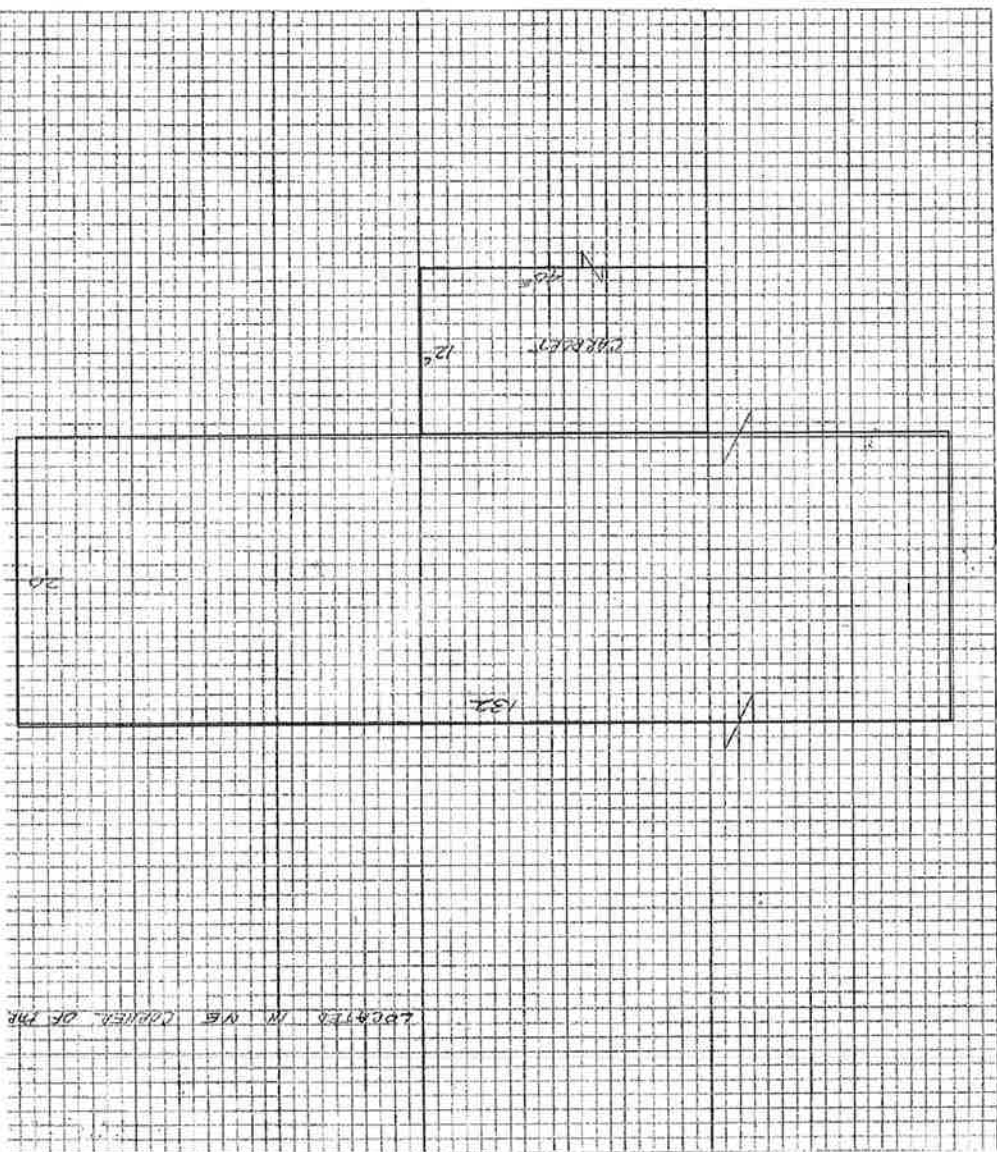
CLASS	SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND INTERIOR FINISH DETAIL									
S 6 A	ARCHITECTURE	Light	X Frame	X Stucco on CM	Flat 4 Pitch	Wiring	Fireplace	Caelling	Rooms	Floors	Floor Finish	Trim	Walls	Ceilings			
		Sub-Standard	" " "	" " "	X Gable 1/2 H	K.T.	Cardon	Forced	Ceiling	B	2	1/2 On	Grade	Pl	St		
		Standard	Sheathing	Siding	" " "	Hip 1/2	B.T.	X Cable	Central	Plumid	All	X					
		Adore-Standard	Concrete Block		Shed 1/2	Fixtures	Granit										
1	Stories	Special	B & B	T & G	Cut Up	Few	Cheap	X Well Unit									
Use	Design	FOUNDATION	Adobe	Shake	Dormers	X Avg	X Med	Floor Unit	Ent. Hall	2							
Single	X Concrete	X Floor Joist	2x6	7x6	Gutters			Thermostat	Dining								
Double	X Reinforced	2x4	" " "	Brick	Shingle	Pert	Shu	Spns	Family								
Duplex	Brick	Sub-Floor	Stone	Shake				Oil Burner	Bed	5							
Apartment	Wood	Concrete Floor	WINDOWS	X Tile	Sink				Bed								
Flat-Court	Piers	Insulated Ceilings	X Metal Sash	Tile Trim	X Laundry			M-O.T.U.	Kitchen	2							
Hotel		Insulated Walls	X Screens	Compo	X Water Htr-Auto												
Units	Light	Heavy			Compo Shingle				Drain Board	Feet	Splash	Inches					

CONSTRUCTION RECORD

Permit	Amount	Date	EFFEC. YEAR	APPR. YEAR	NORMAL	% GOOD	RATING (E, G, A, F, P)	BATH DETAIL										
No.	For		1960	1974	Age	Remain Life	Table	%	Cond.	Arch. Func.	Con- form	Storage Space	Work- minshp	Fl. No.	Finish	Fixtures	Shower	
					14	36	2-50	78	A4	A	A			1	2	X	X	1

COMPUTATION

Appraiser & Date	Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
Res.		2640	13.75	36300												
CARPORT		480	1.50	720												
P /																
P /																
A.C.																
F.P.																
Gar.																
F.W.																
USED CUSTOM SFR COST TABLES																
TOTAL				37020												
NORMAL % GOOD				78												
R.C.L.N.D				28880												



LOCATED IN NW CORNER OF THE

REMARKS: NO ENTRY. APPEARS TO HAVE BEEN
 EXCAVATED. EST. ERECTED YR. AS 1982.
 POSSIBLY A DUPLEX OR TRIPLEX. 11-15-73

MISCELLANEOUS STRUCTURES

Structure	Found.	Cons.	Ext.	Roof	Floor	Int.	Size, etc.
Garage							
I. W.							

Garage	Post	Shed	Shed	Shed	Shed	Shed	Shed	Shed	Shed

COMPUTATIONS

132 x 20 = 2640

Garage 40 x 12 = 480

H1 Guest House

ADDRESS 2275 ALISO CYN RD

ZIP
CODE 92060

PARCEL 064-0-130-275
SHEET 2 OF 8 SHEET

DOF	LIGHTING	AIR CON
-----	----------	---------

[illegible]

COMPUTATION

[illegible]

145

PARCEL 064-0-130-095

SHEET 4 OF 8 SHEETS

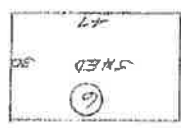
DESCRIPTION OF BUILDINGS

* BLUE #4 ESTIMATED TO BE REMOVED. COW SHEDS IN INTERIOR YARD ARE OF NO VALUE. SILOS BEHIND SHEDS ARE OF NO VALUE. SEE CANCELLED SHEETS.

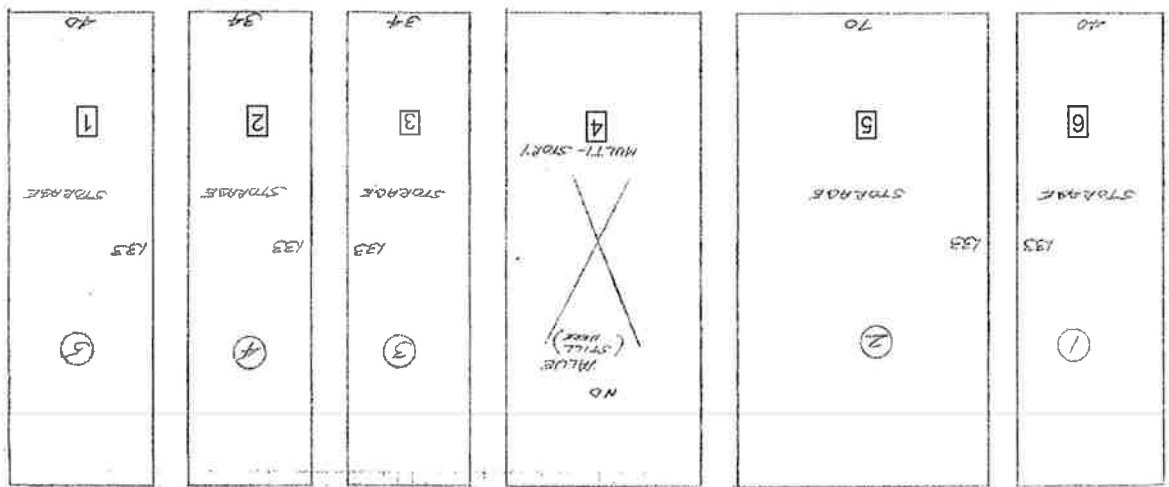
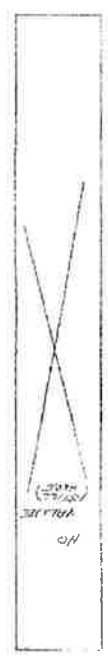
COMPUTATION

[illegible]

3 SILOS HERE ON HILLSIDE (N.Y.)



LOW SHEDS HERE (N.Y.)



1/4 Scale
RES. HERE

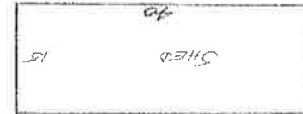
145

PARCEL 04A-0-130-095

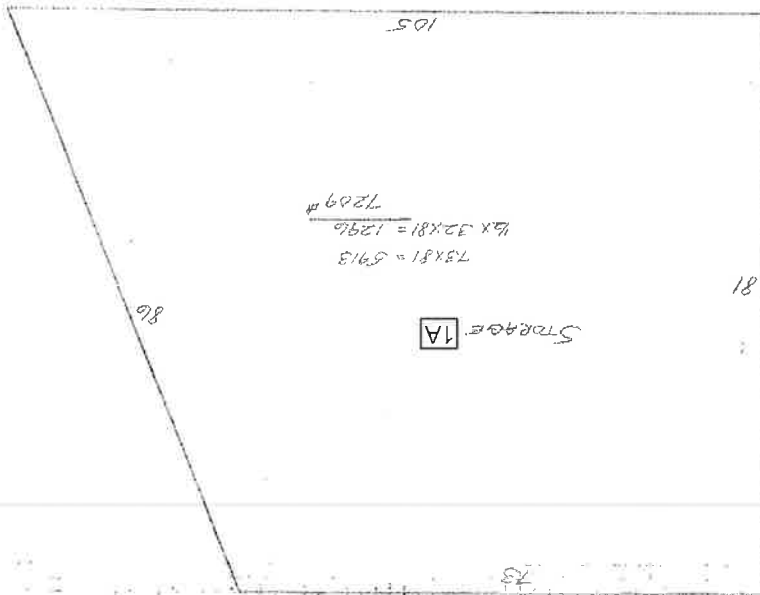
SHEET 5 OF 8 SHEETS

[illegible][illegible]

LOCATED IN ORDNANCE



THIS IS 1ST BLDG ON RIGHT
ALONG ENTRY ROAD



SEE CANCELLED RECORDS.
LARGE 2-STORY BLDG HERE
IN VERY POOR COND. - NO VALUE

PARGEL 064-0-150 = 045
145
SHEET 1 OF 1 SHEETS

ADDRESS: Willoughby Road

DESCRIPTION OF BUILDING

[illegible]

CONSTRUCTION RECORD				EFFECT.		APPR.				NORMAL % GOOD				RATING (E,G,A,F,P)							BATH & LAVATORY DETAIL									
Permit		Amount	Date	YEAR	YEAR	Age	Remain- ing Life	Table	%	Cond.	Arch. Attn.	Func. Plan	Con- form	Storage Space	Inter- ior Class	Work- manship	Fl.	No.	FINISH			FIXTURES				SHOWER				
	For																		Floors	Walls	Wc.	La.	Tub	Sh.	Type	Grade	Sh.	Attn.	Finish	
					1954			88%		F	A	A				A														
																	SPECIAL FEATURES													
																	Refrigeration.					Built-in beds:								
																	Elevators:													
																	Sprinklers:													

146-185

COMPUTATION

Raised Milker's Dormitory and Hotel

Exhibit 6

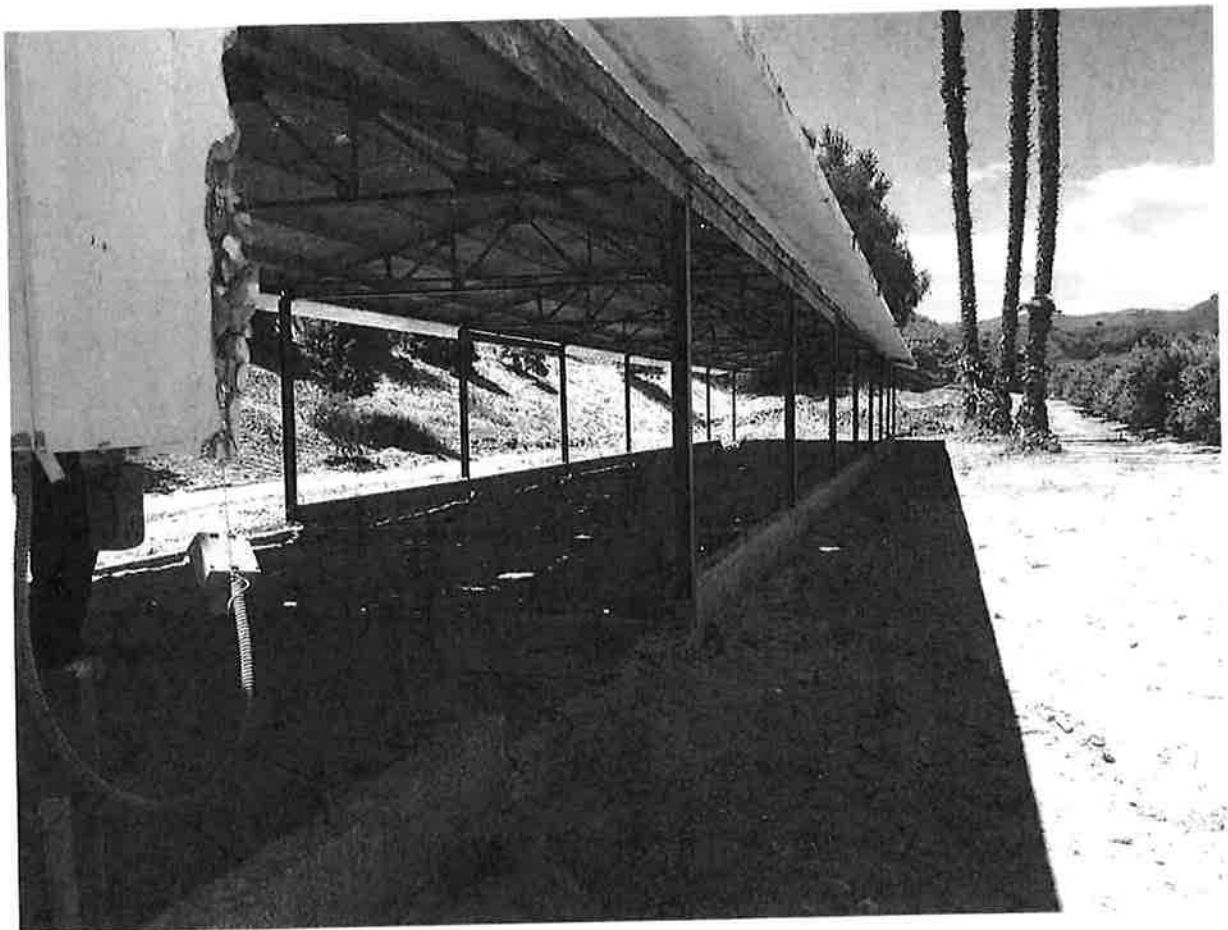


Exhibit 7



Building 4 West Elevation



800 South Victoria Avenue, Ventura, CA 93009 • 805 654-2488 • www.vcrma.org/divisions/planning

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 17 - Applicant's Planning

Is the appellant a party in the application?
"aggrieved person."

. If not, state the basis for filing the appeal as an

Signature of Appellant

Date

Appeal and deposit fee of \$_____ (pursuant to fee schedule specified by Resolution No. 222
of the Ventura County Board of Supervisors) received by the Planning Division at _____(time) on
_____, 20_____.

Dave Ward, AICP
Director- Planning Division

By _____

CHAPTER 8-1

ADMINISTRATION

Note: The *California Historical Building Code*, Part 8 of Title 24, governs for all qualified historical buildings or properties in the State of California.

SECTION 8-101 TITLE, PURPOSE AND INTENT

8-101.1 Title. These regulations shall be known as the *California Historical Building Code* and will be referred to herein as “the CHBC.”

8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or reconstruction of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users. The CHBC requires enforcing agencies to accept solutions that are reasonably equivalent to the regular code (as defined in Chapter 8-2) when dealing with qualified historical buildings or properties.

8-101.3 Intent. The intent of the CHBC is to facilitate the preservation and continuing use of qualified historical buildings or properties while providing reasonable safety for the building occupants and access for persons with disabilities.

SECTION 8-102 APPLICATION

8-102.1 Application. The CHBC is applicable to all issues regarding code compliance for qualified historical buildings or properties. The CHBC may be used in conjunction with the regular code to provide solutions to facilitate the preservation of qualified historical buildings or properties. The CHBC shall be used by any agency with jurisdiction and whenever compliance with the code is required for qualified historical buildings or properties.

1. The state or local enforcing agency shall apply the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, reconstruction, rehabilitation, relocation or continued use of a qualified historical building or property when so elected by the private property owner.
2. **State agencies.** All state agencies shall apply the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, rehabilitation, safety, relocation, reconstruction or continued use of qualified historical buildings or properties.

8-102.1.1 Additions, alterations and repairs. It is the intent of the CHBC to allow nonhistorical expansion or addition to a qualified historical building or property, pro-

vided nonhistorical additions shall conform to the requirements of the regular code. See Chapter 8-2.

8-102.1.2 Relocation. Relocated qualified historical buildings or properties shall be sited to comply with the regular code or with the solutions listed in the CHBC. Nonhistorical new construction related to relocation shall comply with the regular code. Reconstruction and restoration related to relocation is permitted to comply with the provisions in the CHBC.

8-102.1.3 Change of occupancy. For change of use or occupancy, see Chapter 8-3, Use and Occupancy.

8-102.1.4 Continued use. Qualified historical buildings or properties may have their existing use or occupancy continued if such use or occupancy conformed to the code or to the standards of construction in effect at the time of construction, and such use or occupancy does not constitute a distinct hazard to life safety as defined in the CHBC.

8-102.1.5 Unsafe buildings or properties. When a qualified historical building or property is determined to be unsafe as defined in the regular code, the requirements of the CHBC are applicable to the work necessary to correct the unsafe conditions. Work to remediate the buildings or properties need only address the correction of the unsafe conditions, and it shall not be required to bring the entire qualified historical building or property into compliance with regular code.

8-102.1.6 Additional work. Qualified historical buildings or properties shall not be subject to additional work required by the regular code, regulation or ordinance beyond that required to complete the work undertaken. Certain exceptions for accessibility and for distinct hazards exist by mandate and may require specific action, within the parameters of the CHBC.

SECTION 8-103 ORGANIZATION AND ENFORCEMENT

8-103.1 Authority. The state or local enforcing agency, pursuant to authority provided under Section 18954 of the Health and Safety Code, shall administer and enforce the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, reconstruction, rehabilitation, relocation or continued use of a qualified historical building or property.

8-103.2 State enforcement. All state agencies pursuant to authority provided under Section 18954 and Section 18961 of the Health and Safety Code shall administer and enforce the CHBC with respect to qualified historical buildings or properties under their respective jurisdiction.

CHAPTER 8-3

USE AND OCCUPANCY

SECTION 8-301 PURPOSE AND SCOPE

8-301.1 Purpose. The purpose of the CHBC is to provide regulations for the determination of occupancy classifications and conditions of use for qualified historical buildings or properties.

8-301.2 Scope. Every qualified historical building or property for which a permit or approval has been requested shall be classified prior to permit issuance according to its use or the character of its occupancy in accordance with the regular code and applicable provisions of this chapter.

SECTION 8-302 GENERAL

8-302.1 Existing use. The use or character of occupancy of a qualified historical building or property, or portion thereof, shall be permitted to continue in use regardless of any period of time in which it may have remained unoccupied or in other uses, provided such building or property otherwise conforms to all applicable requirements of the CHBC.

8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

8-302.3 Occupancy separations. Required occupancy separations of more than one hour may be reduced to one-hour fire-resistive construction with all openings protected by not less than three-fourths-hour fire-resistive assemblies of the self-closing or automatic-closing type when the building is provided with an automatic sprinkler system throughout the entire building in accordance with Section 8-410.2. Doors equipped with automatic-closing devices shall be of a type which will function upon activation of a device which responds to products of combustion other than heat.

Required occupancy separations of one hour may be omitted when the building is provided with an automatic sprinkler system throughout.

8-302.4 Maximum floor area. Regardless of the use or character of occupancy, the area of a one-story qualified historical building or property may have, but shall not exceed, a floor area of 15,000 square feet (1393.5 m²) unless such an increase is otherwise permitted in regular code. Multistory qualified historical buildings (including basements and cellars) shall be in accordance with regular code requirements.

Exception: Historical buildings may be unlimited in floor area without fire-resistive area separation walls:

1. When provided with an automatic sprinkler, or
2. Residential occupancies of two stories or less when provided with a complete fire alarm and annunciation system and where the exiting system conforms to regular code.

8-302.5 Maximum height. The maximum height and number of stories of a qualified historical building or property shall not be limited because of construction type, provided such height or number of stories does not exceed that of its historical design.

8-302.5.1 High-rise buildings. Occupancies B, F-1, F-2 or S in high-rise buildings with floors located more than 75 feet above the lowest floor level having building access may be permitted with only the stories over 75 feet provided with an automatic fire sprinkler system if:

1. The building construction type and the exits conform to regular code, and
2. A complete building fire alarm and annunciation system is installed, and
3. A fire barrier is provided between the sprinklered and nonsprinklered floors.

8-302.6 Fire-resistive construction. See Chapter 8-4.

8-302.7 Light and ventilation. Existing provisions for light and ventilation which do not, in the opinion of the enforcing agency, constitute a safety hazard may remain. See Section 8-303.6 for residential requirements. See Section 8-503 for Escape or Rescue Windows and Doors.

SECTION 8-303 RESIDENTIAL OCCUPANCIES

8-303.1 Purpose. The purpose of this section is to provide regulations for those buildings designated as qualified historical buildings or properties and classified as residential occupancies. The CHBC requires enforcing agencies to accept any reasonably equivalent alternative to the regular code when dealing with qualified historical buildings and properties.

8-303.2 Intent. The intent of the CHBC is to preserve the integrity of qualified historical buildings and properties while maintaining a reasonable degree of protection of life, health and safety for the occupants.

8-303.3 Application and scope. The provisions of this section shall apply to all qualified historical buildings used for human habitation. Those dwelling units intended only for display, or public use with no residential use involved, need not comply with the requirements of this section.

8-303.4 Fire escapes. See Chapter 8-5.

8-303.5 Room dimensions. Rooms used for sleeping purposes may contain a minimum of 50 square feet (4.6 m²) floor area, provided there is maintained an average ceiling height



STATE HISTORICAL BUILDING SAFETY BOARD

April 2, 2020

Mr. James H. Smith, Esq.
Rogers, Sheffield & Campbell, LLP
152 East Carrillo Street
Santa Barbara, CA 93101

Re: Billiwhack Ranch, Ventura County – Request for Opinion Regarding Qualification
of Historical Property and Structures

Dear Mr. Smith

This letter is in response to your request for an informal opinion regarding qualification of certain buildings on the 100-acre ranch in Ventura County known as the "Billiwhack Ranch."

I have reviewed your request and attachments provided by your letter dated March 19, 2020. Based on the letter and attachments, the Billiwhack Ranch was identified as a Site of Merit in the County's Historical Resources Survey, and the all structures on the ranch were awarded National Register ratings of 3D (appears to be eligible as a contributor to a National Register eligible district). Assuming that all the buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by definition of the California Historical Building Code (CHBC), and therefore eligible for use of the CHBC.

Should you have any questions, please contact Derek Shaw, Executive Director of the State Historical Building Safety Board at (916) 324-7178.

Sincerely,

Alan Dreyfus, Chair
State Historical Building Safety Board

Everett Woody

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Friday, April 03, 2020 3:46 PM
To: Everett Woody
Cc: Thomas, Denise; RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith; Barrera, Ruben; Wright, Winston; Paniagua, Adrian
Subject: Follow up to March 16 2020 meeting -- Billiwhack Ranch: Use of Historic Building Code and Zoning Questions
Attachments: Billiwhack Ranch DPR forms.pdf; NRSC's.pdf

Case Nos. BP-C19001283; ZC-19-1390 and ZC-19-0684

Hello Everett

On March 16, 2020, staff met with you to discuss the Billiwhack Ranch project located at 2275 Aliso Canyon Road in unincorporated Ventura County (case number CV19-0100). During the meeting you wanted Planning Division Staff to advise whether the Historic Building Code may be used for this project and you wanted to know what status or decision is for the application currently under process listed above. We indicated that since your focused interest was on the historic building code, we prioritized that response which concluded this week.

With respect to the Historic Building Code, after research and consultation with the County Counsel, staff finds the Historic Building Code can be used for a portion(s) of this project. Section 18955 of the Historic Building Code states, in pertinent part, "[A] qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or such structures on existing or future national, state, or local historical registers or official inventories, [...] and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks." The Billiwhack Ranch is identified in the Western Santa Clara Survey Phase V, 1995 prepared for the County of Ventura by the San Buenaventura Research Associates (SBRA). The Department of Parks and Recreation form prepared for this property by SBRA identifies the site as eligible for listing as a District on the National Register of Historic Places (National Register Status Code 3D) (See attached Billiwhack Ranch DPR forms).

Additionally, Section 1365-5 (b)(2) of the Ventura County Cultural Heritage Ordinance states, in pertinent part, "For the purposes of this Ordinance, an improvement, natural feature or site may become a designated Cultural Heritage Site if it meets the following criteria: [...] Site of Merit – Satisfy the following criteria: 1) Sites of historical, architectural, community or aesthetic merit which have not been designated as landmarks or points of interest, but which are deserving of special recognition; and 2) County approved survey sites with a National Register status code of 5 or above." The subject site has a National Register status code in a County-approved survey of 3D, whose place in the hierarchy is higher than 5 (see attached NRSC's Document).

With respect to responses on the Zoning Clearances, a letter is being prepared which provides the information you are requesting. The letter will be finalized next week and forwarded to you under separate cover.

Thank you and stay well,

Dave Ward, AICP
Planning Director
dave.ward@ventura.org

Everett Woody

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 03, 2020 4:31 PM
To: Everett Woody
Subject: FW: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

For your information, please see below email exchange.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: James H. Smith
Sent: Friday, April 3, 2020 4:30 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good Afternoon Ms. Porche:

Thank you for your email. For whatever reason, I believe several individuals involved in this matter, certainly not yourself nor Mr. Ward, have had an inexcusable agenda, lack of understanding regarding their role and lack of knowledge regarding the applicable law involved. Moving forward, I believe it would be in everyone's best interests if the County could excuse Amanda Ahrens and Denice Thomas from further involvement in this Project. How those 2 individuals, in the positions they hold with the County, could have so misunderstood the application of the Historical Building Code to this project is an absolute mystery, which cost my client tens of thousands of dollars.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: Porche, Marina [<mailto:Marina.Porche@ventura.org>]
Sent: Friday, April 3, 2020 4:15 PM
To: James H. Smith <james@rogerssheffield.com>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good afternoon Mr. Smith,

Without agreeing with your characterization of the County's course of conduct, I appreciate the additional information that you have set forth in your email. I am copying Principal Assistant County Counsel Jeffrey Barnes and Assistant County Counsel Charmaine Buehner on this reply, because after Mr. Ward asked me to provide a legal opinion during that meeting, County Counsel management determined that others within the County Counsel Office could more appropriately respond to Mr. Ward's request. Mr. Barnes and Ms. Buehner are involved with that effort. I want to provide Mr. Barnes and Ms. Buehner with the benefit of the information that you have presented in your email, and I defer to them to determine who should further respond to your email.

Regards,

Marina Porche
Assistant County Counsel
800 South Victoria Avenue, L/C #1830
Ventura, CA 93009

Tel (805) 654-2583
Fax (805) 654-2185

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 3, 2020 3:56 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>
Subject: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Good Afternoon Ms. Porche:

The purpose of this email is to follow-up on the meeting we attended regarding the above referenced project on March 16, 2020. As you are aware, due to indecision by County, and conflicting positions by its various departments, the County has failed to further review the Project and has refused to issue the requested *Certificate of Appropriateness*. From our meeting of March 16, it is clear that the County is struggling with whether the Project to restore the historic structures does or does not fall under the Historic Building Code and, to a lesser degree, whether the main structure was or was not used as a main residence. This position seems to be perpetuated by several individuals that were attending the meeting that, in my opinion, were less

than informed regarding the applicable law. This of course is curious as a permit was issued allowing application of the Historic Building Code for structural repairs to the "main residence (Building #4)". That permit has not been revoked. Additionally, substantial documentation has been provided to the County, including a *Historical Resource Report*, all of which overwhelmingly establish the historical significance of the buildings and the use of Building #4 as a main residence.

At the conclusion of our March 16 meeting, it was my understanding that David Ward requested you to provide an opinion as to whether the Historic Building Code applies to the structures in question. I understood you would be making that determination within 2 weeks of our meeting of March 16, 2020. To date, I have not been informed that any progress has been made with respect to the foregoing. Additionally, no one at the County is responding to my client's inquiries regarding this matter. I certainly understand that you would like to carefully look into the issue. However, given the facts and circumstances, together with the documentation provided, it does not seem to be an overly complex issue.

Simply stated, our client believes the structures on the site may be restored using the California Historical Building Code. The grounds for qualification require the buildings to be designated as a historical building or structure. Under Section 18955 of the Health & Safety Code, a qualified historical building or structure is:

"...any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction."

As is apparent from the foregoing section, a property or structure qualifies for the California Historical Building Code if it is on a state or county register of inventories of historical or architectural significant sites. Our client's property and structures appear as a "Site of Merit" on an official county inventory of historical sites, **and are listed in a state record of historical resources**. Therefore, the Ranch and its structures qualify as a historical property and structures under Health and Safety Code section 18955.

The failure of the County to apply the applicable law to this Project, and issue the necessary approvals and permits, which the County is charged with responsibility to do, is costing my client a considerable amount of money arising from being denied the use of the property, which is slowly morphing into a taking by the County of Ventura. It was my understanding that we were attempting to work together to allow this Project to proceed thereby protecting the historic character of the property. Unfortunately, it appears several individuals in the County are doing everything possible to delay and increase the cost of this Project. Not only is that wrong, it is also contrary to Section 8107-37.1 which is very clear in its dictates when it comes to Cultural Heritage Sites: *"The purpose of this designation is to promote the enhancement, preservation, rehabilitation, restoration, reconstruction and maintenance of sites and structures of historical and cultural heritage value through the imposition of design standards. Fulfillment of this purpose can be impeded by strict adherence to various standards in the Zoning Ordinance. Therefore, this section promotes the stated purpose by creating a mechanism whereby appropriate deviations from the regulations of this chapter can be granted."*

Finally, if there is any remaining doubt regarding the application of the Historic Building Code to this Project, I encourage your review of the attached letter, dated April 2, 2020, from the State Historical Building Safety

Board, which states the obvious ***"Assuming that all buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by Definition of the California Historic Building Code (see HBC), and therefore eligible for use of the CHBC."***

Given the foregoing, further delay is simply unacceptable to my client. I would appreciate hearing from you regarding this matter at your earliest convenience.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

☎ 805.963.9721 ☎ 805.845.2356

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Ventura County Cultural Heritage Board Minutes

August 12, 2019 at 1:15 p.m.– Item 3b

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **11:00 A.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 2275 ALISO CANYON ROAD, SANTA PAULA, CA 93060 (BILLIWHACK RANCH)**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

A quorum could not be established, meeting was not called to order. The tour was still given to Staff and CHB members present however, CHB members present were instructed that they could not have any discussion or ask questions.

3. **1:15 P.M. CONVENE THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 800 S. VICTORIA AVENUE, VENTURA, CA 93009 (VENTURA COUNTY GOVERNMENT CENTER, ADMINISTRATION BUILDING, ATLANTIC CONFERENCE ROOM, SECOND FLOOR).**

4. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Gary Blum, John Kulwiec, Ricki Mikkelsen and Stephen Schafer.

CHB Members Absent:

Miguel Fernandez, Phil Englander, Darwin McCredie

Staff Present:

Denice Thomas, Cultural Heritage Program Manager

Ashley Cook, Cultural Heritage Planner.

5. **APPROVAL OF AGENDA**

- 6.a. **Vote to approve the July 12, 2019 Agenda**

CHB Member Mikkelsen made a motion to approve the agenda. CHB Member Kulwiec seconded the motion. Motion Passed; 4-0.

7. **PUBLIC COMMENTS**

8. **CONTINUED ITEMS**

None.

9. **NEW BUSINESS**

9.a. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No. CH19-0021)

Disclosures:

CHB Member Schafer disclosed that he was in attendance at the tour earlier in the day. CHB Member Kulwiec disclosed that he was also in attendance at the tour earlier in the day as well.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos as well as the history of the site. He answered questions from the CHB members.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

1. **CONDUCT** public hearing, **RECEIVE** oral and written testimony, and **CONSIDER** the County Planning staff report and all exhibits and attachments hereto; and,
2. **MAKE** the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.
3. Based on the preceding evidence and analysis, **APPROVE** a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Photo Presentation by CHB Member Schafer

CHB Member Schafer presented the photos taken during the tour earlier that day at the project site.

Deliberation and Recommendation:

CHB Member Schafer asked the applicant questions regarding the significance of some the character defining features. CHB Member Schafer had concerns with removing the original Dutch doors on Building 2 as they could be considered character defining features. CHB Member Schafer agreed with Staff that the tower element should not be raised as this could create conjectural feature. CHB Member Schafer mentioned that without

Everett Woody

Subject: FW: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

From: James H. Smith

Sent: Friday, April 17, 2020 4:37 PM

To: Ward, Dave <Dave.Ward@ventura.org>

Cc: 'Ruben.Barrera@ventura.org' <Ruben.Barrera@ventura.org>; 'Porche, Marina' <Marina.Porche@ventura.org>; 'adrian.paniagua@ventura.org' <adrian.paniagua@ventura.org>; 'Amanda.Ahrens@ventura.org' <Amanda.Ahrens@ventura.org>

Subject: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Dear Mr. Ward:

1. Your denial letter dated 04.14.2020 fails to disclose some key facts that attempts have been made to satisfy the violation items a-d listed in your notice of violation dated 06.25.2019. We submitted drawings to the Cultural Heritage Board (CHB) that would have satisfied the violations. The staff report was prepared and presented to the CHB on 08.12.2019 to approve the project as submitted. Board member Schaffer and staff member Denise Thomas stated as a point of fact that the property would require **Landmark Status** in order to use the California Historical Building Code (CHBC). To set the record straight we received a letter from the State Historical Building Safety Board stating the Billiwhack Ranch was eligible for use of the CHBC and subsequently the County conceded that we may use the CHBC. If staff was informed about the use of the CHBC we would have an approved Certificate of Appropriateness and the code compliance case against our property would be satisfied and the historic preservation of the property would be protected.

Applying the below sections of the CHBC as agreed would resolve the code compliance case:

- a. *"8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or **reconstruction** of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users."*
- b. *"Section 8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code."*

Therefore; (1) if the CHBC applies as the County has conceded in your email dated April 3, 2020 and; (2) Sections 8 -101.2 & 8-302.2 mean what they say, and in particular *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the*

requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code", I would appreciate your assistance in informing me how you reconcile the application of the CHBC with the reasons for your denial as set forth in points 1 through 4, starting on page 3, of your denial letter dated April 14, 2020.

2. Your correspondence of April 14, 2020, also leaves unanswered the status the Building Permit that was issued for the Project (B19-000857). That Permit was issued for the structural repair of the of the "main residence." Your attention is directed to the Construction Permit Application wherein the Structural Type is shown to be *"Residential"*. The Description of Work in the Application is stated to be *"Structural repair of an existing 17,939 square-foot main residence. (Building 4)."* The occupancy on the Permit is shown to be *"R-3"*. In reliance on that Permit, and in anticipation that the structure would be used, and in fact can be used under the CHBC, as a residence, over \$750,000 has been spent. In your denial letter of April 14, at page 4, you state *"The request to convert the creamery to the principal dwelling and utilize the existing dwelling as an accessory dwelling unit is denied because H-1 is too large to be designated as an accessory dwelling unit."* That of course raises several issues: (1) Is it your position that the Building Permit issued for the Project (B19-000857) has been unilaterally revoked by the County?; (2) Is it your position that the County of Ventura can disregard Section 8-302.2 of the CHBC which states: *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historic use or character, provided the qualified historical building or property conforms to the requirements applicable to the use or character of occupancy as set forth in the California Historic Building Code. Such change in you shall not mandate conformance with new construction requirements as set forth in regular code."*

Unfortunately, it appears that at each step taken by the County, rather than clarify and assist the Owner of the property, the County appears intent on further clouding the issues and obstructing the Project. Your prompt response in clarifying the position of the County, with respect to the unreconciled issues now created by your denial letter of April 14, 2020, will be appreciated.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

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Transcription.

[Member Schafer] The most important part of all of Judy's. 523 forms is this really boring one at the very end with no photographs. That is the district record. So I want to state on the record that I think everything is a district in the way that [inaudible] has told me. And the way I remember how to operate under a district is the district is the property. So we're not looking at any one building we are always looking at how it affects the district. It's definitely a district and my opinion is it's probably a national register eligible district and I think before any work is done if there is a condition or if conditions are to be put on this historic American building survey photography should be done because what I did was basically a quick record of what needs to be captured before it changes. I think. There's a lot of value showing it as is and putting that in the Library of Congress before it changes. And I think there can be varied changes that so I'm not opposed to that. I also can't imagine this doesn't need a discretionary permit at some point at the end of this and if it does the whole of the action becomes discretionary.

[Denise Thomas] Correct.

[Member Schafer] And it's so I think [inaudible].

[Denise Thomas] So here's Denise Thomas planning in response to that comment. So essentially what they've done is they're coming in for a piece of an overall project. And the way that CEQA is interpreted is the whole of the action once a discretionary permit is required the whole of the action becomes important and you have to evaluate for environmental impact reasons the whole of the action. And right now they're in for a certificate of appropriateness. But if at the end of it say for instance some sort of discretionary permit is required a CUP or some sort of a permit that requires the planning director approval Planning Commission approval or for a supervisor approval then this is subject to CEQA. And then you will have to do a CEQA determination whether or not the impacts of what they want to do will adversely impact the resource. We seem to be in front of that because right now you're only getting a piece of it. They want a COA to do the interior remodel and to change out these doors and windows. If at the end of this it's determined that for them to have those caretaker units that they want or for them to be able to change the site they need some sort of a discretionary permit. Then it changes what your review is. And you could have approved the COA prior to doing any kind of CEQA analysis and so it's the cart. It could be construed as the cart before the horse. It's unclear at this stage what. Which one is going to come first because the owner could say I just want to do this renovation and stop. Well if they only want to do this renovation and stop you're only reviewing this is a COA. But if they want to do something more than this renovation like make those two caretaker units and they exceed what the ministerial limits are in our code then all of a sudden it's a different review for you. And so you do have the ability to place conditions on the COA. That's the good news. So in the event that a discretionary permit is required you know you could trigger your COA approval possibly. But at this stage what's in front of you right now is not a CEQA analysis

it's a certificate of appropriateness for these renovations. And that's what you are charged with reviewing.

[Member Schafer] So the second part of that is I'm saying. [inaudible] As well as I can't see them doing major structural repairs under the secretary of interior standards because they would require either the historic building code Or new code. New codes going to destroy more things that are there. Historic Building Code is only applicable To certified buildings. So It's not certified.

[Denise Thomas] No it's not.

[Member Schafer] So that means that, No bueno there.

[Denise Thomas] You could condition it. If the applicant certification or being designated as a county landmark or national or state landmark is within the board's purview. And it's also the applicants choice. So the applicant can come voluntarily and say we want a landmark. This is a district. And then that could get them the historic building code would kick in. And this is a shameless plug but that's the topic that you're going to be discussing when we do our training our CLG training is going to be on this historic building code. They could do that and that would back them in. Could back them into the historic building code. They choose not to. The board has the ability to designate a district over the objections of the applicant as long as the applicant is given advance notice. We have never done that because we'd like to work with property owners as opposed to setting up an adversarial situation. But it is possible. So That's my input



County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 18 - Code Compliance
Division Site Inspection Photo of
Caretaker Dwelling (Building H2)



County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 19 - Code Compliance
Division Site Inspection Photo of
Creamery Building (Bldg 4)













STATE HISTORICAL BUILDING SAFETY BOARD

April 2, 2020

Mr. James H. Smith, Esq.
Rogers, Sheffield & Campbell, LLP
152 East Carrillo Street
Santa Barbara, CA 93101

Re: Billiwhack Ranch, Ventura County – Request for Opinion Regarding Qualification
of Historical Property and Structures

Dear Mr. Smith

This letter is in response to your request for an informal opinion regarding qualification of certain buildings on the 100-acre ranch in Ventura County known as the "Billiwhack Ranch."

I have reviewed your request and attachments provided by your letter dated March 19, 2020. Based on the letter and attachments, the Billiwhack Ranch was identified as a Site of Merit in the County's Historical Resources Survey, and the all structures on the ranch were awarded National Register ratings of 3D (appears to be eligible as a contributor to a National Register eligible district). Assuming that all the buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by definition of the California Historical Building Code (CHBC), and therefore eligible for use of the CHBC.

Should you have any questions, please contact Derek Shaw, Executive Director of the State Historical Building Safety Board at (916) 324-7178.

Sincerely,

Alan Dreyfus, Chair
State Historical Building Safety Board

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 20 - April 2, 2020 Letter from
the State Historical Building Safety Board
to James H. Smith, Esq.

August 27, 2020

Planning Commission Hearing

Appeal of the Denial to Issue Zoning Clearances Billiwhack Ranch, LLC., Applicant/Appellant Case No. PL20-0032



Resource Management Agency, Planning Division
Franca A. Rosengren, Case Planner

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 21 - Staff's Planning
Commission Powerpoint

Public Comments



CASE NUMBER PL20-0032 – Agenda Item #8

Please email your comments, 250 words or less, to:

Planning.PCComments@ventura.org

Please indicate in the Subject Line: Agenda Item #8

Staff will read your comment to the Planning Commission.

The Chair will announce the final time period to receive any comments.



Central Reasons for Denial

- Scope of Work does not conform to the regulations of the Non-Coastal Zoning Ordinance.
- The submitted plans included erroneous information and inaccurately identified the existing, legal uses of the buildings on the property.
- Planning staff cannot make the findings to issue a Zoning Clearance.

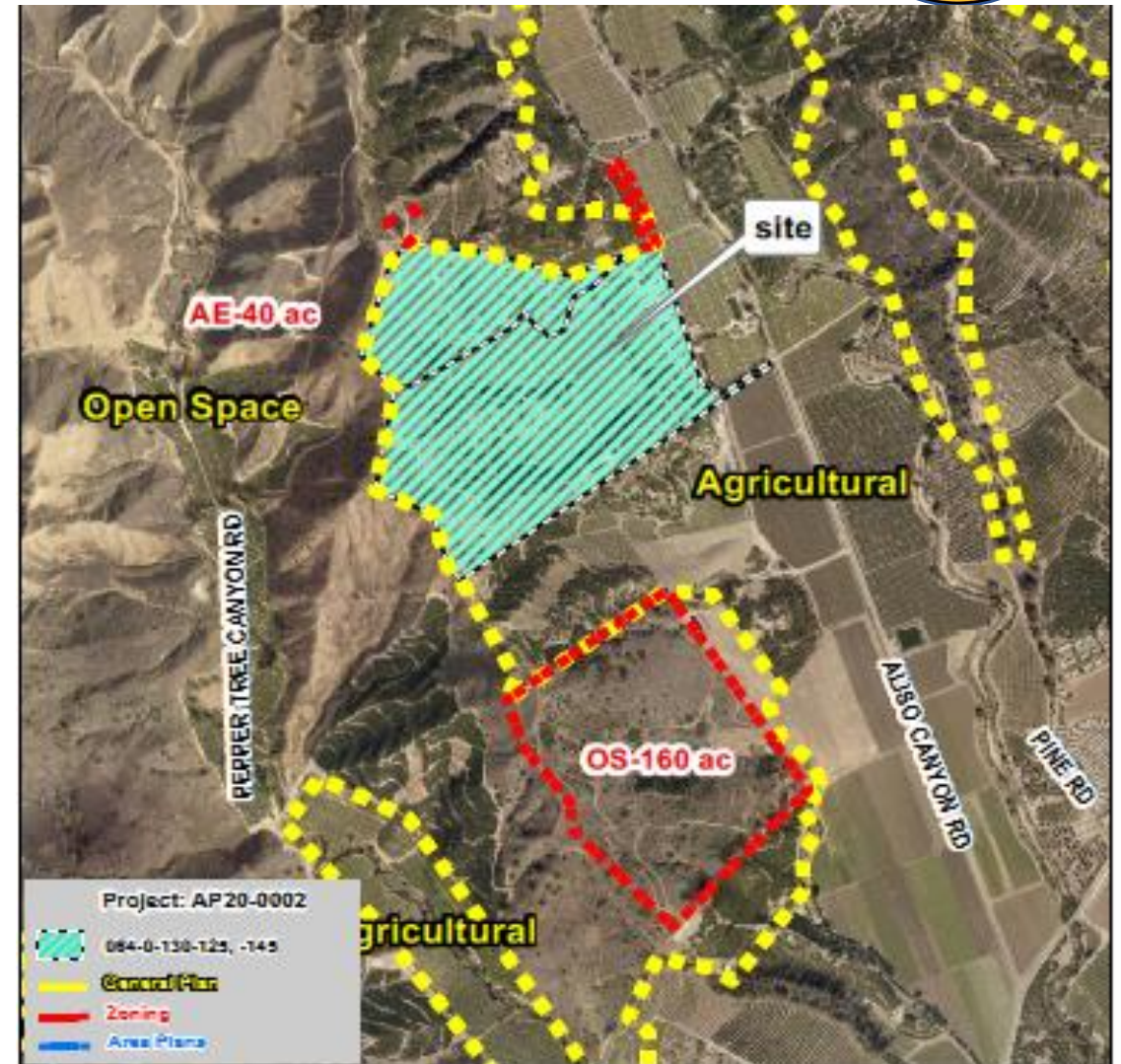
Project Location



Address: 2275 Aliso Canyon Road,
unincorporated area of Santa Paula

General Plan Land Use Designation:
Agriculture

Zoning: Agricultural Exclusive – 40 Acres
Minimum Lot Size, (AE-40ac)



Aerial



- Combined total of approx. 97 acres
- Approx. 60 acres of planted crops

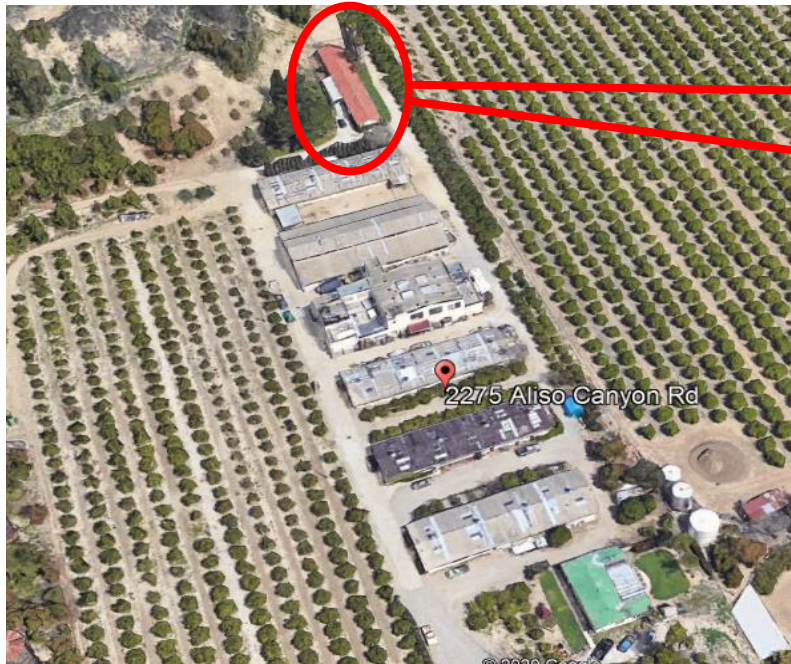
Notice of Violation CV19-0100



Notice of Violation Issued June 2019

Violation 1. Non-permitted modification to the following structures:

a) Caretaker dwelling (H2) – removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slabs. The legal nonconforming use of the structure as a caretaker dwelling has been lost since more than 50% of its walls and floors have been voluntarily demolished.



BUILDING H2 (FARMWORKER DWELLING UNIT) - BEFORE DEMOLITION

Notice of Violation CV19-0100



BUILDING H2 (FARMWORKER DWELLING UNIT) - BEFORE DEMOLITION

Notice of Violation CV19-0100



BUILDING H2 (FARMWORKER DWELLING UNIT) - AFTER DEMOLITION

Notice of Violation CV19-0100



Roof

Steel
Columns

BUILDING H2 (FARMWORKER DWELLING UNIT) - AFTER DEMOLITION

Notice of Violation CV19-0100



BUILDING 4 (CREAMERY BUILDING)

b) Two-story main residence (4) - removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).



Notice of Violation CV19-0100



BUILDING 4 (CREAMERY BUILDING)

Notice of Violation CV19-0100



BUILDING 4 (CREAMERY BUILDING)

Notice of Violation CV19-0100



BUILDING 2 (AGRICULTURAL STORAGE BUILDING)

c) Caretaker dwelling (2) - non-permitted conversion of storage building to a caretaker dwelling unit and office.





Western Santa Clara Valley Historic Resources Survey, Phase V, dated July 1996

D6. Significance: Theme *agriculture*

Area *Santa Clara Valley*

Period of Significance *1925-1943*

Applicable Criteria *A & C*

Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built by August Rubel between 1925 and 1934. A number of smaller family dairies were established in the area between 1920 and 1950, including the Orr Family's Orange Grove Dairy and the Golden State Dairy operated by the Lindsey Family, and later by the Pinkerton family. However, no other dairy compared in size to the Billiwhack Stock Farm & Dairy and its "state of the art" buildings. [Continued]

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley.

County of Ventura Historic Site of Merit



Cow stables (Agricultural Storage Buildings)



P1. Other Identifier: Cow stables

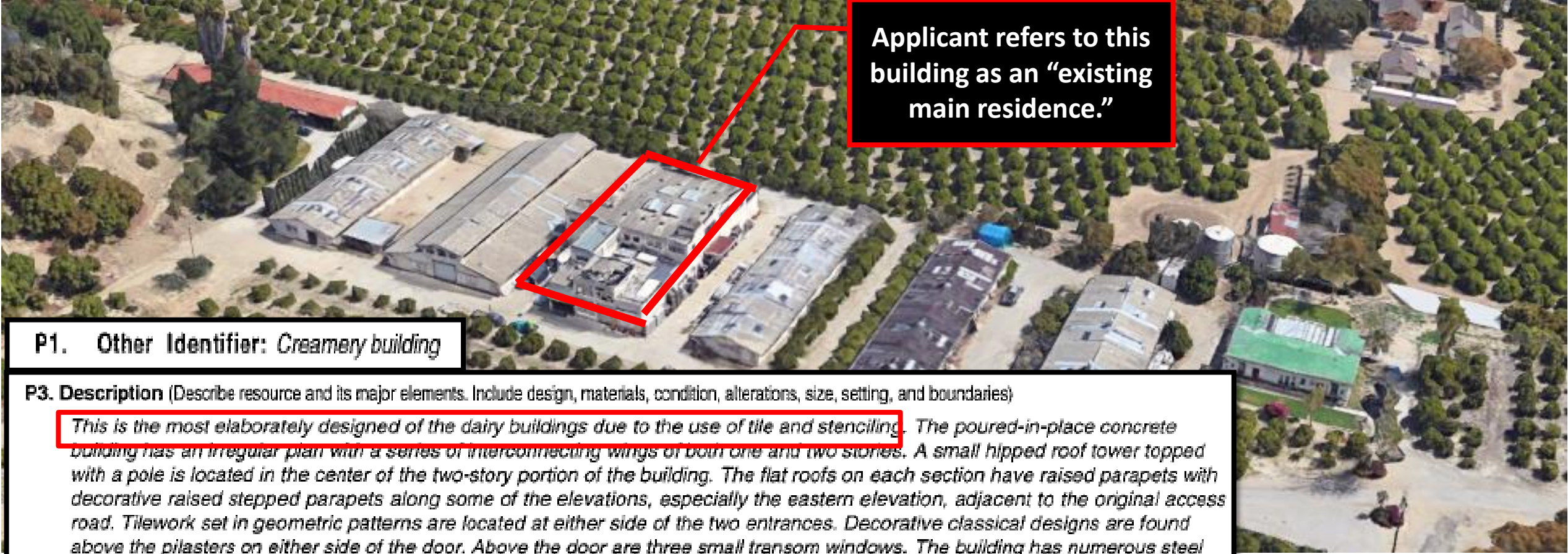
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Four identical buildings were used to house the dairy herd. These long narrow buildings, constructed of concrete, have low gable roofs with overhanging eaves. The low concrete ceilings are supported with metal trusses. The floors have a patterned tile with drains. Each animal had its own stall with a small window and door leading to the corrals. The corrals have been removed, except for one at the north end between the milking barn and the feed shed. Two sets of double doors on tracks are located at each end of the building. Three of the sheds remain fairly unaltered, but in the process of converting one shed to an office, some doors and windows were enclosed.

County of Ventura Historic Site of Merit



Creamery Building (Building 4)



Applicant refers to this building as an “existing main residence.”

P1. Other Identifier: *Creamery building*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This is the most elaborately designed of the dairy buildings due to the use of tile and stenciling. The poured-in-place concrete building has an irregular plan with a series of interconnecting wings of both one and two stories. A small hipped roof tower topped with a pole is located in the center of the two-story portion of the building. The flat roofs on each section have raised parapets with decorative raised stepped parapets along some of the elevations, especially the eastern elevation, adjacent to the original access road. Tilework set in geometric patterns are located at either side of the two entrances. Decorative classical designs are found above the pilasters on either side of the door. Above the door are three small transom windows. The building has numerous steel multi-paned windows with concrete sills varying in size from four to sixteen panes. The walls at the western end of the building have been damaged from water leakage. Several windows have been broken and some openings are boarded up. This building is in poor condition. The interior is unique because of the stenciled ceiling, skylights and the heavy use of tile both on walls and floors. The second floor is a mezzanine.

County of Ventura Historic Site of Merit



Nonconforming Farmworker Dwelling Unit (Building H2)



P1. Other Identifier: *Milker's Dormitory*

Parcel No. 64-130-12/14

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This long, narrow building is one-story in height with a low-pitched gable roof covered with clay tile. The wide eaves are open. The wide windows have wood sashes and wood casings. The building is covered with smooth stucco finish. A shed roof extends from the west side of the building to form a carport. This building once served as a dormitory for the milkers who worked at the dairy. It now serves as a single family residence.

Zoning Clearance Application ZC19-0684 Project Description

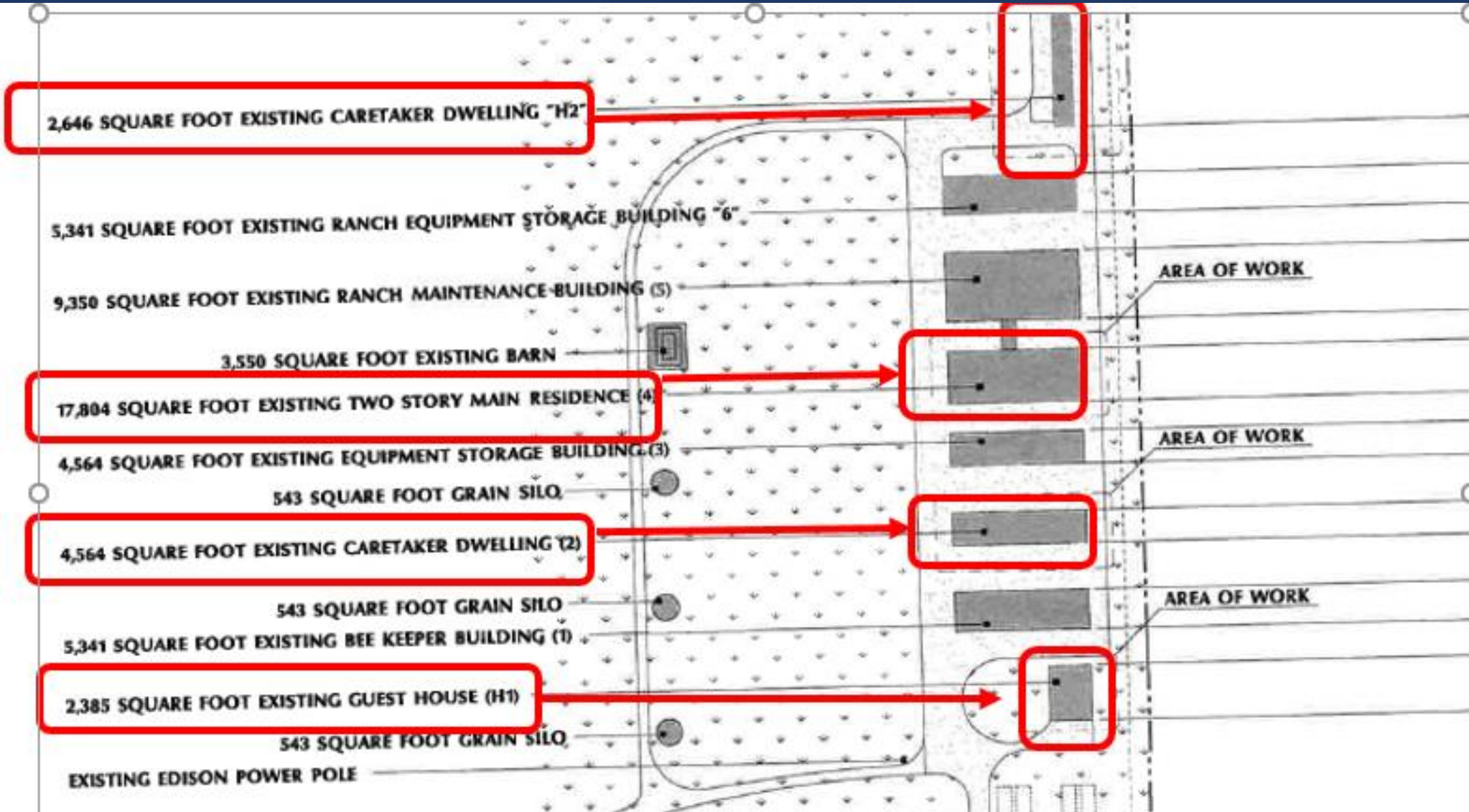


June 2019 – Application ZC19-0684 submitted to Planning and Cultural Heritage Board with mislabeled permitted uses of the existing buildings among other discrepancies.

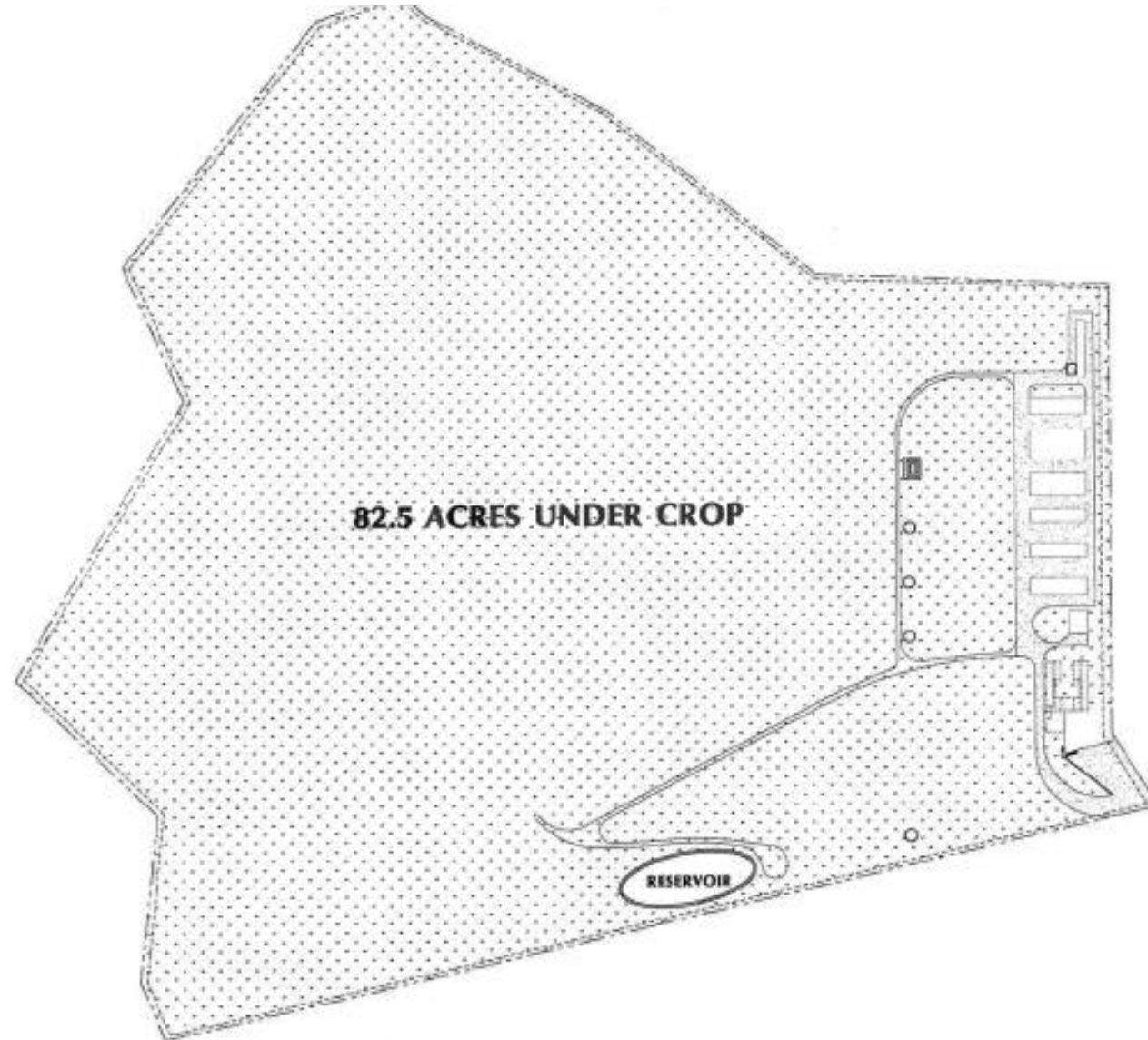
Project Description:

- Reconstruct a 2,646-sq. ft. legal nonconforming “caretaker dwelling” which has had all of its walls and floors removed (Building H2, **Partially Demolished Farmworker Dwelling Unit**);
- Remodel and repair the interior of a 17,310-sq. ft. gross floor area “main residence” (Building 4, **Creamery Building**);
- Remodel a 4,564-sq. ft. “caretaker dwelling” (Building 2, **Agricultural Building**); and,
- Remodel a 2,385-sq. ft. “guest house” (Building H1, **Principal Single-Family Dwelling**).

Zoning Clearance Application ZC19-0684 Site Plan



Zoning Clearance Application ZCI 9-0684 Crop Acreage



Non-Coastal Zoning Ordinance Requirements vs Applicant's Request



Allowed uses with ministerial Zoning Clearance:

- One principal single-family dwelling (no size requirements)
- One farmworker dwelling unit (maximum of 1,800-sq. ft. gross floor area) (one per 40 acres of crops)
- One detached accessory dwelling unit (ADU) (maximum of 1,800-sq. ft. gross floor area (one detached on lots 10 acres or more)

Applicant's requests:

- Two farmworker dwelling units, both exceeding 1,800-sq. ft. gross floor area (total of 7,210 sq. ft.)
- One detached ADU over 1,800-sq. ft.
- One principal single-family dwelling

The applicant has exceeded the maximum number of dwelling units allowed on the property and the maximum size allowed. An approved Discretionary Permit is required to allow a farmworker dwelling unit and an ADU (cultural heritage deviation) to exceed 1,800-sq. ft gross floor area.



Site Plan/Code Discrepancies

Issue No. 1: The legal, permitted uses of each of the buildings and structures were inaccurately identified on the site plans.

Official records confirm that the property was developed with and still contains:

- Two dwelling units, one of which no longer retains its nonconforming status (identified as Buildings H1 and H2 on the site plan) totaling 4,992 sq. ft.;
- Two-story agricultural creamery building (identified as Building 4 on the site plan);
- Seven additional agricultural buildings totaling 37,613 sq. ft.; and,
- Three grain silos.



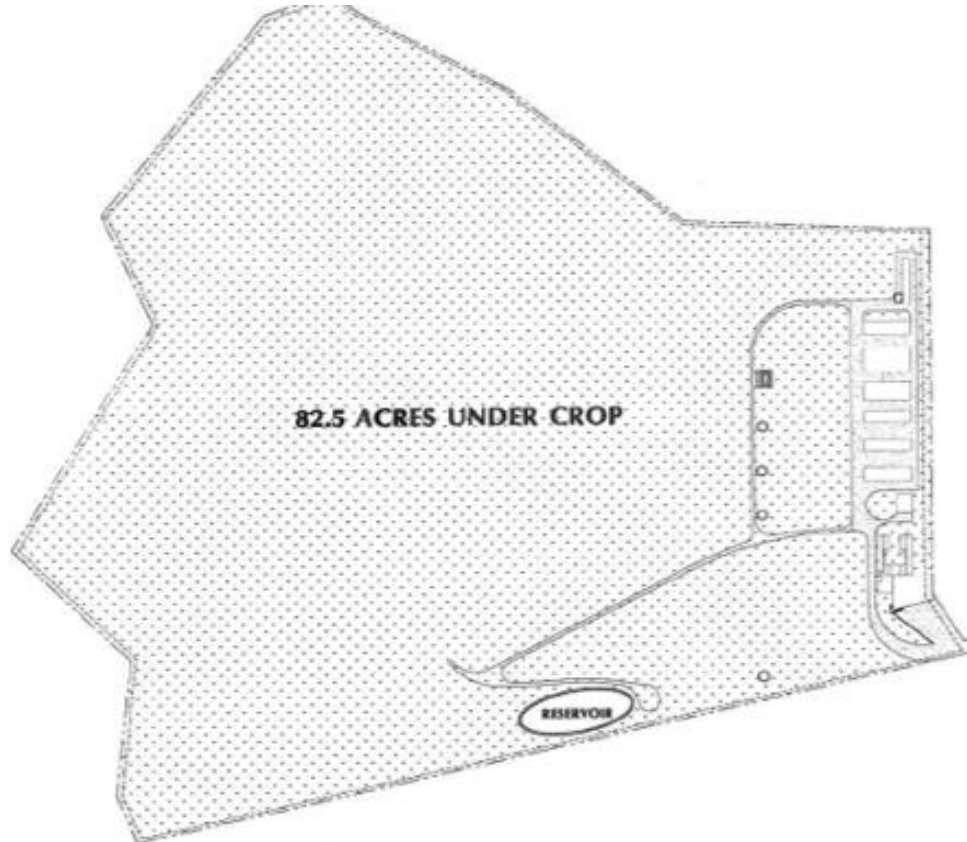
- The legal nonconforming farmworker dwelling unit (Building H2) is incorrectly labeled as an “existing caretaker dwelling”
- The creamery building (Building 4) is incorrectly labeled as an existing “main residence,”
- Building 2 on the plans is a “cow stable” and is incorrectly labeled as an existing “caretaker” dwelling unit
- Building H1 is incorrectly labeled as an existing “guest house”

Planning Division Research and Review



Issue No. 2: Incorrect acreage of planted crops/orchards on the site plan.

The applicant indicates that there are 82.50 acres of crops planted on the property and, therefore, the property qualifies for two farmworker dwelling units (i.e., one per 40 acres of crops).



Planning Division Research and Review



Issue No. 3: Over 50% of Building H2 (legal nonconforming farmworker dwelling unit) was *voluntarily* demolished and cannot be rebuilt back to its original size and use unless modified to conform to the standards of the Non-Coastal Zoning Ordinance.

Sec. 8113-6.1.1

Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of 50 percent or less of its floor or roof area which existed before destruction, or is involuntarily damaged or destroyed in whole or in part, the structure may be restored to its original state existing before such removal, damage or destruction. The occupancy or use of the structure or part thereof which existed at the time of the damage or destruction may be continued if a complete building permit application for a replacement structure has been submitted to the Building and Safety Division within a period of 12 months after the occurrence of the damage or destruction, and said building permit once approved is diligently pursued to completion prior to permit expiration.

Sec. 8107-26.2 - Dwelling Unit Size

No farmworker or animal caretaker dwelling units ministerially approved for construction after June 27, 1995, shall exceed 1,800 square feet in gross floor area. A CUP for a farmworker or animal caretaker dwelling unit exceeding 1,800 square feet may be granted for compelling reasons.



Issue No. 4: The existing creamery building is labeled as a repair and remodel of an “existing main residence.”

The creamery building (Building 4) should be correctly identified as a “conversion” of an agricultural building to a single-family dwelling, not a remodel of an existing dwelling unit. Numerous doors, walls, and windows must be replaced in order to make this building habitable.

Since Building 4 is not an existing legal dwelling, the only legal dwelling (H1) on the property (2,352 sq. ft) cannot be converted to an ADU unless it is reduced in size to not exceed 1,800 sq. ft.



Issue No. 5: A Zoning Clearance cannot be issued to remodel the only existing, legally permitted single-family dwelling (H1) on the property because the remodel is not necessary to abate the violations of CV19-0100.

NCZO, Section 8111-1.1.1b(4) states:

Is not located on the same lot where a violation exists of standards found in said Chapters 1 and 2 or of any Ventura County Ordinance regulating land use, such as the Ventura County Building Code or any grading ordinance, or of the terms of an existing permit covering the lot, unless the Zoning Clearance is necessary for the abatement of the existing violation.

A Zoning Clearance cannot be issued for any new projects on the property (such as the remodel of Building H1) until all the violations outlined in Violation Case No. CV19-0100 have been abated.

Planning Division Correction Notice #1 – ZC19-0684



July 9, 2019 – Planning Division reviewed the first application (ZC19-0684) for compliance with the Non-Coastal Zoning Ordinance and provided a Correction Notice (Exhibit 8)

The applicant was notified that in order to continue further review of the application, additional information was needed regarding:

- (1) the legal nonconforming status of the caretaker dwelling (Building H2);
- (2) the proposed and existing uses for each building;
- (3) the floor and elevation plans for each building; and,
- (4) the actual total acreage of planted crops on the property to verify the number of farmworker dwelling units allowed on the property.

Cultural Heritage Board First Review – ZC19-0684



August 12, 2019 – Cultural Heritage Board (CHB) review:

- One aspect of the proposed project can be approved by CHB for the “stabilization and structural repair of the failing portion of [the creamery building] Building 4.” (A Zoning Clearance and Building Permit were issued for this project.)
- The CHB could not make a determination on the other aspects of the proposed project without a Historic Resources Report identifying the character defining features of the buildings.
- The CHB identified several discrepancies on the plans, including incorrect window sizes/types, missing windows/doors on elevations.

Planning Division Correction Notice #2 – ZC19-0684



August 13, 2019 – Planning Division Correction Notice No. 2:

- Provide floor plans for all buildings, including the existing barn.
- Provide evidence that the caretaker dwelling unit meets the ordinance standards for a caretaker dwelling and provide a farmworker employment verification form.
- Update plans to reflect the comments of the CHB.

To date, the applicant has not resubmitted a revised project description or set of revised plans for Application ZC19-0684



September 9, 2019 – Cultural Heritage second review:

- Chair indicated that the project was an adaptive re-use and not a restoration project.
- Applicant opted not to provide a Historic Resources Report for project because “*the bids for the report were coming in too high.*”
- The CHB denied the Certificate of Appropriateness – unable to determine the character defining features without report
- Appellant did not appeal CHB’s decision

Zoning Clearance Application ZC19-1390 Project Description

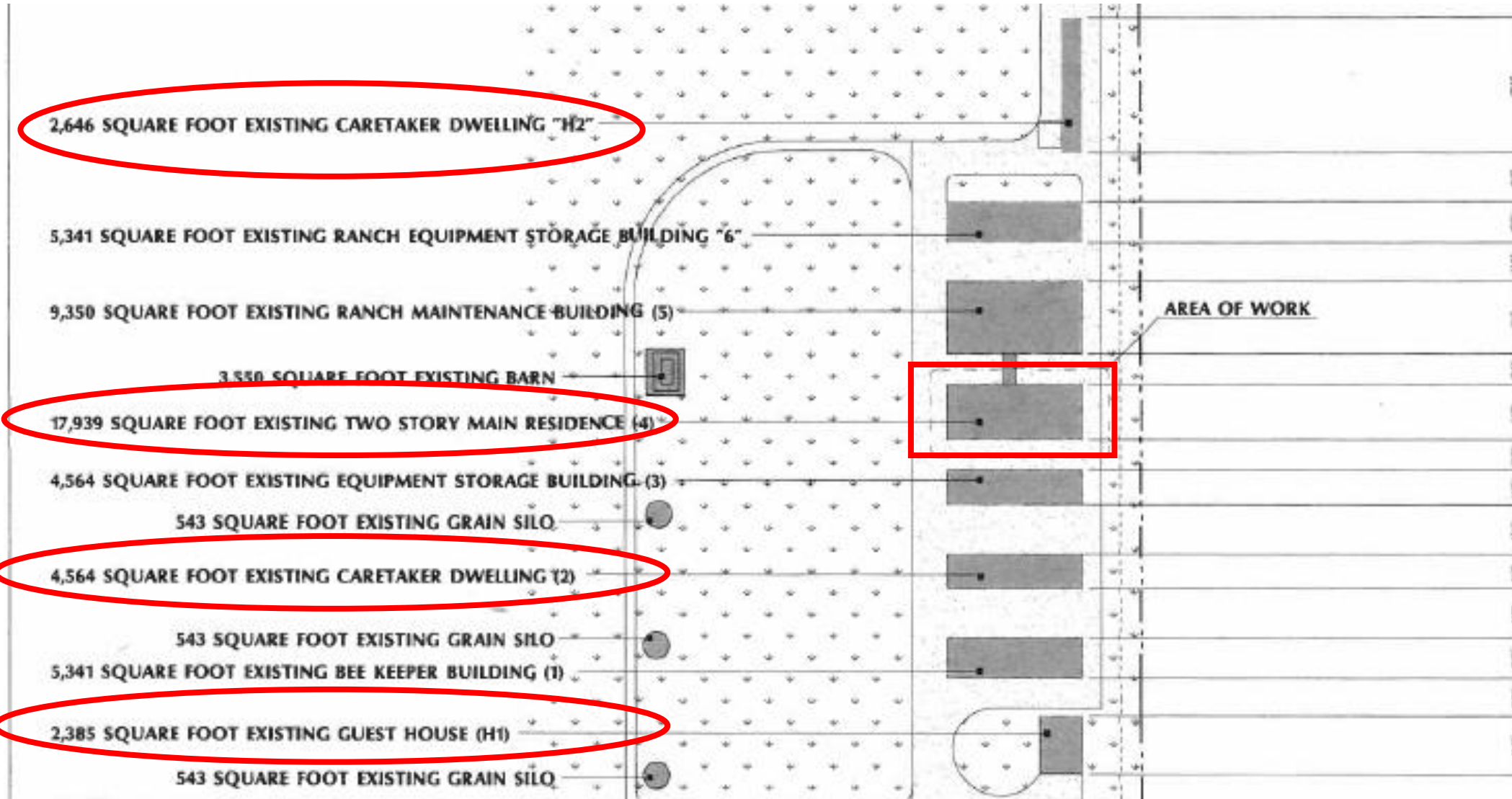


December 2019: The applicant submitted the second Zoning Clearance application (ZC19-1390)

Project Description:

Separate out the interior remodel of a 17,310-sq. ft. gross floor area “main residence” (Building 4, Creamery Building) from the Zoning Clearance application ZC19-0684.

Zoning Clearance Application ZC19-1390 Site Plan



2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

AREA OF WORK



December 20, 2019 – Planning Division reviewed application and provided a Correction Notice:

Advised that the project could not be approved until the project, as a whole, is approved by the CHB.

The proposed interior residential renovations to the creamery building affects the principal dwelling on the property and would need to be re-designated as an accessory dwelling unit and those applicable standards. One aspects affects the other buildings.

Meetings/Correspondence with Applicant



- February 2020: Code Compliance staff met with applicant to discuss the legal existing use of the creamery building.
- March 2020: Planning, Building and Safety, and Code Compliance Divisions held a coordination meeting with the applicant's team – advised that a revised project description was needed to accurately reflect the existing and proposed uses, to show compliance with the NCZO regulations, and submit a final Historic Resources Report.
- April 3, 2020: At the request of the applicant, the Planning Director advised the applicant that the Historic Building Code could be used for those buildings that qualify as "historic."

Zoning Clearances Denied



April 14, 2020: Planning Director advised the applicant that applications ZC19-0684 and ZC19-1390 were denied (subject of today's appeal).

The following findings cannot be made to issue a Zoning Clearance:

NCZO section 8113-6.1.2 (Nonconformities and Substandard Lots) states:

“Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of more than 50 percent of its floor or roof area which existed before destruction, no structural alterations, repairs or reconstruction shall be made unless every portion of such structure and the use are made to conform to the regulations of the zone classification in which they are located.”

Zoning Clearances Denied



NCZO sections 8111-1.1.1b(4) states:

“b. Zoning Clearance: Issuance Of - A Zoning Clearance shall be issued if the proposed use of land, structures, or construction:

(1) Is permissible under the present zoning on the land and complies with the standards of Division 8, Chapter 1 and 2 of the Ordinance Code;

(4) Is not located on the same lot where a violation exists of standards found in said Chapters 1 and 2 or of any Ventura County Ordinance regulating land use, such as the Ventura County Building Code or any grading ordinance, or of the terms of an existing permit covering the lot, unless the Zoning Clearance is necessary for the abatement of the existing violation.

Meetings/Correspondence with Applicant



- April 20, 2020: Applicant filed an appeal of the denial of the Zoning Clearances.
- May 28, 2020: Applicant submitted a **third** Zoning Clearance request for a transformer pad and water pump house.
- June 17, 2020: Applicant submitted a **fourth** Zoning Clearance to convert the creamery building to an accessory dwelling unit (ADU)
- July 15, 2020: Planning Division denied these two Zoning Clearance requests (which were not appealed by the appellant):
- Scope of work not necessary to abate the violation
 - The conversion of the 17,000+ sq. ft. gross floor area creamery building to an accessory dwelling unit exceeds the maximum size of an accessory dwelling unit of 1,800 sq. ft.

Meetings/Correspondence with Applicant



- July 17, 2020: Appellant's representative emailed staff another conceptual scope of work to meet the ordinance requirements.
- July 24, 2020: Planning staff provided feedback on conceptual scope of work.
- July 28, 2020: First Zoom meeting between Planning staff and appellant to discuss conceptual scope of work
- August 7, 2020: Second Zoom meeting between Planning staff and applicant and appellant's representatives to discuss conceptual proposal
- August 17, 2020: Third Zoom meeting between RMA Director, Planning staff and the appellants to discuss appeal points
- August 25, 2020: Fourth Zoom meeting with the RMA Director, Planning staff and the appellants

Applicant's Ground of Appeal



The County has conceded that the Historical Building Code (“HBC”) applies to this Project. Also confirmed by the State Historical Building Safety Board. However, the Planning & Building Dept. elected to disregard the required application of the HBC including, but not limited to, Sections 8-101.2 & 8-302.2. The required application of the CHBC prohibits the action taken. See attached letter from State Historical Board dated 4/2/20; Email from Dave Ward to Everett Woody dated 4/3/20; Email from James H. Smith to Marina Porche dated 4/3/20 and; Ventura Heritage Board Minutes of 8/12/19, Item 3b, staff recommendation to approve the Certificate of Appropriateness.

- Stated Verbatim from Applicant's Appeal Form

Planning Division's Response to Ground of Appeal



The Planning Division did not disregard the application of the HBC but rather determined that the provisions of the HBC **do not preempt** the requirements of the NCZO as they apply to this project.

The HBC simply provides **certain exceptions to California building code standards** whose application would otherwise hinder the preservation of historic buildings.

The HBC **does not dictate what is permissible on the property** under present zoning standards, nor does it allow the issuance of Zoning Clearances on a property with existing violations unless the project is necessary to abate such violation.

The subject Zoning Clearance applications **fail to comply with the NCZO** which precludes their approval.

THEREFORE THIS GROUND OF APPEAL LACKS MERIT



Exempt from Environmental Review:

- The California Environmental Quality Act (CEQA) does not apply to a public agency's denial or disapproval of a requested land use project or permit. (Public Resources Code ("PRC"), § 21080(b)(5).)
- CEQA does not apply to a public agency's approval of a ministerial permit or project. (Public Resources Code § 21080(b)(1).)



- Property owners within 300 feet of the project
- Legal advertisement in the Ventura County Star
- Notified interested parties
- Posted on Planning Division website and in Public Hearing Notification bulletin board at County Government Center

Applicant's Recommended Actions



The the [sic] Board direct the Planning & Building Dept. to:

- (1) Apply the 2019 California Historical Building Code to Project;*
- (2) Reinstate the Building Permit for the structural repair;*
- (3) The Building Dept. be directed to proceed with the Plan Check and;*
- (4) Zoning Clearance for the Project be approved.*

-Stated Verbatim from Applicant's Appeal Form



1) Apply the 2019 California Historical Building Code to Project;

The HBC may be applied in the design/construction of the restoration of the qualifying historic portion of the property to meet building code requirements.

2) Reinstate the Building Permit for the structural repair;

Building Permit B19-000857, issued on August 29, 2019, for structural repairs to the creamery building (Building 4) has not been revoked and is still active.



3) The Building Dept. be directed to proceed with the Plan Check and;

The project as proposed (interior remodel of the creamery building) cannot receive zoning approval, for the reasons set forth in Sections A(11) and C of the staff report (and this presentation), the building plan check has been suspended until the applicant can present a project that comports with the requirements of the NCZO.

4) Zoning Clearance for the Project be approved.

The Planning Director could not make the Zoning Clearance findings based on the information contained in Sections A(11) and C of the staff report (and in this presentation) and, therefore, a Zoning Clearance cannot be issued.

Planning Divisions Recommended Actions



1. **CERTIFY** that your Commission has reviewed and considered this staff report and all exhibits thereto, and all evidence and testimony received during the hearing;
2. **FIND** that this project is statutorily exempt from CEQA pursuant to sections 21080(b)(1) and 21080(b)(5) of the Public Resources Code;
3. **DENY** Zoning Clearance Application No. ZC19-0684 (Exhibit 2) and Zoning Clearance Application No. ZC19-1390 (Exhibit 3), **DENY** related Appeal No. PL20-0032 (Exhibit 17) and decline to refund any appeal fees; and
4. **SPECIFY** that the Clerk of the Planning Commission is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location of the documents and materials that constitute the record of proceedings upon which this decision is based.

Public Comments



CASE NUMBER PL20-0032 – Agenda Item #8

Please email your comments, 250 words or less, to:

Planning.PCComments@ventura.org

Please indicate in the Subject Line: Agenda Item #8

Staff will read your comment to the Planning Commission.

The Chair will announce the final time period to receive any comments.

Questions?



Planning Commission Resolution

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478 • vcrma.org/planning

RESOLUTION 20-11 FOR PL20-0032 REGARDING AN APPEAL OF THE PLANNING DIRECTOR'S DENIAL OF ZONING CLEARANCES

WHEREAS, the Planning Commission ("Commission") held a legally noticed public hearing to consider PL20-0032 in Ventura, California, on August 27, 2020; and

WHEREAS, the Commission considered all written and oral testimony from County staff and public testimony on this matter; and

WHEREAS, Commissioner White moved to approve staff's recommended actions and Commissioner King moved to approve White's motion with the modification to include a recommendation to encourage staff and the appellant to work in good faith to resolve issues and bring the project to the best possible conclusion.

WHEREAS, the motion carried 5-0.

NOW, THEREFORE, BE IT RESOLVED the Commission:

1. **CERTIFIED** that your Commission has reviewed and considered this staff report and all exhibits thereto, and all evidence and testimony received during the hearing;
2. **FOUND** that this project is statutorily exempt from CEQA pursuant to sections 21080(b)(1) and 21080(b)(5) of the Public Resources Code;
3. **DENIED** Zoning Clearance Application No. ZC19-0684 (Exhibit 2) and Zoning Clearance Application No. ZC19-1390 (Exhibit 3), **DENIED** related Appeal No. PL20-0032 (Exhibit 17) and declined to refund any appeal fees; and
4. **SPECIFIED** that the Clerk of the Planning Commission is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location of the documents and materials that constitute the record of proceedings upon which this decision is based.

This is to certify that the foregoing is a true and correct copy of the resolution of said meeting.


A handwritten signature in blue ink, appearing to read "Dave Ward", is written over a horizontal line.

Dave Ward, AICP, Secretary to the
Ventura County Planning Commission

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 22 - Planning
Commission Resolution R-20-11



Angeli de Covolo, Inc.

122 East Arrellaga Street, Santa Barbara, California 93101
805-452-2999  ejw@adc-arch.com

Correction to staff report regarding Billiwhack Ranch

The following are corrections to the staff report. It will show that staff's recounting of events is flawed and the events as they happened were disorganized, unclear, misleading, and in certain cases fabricated. We are attempting to show that the County was adversarial and did not work to assist us. Rather the put up road block after road block, avoiding our questions for clarification to the extent that we had to hire an attorney, whose questions were also not answered, and we had to contact the state Architect to get the answer to the use of the CHBC which is stated plainly in 1366. This delay alone delayed us 8 months.

Sections from the staff report are in black and are numbered to match

Corrections to staff report are in blue

Additional events that are relevant to the understanding of the topic are in green italics

A.1. Statement of Case, paragraph 1

The property owner was issued a Notice of Violation for **construction and remodeling of structures and for the conversion of buildings from non-habitable to habitable uses** on property that has a County cultural heritage Site of Merit designation without the required permits and authorizations from multiple County agencies, including the Planning and Building and Safety Divisions.

The description in bold above is not what the violation states. It states the following:

Violation 1. Non-permitted modifications to the following structures;

- a) **Caretaker dwelling** (H2) – removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slab. The amount of work complete has exceeded the threshold of 50% of the walls and 50% of the floors. The legal non-conforming use of the structure as a caretaker dwelling has been lost.
- b) **Two-story main residence** (4) – removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).
- c) **Caretaker dwelling (2) – non-permitted conversion of storage building to a caretaker dwelling unit and office.**
- d) Pool area adjacent to ranch maintenance and storage building (1A) – large concrete pool/structure, empty and with no barrier.

*The violation notice a through d above from **Staff Exhibit 4**, uses the naming convention for each building as used on our of June 19th submittal where we were actively trying to solve violation items. Additionally, the building in Item c was never seen by the Code Compliance Officer during her site visit. We believe her use of these labels and knowledge of the non-conforming use of building 2 was taken directly from our submittal on 6/19/19. We have posed the question of the appropriateness of the Code Compliance Officer's actions to the county a number of times. The question remains unaddressed.*

A.1. Statement of Case, paragraph 2

The property owner submitted the subject Zoning Clearance applications with scopes of work that did not address the violations cited in the Notice of Violation and were found to be contrary to and inconsistent with the regulations of the Non-Coastal Zoning Ordinance (NCZO). The submitted plans include erroneous information and inaccurately identify the existing, legal uses of the buildings on the property.

-Applications addressed the violations in the drawings. Staff agreed with and approved the project as evidenced by their action of giving clearance to the project to go to CHB for approval.

-Our submissions can only be considered contrary and inconsistent if the strictest read of the NCZO is used and if no consideration is given for cultural heritage sites.

-The inclusion of erroneous information accused of us has come down to our labeling of the drawings. This labeling was suggested and agreed upon by our original planning team who are no longer on our Project. Our plan labels have not changed throughout the entire process yet no one mentioned it as a problem until April of 2020 and, additionally, we have been given a residential permit with the drawings. We contend that if it was an issue for the County, it's the County's job to correct through the use of a correction notice. Mislabeling drawings was never discussed or noted as a correction.

A.4. Decision-Making Authority and Decision, paragraph 2

The Planning Director could not make this finding because the proposed project is both inconsistent with the standards to issue a Zoning Clearance (NCZO sections 8111-1.1.1 b(1) and (4)) and provisions in the NCZO governing the rebuilding of a nonconforming structure voluntarily removed, damaged, or destroyed (NCZO section 8113- 6.1.2).

- Refers to the NCZO section 8113-6.1.2 which was not cited in the correction notice. **Staff exhibit 10** refers to section 8113-6.1.1 which gives two options related to the damage at H2; voluntarily vs involuntarily damaged. Everett Woody's email to staff, dated 06.25.2019, memorializing the meeting of the same date, cites 8113-6.1.1 involuntary as the reason for the damage and explains why. **See exhibit B.** The planning director offered to consider involuntary damage if we could provide photographic evidence. When we presented a preponderance of images showing the state of the building at the time of purchase, he stated he could not consider it because we had an existing path available to us. The path is a CUP.

10. Background and Permit/Violation History; paragraph 2

The property has transferred ownership numerous times over the past 90 years but has always remained in agricultural use. Only a handful of building permits were issued after 1947, which consisted of electrical upgrades to the existing buildings. County records indicate that no building permits for new construction or conversion of the buildings have been issued for this property.

Identification of historic use has been a disagreement. The County insists on relying on Assessor records. The Assessor records are the least reliable source we have found. Our research shows the following:

- a. No assessor information was available from 1926-1955. The first existing assessor report was filed in 1956 only describing building 4 and the razed hotel. In 1956 the report indicated the owner was Houston Fearless Corp., a defense contractor. Not a rancher or farmer. This record names the Creamery building but the owner did not use it as a Creamery. We have an annual report describing their operations at that time. It was not agriculture use as stated by staff.
- b. This record indicates there were 13 pages yet only 4 exist.
- c. In 1956 Building 4 records shows only 2 water closets and 1 lavatory. Photographs prove this record to be inaccurate. Abandoned waste lines and infilled holes in the floor tell a different story. As many as six fixtures total.
- d. Historical aerial photographs also show a building built between the Creamery and Milking Barn. No permit exists to indicate this building was built or was removed but it was there.
- e. In 1956 the razed Hotel is described as unfinished and open. This would account for the prior owner's declaration stating that the building was unfinished and dangerous.
- f. The next existing record of assessor visit was in 1974 and assumed that building H2 was built in 1960. We know this is inaccurate because a circa 1934 home movie along with the 1994 Santa Clara Valley historic report show building H2 as being original to the site.
- g. The 1974 assessor report indicates that building 2 is a storage shed. The report also states that building 2 is estimated to be renovated and is deemed 78% good. Billiwhack Ranch has employed the same caretaker for over forty-five (45) years and he has always been and still is living in Building 2 so it was not a storage shed in 1974. **See exhibit C.** The Assessor clearly didn't go into the building and either copied the building label from a prior record, now lost, or stated what he thought it was. Proves unreliability.
- h. The Creamery is not listed on this record. The drawing of the Creamery is present but not labeled. It is crossed out and No Value is noted. This leaves only one Assessor over 90 years that states the use of the building and it is not accurate to the owner's use at that time.
- i. The dairy farm goes out of business in 1943 and the property is sold. Subsequent owners range from a Dude Ranch Developer to Defense Contractors to a Religious Academy until 1969 when the property is converted to citrus and avocado ranch. **See exhibit D** and presentation by the applicant.

We have provided the County with a great deal of research and evidence of the uses on the property from our research of historical newspapers, county recorder records, aerial photos, and people. These records have not been considered and the staff declare the property has always remained in agriculture use. If the county requires actual records to determine fact, they can't determine it was ever a dairy because there are no permits.

10. Background and Permit/Violation History; paragraph 3

In early 2019, the Code Compliance Division received a complaint that the property was being used for a commercial/industrial business without the required County permits or licenses. The Code Compliance Division issued a Courtesy Notice on March 25, 2019, advising the property owner of the alleged complaint. After the issuance of the Courtesy Notice, a considerable amount of communication occurred between the County and the property owner's representatives regarding the modifications made to several of the buildings on the property without the required County

permits. On May 25, 2019, the Code Compliance Division conducted a site inspection of the property and found unpermitted construction on the property (Exhibit 7).

Complaint made by an angry tenant that was inherited with the property, who stored and sold over a hundred motorcycles in a cow barn, and who we asked to move out. His complaint included running a business (false), renting for storage (false as we removed him and other unapproved uses). None of his accusations were true. What the code compliance officer found was existing issues we inherited when we purchased the property. We were in the midst of clearing out tenants who had 10s of years of accumulated items. One family member was living in the creamery and stored movie props which we had to clear. We rented (26) 40 yard dumpsters to clear all the accumulated material in these buildings. During that cleanup, H2 was "cleaned up" too far which is one violation caused by us and an infill wall and scabbed on electrical was cleaned up in the creamery. These were temporary and poorly done and were not original. We take responsibility for these as well.

Staff's exhibit 7 is a series of site photos from the inspection and we feel it's misleading. Only one of the photos in this exhibit is showing a violation.

The Code Compliance Officer did not find unpermitted construction on the property. She found unpermitted demolition of one structure.

10. Background and Permit/Violation History; paragraph 7

August 12th 2019 CHB Hearing One (1). Cultural Heritage Board (CHB) staff presented findings to approve a Certificate of Appropriateness (COA) for the project as submitted.

CHB supervisor Denise Thomas argued against the staff recommendation that was submitted. **See exhibit E.**

Board member at large Mr. Schaffer promoted the requirement of an historic report, even though we had a staff recommendation to approve.

Mr. Schaffer, along with, Ms. Thomas made a statement of fact that the California Historical Building Code (CHBC) may not be used on this project because The Billiwhack Ranch is not on the national register for historic buildings. **See exhibit F.** Mr. Schaffer compels the CHB board and the board votes unanimously to require an historic report. At the request of Mr. Woody, the board agrees to provide a recommendation for a permit for the structural repair of the Main Residence (building 4).

After the meeting, Mr. Schaffer contacts Mr. Woody by phone and by text message recommending his historian and 4 others. Highly inappropriate and intimidating. **See exhibit G.**

10. Background and Permit/Violation History; paragraph 8

On August 13, 2019, in response to the Cultural Heritage Board's direction, Planning Division staff issued a second Correction Notice (Exhibit 10) for Zoning Clearance Application No. ZC19-0684 advising the applicant that, among other corrections, the Cultural Heritage Board's requested changes must be reflected on the resubmitted plans. To date, the applicant has not resubmitted a revised project description or set of revised plans to address the August 13, 2019, Planning Division and August 12, 2019, Cultural Heritage Board's corrections regarding Zoning Clearance Application No. ZC19-0684.

Staff report claims that the CHB recommended a zoning correction notice **staff exhibit 10**. There is no record of the CHB recommending a correction notice

The CHB requested the addition of a missing window and correction of building 2 window sizes. These items were corrected for submission at CHB hearing 2. Staff report appears to be suggesting the CHB was commenting on the "mislabeling of drawings". They had no issue with the drawing labels.

10. Background and Permit/Violation History; paragraph 9

On August 14, 2020, in response to the approval by the Cultural Heritage Board to make structural repairs to the creamery building (Building 4), the applicant submitted Zoning Clearance Application No. ZC19-0896. On the same day, at the request of the applicant's representative, the Planning Division issued an Early Plan Review Agreement to allow the applicant to submit the project plans to the Building and Safety Division pending approval of Zoning Clearance Application No. ZC19-0896.

Subsequently, on August 29, 2019, Zoning Clearance Application No. ZC19-0896 (Exhibit 11), administrative Certificate of Appropriateness No. CH19-0027, and Building Permit No. B19-000857 (Exhibit 12) were issued to the applicant specifically for the repair of Building 4.

Staff neglects to mention the following:

Permit issued based on drawings submitted and clearly noting "*Building 4 structural repair of an existing 17,939 square foot main residence*". **See exhibit J**. We still had no idea that the labeling of the drawings was an issue.

Permit was issued as an R3 Occupancy, **See exhibit K**.

The permit drawings for the structural repair clearly defined all the building uses as submitted to CHB for review. **See exhibit L**. The labels had not changed and there was no indication they were mislabeled.

Staff report "*Planning Division Staff's Response*" claims Everett Woody was always told they could use the CHBC on the project. The use of the CHBC was not granted until April 3, 2020 by the Planning Director after numerous requests, a meeting with numerous staff members and our attorney, follow up by our attorney, and a letter from the State Architect obtain by us. **See exhibit H**.

10. Background and Permit/Violation History; paragraph 10

On September 9, 2019, the applicant's representative returned to the Cultural Heritage Board to apply for a Certificate of Appropriateness for the rest of the project (i.e., the "rehabilitation [and conversion] of existing structures" on the property) under Zoning Clearance Application No. ZC19-0684. However, the project description and site plan discrepancies had not been addressed by the board or by the applicant as requested in the July 9, 2019 and August 13, 2019 Correction Notices (Exhibits 8 and 10, respectively).

July 9th Notice states; The submitted photograph does not provide sufficient information to defend the applicants request for continuation of a non-conforming use within subject structure "H2" (as referenced in the violation).

Everett disagreed with planner's interpretation of the ordinance and the photographic evidence.

July 9th Notice states; "Submitted site plan indicates there are multiple buildings with various uses. Submit a floor plan and elevation plan for each structure.

July 9th Notice states; "Caretaker units are ministerial permits referenced in VCNCZO Sec. 8107-26, please provide information on exact areas "under crop" and how standards are met for caretaker units."

June 25th 2019. Everett Woody meeting with assigned planner Adrian Paniagua who agreed to allow both caretaker units if we provided proof of tree order to bring under crop to requirement. Everett Woody discussed the issue of the unavailability of trees due to the Thomas Fire and that Owner had trees on order but could not get an order for over 1000 trees. Planner said to submit the receipt, **See exhibit A.**

Additionally, the applicant's representative explained that the property owner opted not to provide a Historic Resources Report for the project, as required by the Cultural Heritage Board at its August 12, 2020 meeting, because the applicant stated, "the bids for the report were coming in too high."

The discussion was about the necessity of an historic report for a project where the changes are not seen from the street, whose changes are in the creating of new openings drawn to match existing and the modification of existing openings to change windows to doors also drawn to match existing, raising of the tower by a few feet, and changing the solid doors of one building to doors with glass, also matching the style of other doors in these buildings. The whole of the effect on the Creamery building was less than 2% of the exterior and only the tower could possibly be seen by the public. This degree of modification could have been determined by the board who had toured the site in person prior to the meeting. Our subsequent historical report is consistent with this fact. Project recommended. Project in keeping with the Secretary of Interiors guidelines. Even the tower modification was in keeping with the standards. We understood the request to be unnecessary.

September 9th 2019: CHB Hearing Two (2) Everett Woody presents the exact language from the CHBC to the CHB and we receive two votes. Still no mention from any county staffer that the buildings as described in our application and drawings had a problem with building descriptions or building 4 main residence.

Meeting minutes CHB 2 *"Ashley Cook presented a PowerPoint presentation outlining the project and the update since the August 12, 2019, meeting. No new action was recommended as CHB Staff deferred to the CHB."*

CHB decision. *"The CHB started to discuss tabling the item again, Denise Thomas recommended that the CHB either approve or deny the item. The item was tabled before and the applicant stated their client was not going have an HRR prepared; giving the applicant a decision allows the property owner to appeal if they wish."* **CHB votes no HRR no COA 3-2 denied.** No other issues stated. **See exhibit N.**

10. Background and Permit/Violation History; paragraph 11

From the end of September 2019 until December 19, 2019, the applicant did not communicate with the Planning Division nor the Code Compliance Division regarding the pending Zoning Clearance Application No. ZC19-0684 or the outstanding violations.

October 2nd 2019 Everett met with planner Adrian Paniagua to discuss submitting drawings for the interior remodel of the main residence (building 4). Staff claims this meeting never happened. **See exhibit P**

- a. Discussion that no exterior changes would be included in the scope of work.
- b. Everett stated that an Historian was retained for a future CHB submittal.
- c. Planner had no issues with regards to moving forward with the interior remodel.
- d. Still no indication of issues with the project.

The balance of this document represents the balance of the timeline of events that we feel is relevant to the lack of clarity we experienced. It also continues to support our assertion that there was never mention made that the drawings were improperly labeled until April 2020 and that the CHBC was not allowed on this project until April 3, 2020.

- 1. December 19th 2019 Interior remodel of the main residence building 4 submitted for zoning clearance and plan check.
 - a. Early plan review agreement received from planner Adrian Paniagua.
 - b. No issues and project intake completed.
 - c. No mention of a problem with building 4 or any other issues.
 - d. Submitted site plan shows building H-2 as under appeal. **See exhibit Q.**
- 2. January 24th 2020, Everett Woody received plan check comments from the County regarding the interior remodel (C19-1283).
 - a. Mechanical engineer indicated that the project required energy calculations (title 24), this requirement is not consistent with the CHBC, again showing project was not permitted use of the CHBC.
- 3. Early February 2020 Everett Woody makes 4 separate visits to the County regarding status of the zoning clearance application for the interior remodel (ZC19-1390).
 - a. Planner Adrian Paniagua not available and not returning phone calls or emails.
 - b. On February 11th 2020 Everett Woody met with planner Adrian Paniagua. Adrian was checking with CHB and would get back to Everett. Adrian did not get back to Everett.

4. February 13th 2020 met with plans examiner Paul Kim regarding title 24 requirements for historic buildings using the CHBC.
 - a. Everett received email from plans examiner Paul Kim that the code compliance officer Amanda Ahrens instructed the plans examiner Paul Kim to stop the review of the interior remodel immediately. **See exhibit R.**
5. February 13th 2020 met with planner Adrian Paniagua and he indicated that the CHB had concerns about preserving the ceiling murals.
 - a. Code compliance officer Amanda Ahrens takes over meeting and informs me that the main residence is not a residence and that I must provide more proof for the non-conforming structures before we can move forward with the interior remodel.
 - b. Amanda also informed me that the CHBC could not be used on this project because Billiwhack Ranch is not a national landmark.
6. February 14th 2020 met with the Building Official Ruben Barrera regarding use of the CHBC for the interior remodel. **See exhibit S.**
 - a. Building official Ruben Barrera said that he would instruct the plans examiner to send me link to upload new drawings for a CHBC review without charge.
 - 1) Everett uploads the drawings for review.
 - 2) Owner directs plan check to proceed at his own risk.
 - 3) Project was never reviewed using the CHBC per the Building Official instructions without explanation and the project is halted again.
7. February 14th 2020 met with senior planner Winston Wright and planner Adrian Paniagua to discuss my conversation with the code enforcement officer Amanda Ahrens on February 13th.
 - a. Winston informed me that after further review of the project, building H-1 guest house is over the allotted NZCO guest house area by 1,800 square foot by 400 square feet and because it is over the NZCO maximum building, building H-1 is now considered the main residence, rendering building 4 to a useless maximum living area of 1,200 square feet. Winston points to the inaccurate 1956 assessor report provided by Everett in the original 06.11.2019 application.
 - b. Winston accuses me of submitting fraudulent information to the county and that is why the project was halted. We asked about the structural repair permit for the main residence and he eluded to fraud again. The status of that permit has never been addressed in writing. Winston did say if we could prove the site was ever used for government research, would make his decision easier to approve. **See exhibit T.**
 - c. Adrian Paniagua and the staff report claim (see staff exhibit 15 – Zoning Correction Notice) that I was handed and emailed the correction notice by the CHB on 12.20.2019. Mr. Paniagua could not provide proof of email. Also, I was not in the country on 12.20.2019, so the contractor finished the submittal on 12.20.2019 for me. Furthermore, staff has the administrative authority to approve the interior remodel under Ventura County Cultural Heritage Board Resolution No. 2017-2.1. **See exhibit U.**

8. March 16th 2020 a meeting was held with planning director Dave Ward and staff along with Attorney Jim Smith, Nate Whitson and Everett Woody to discuss the entire history of the project. **See exhibit V.**
 - a. The meeting was a complete waste of time. Not one County employee listened with empathy to a single word by Everett and company. Not a single document from the provided Permit History Book rev. 4 we presented was addressed.
 - b. Dave Ward did state that he would investigate the language regarding the use of the CHBC on our project. The use of the CHBC was the predicate for our project moving forward. **See exhibit W.**
9. April 3rd 2020 Dave Ward sends out an email stating that CHBC can be used on our project. It becomes apparent that Dave Ward and Staff have ignored all the additional documentation provided to them in Permit History Book rev. 4 along with verbal conversations during the March 16th meeting as stated below.
 - a. Dave Ward and staff ignored Health and Safety Code Statute Section 18951 regarding change of occupancy as discussed in the march 16th meeting. **See exhibit X.**
 - b. Dave Ward and staff ignore Health and Safety Code Statute Section 17958.12 regarding issuance of a retroactive building permit. **See exhibit Y.**
 - c. Dave Ward and staff also ignored the Secretary of the Interiors Guidelines (SOIG) regarding change of occupancy as described in CHB ordinance 4225 Section – 1366-3 (c).
 - d. Staff report claims that building and safety only disregarded the use of the CHBC regarding the use of specific questions. Then why was the project reviewed using the regular building code?
 - e. Specific questions to Dave Ward and staff have never been answered.
 - 1) CHB ordinance 4225 sec. 1366-3 (c). **See exhibit Z.**
 - 2) Is the structural repair permit (B19-857) of the existing residence still active? The staff report states that the permit is still active. Therefore, we should be allowed to move forward with the interior remodel. **See exhibit L.**
 - 3) CHB ordinance 4225 sec. 1366-8. The 180 day rule. How does this section apply to our project? **See exhibit 1A.**
 - 4) Can we use the CHBC on our project? Finally answered by Dave Ward on 04.03.2020, only after spending \$30,000 on attorney and consultant fees. **See exhibit 2A.**
 - 5) Planning Commission and Board of supervisor hearing notices dated 1948 presented to staff in Renovation Project History book revision 4 has not been addressed. **See exhibit 3A.**
10. April 14th 2020 Senior planner Winston Wright emails a formal denial of our project signed by Dave Ward.
 - a. The staff report failed to answer the above 17.e.1)-6) questions.

11. April 21st 2020 an electrical permit application was submitted to the County to re-wire and update the electrical systems in Building 5.

- a. Electrical permit issued on April 22nd 2020.

12. Recap:

- a. Staff report states that building descriptions and uses provided to the county do not match assessor, building permit and Department of Parks and Recreation DPR records. Staff made no attempt to research a lost 1948 planning commission resolution allowing a special use permit, followed by building permit. Ignoring past property ownership and historic uses.
- b. Because building H-1 is over on area by 400 square feet, building 4 is not allowed residential use. Preservation of a resource or 400 square feet. Easy choice.
- c. Building H-2 was irreparably damaged simply by the age of the building and the lack of maintenance of the grade around the building. **See exhibit B.**
- d. Senior staff should not have allowed a re-review of our project after building permits and vesting in construction had already been started. Because initial staff were no longer employed at the county to explain their research and approval methods and justifications.



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
52303

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

**PLEASE SIGN
& RETURN**

ORDER DATE: 12/20/2018
ORDERED BY: Dave
RECEIVED BY: Andi
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
420	Lamb Hass Avocado on Clonal Duke 7	31.50	0.00	\$13,230.00	6/30/2019

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
3. California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
4. Shipping not included

Sub-total \$13,230.00
Citrus Assessment³ 0.00
Total \$13,230.00

THIS ORDER WILL BECOME EFFECTIVE WHEN SIGNED BY BUYER AND WHEN DEPOSIT IN AMOUNT OF \$ 13,230.00 IS RECEIVED BY SELLER. BUYER'S DEPOSIT IS NOT REFUNDABLE. IF DEPOSIT IS NOT RECEIVED IN 30 DAYS FROM ORDER DATE, THIS ORDER SHALL BE AUTOMATICALLY CANCELED. THE BALANCE OF THE TOTAL PRICE FOR EACH PLANT TYPE ORDERED WILL BE DUE AND PAYABLE IMMEDIATELY WHEN TREES ARE RECEIVED BY BUYER OR UPON PASSAGE OF TITLE, WHICHEVER IS EARLIER.

DEPOSIT: Amount Received \$ 0.00 as of Date 12/21/2018 Paid by CHECK HAS BEEN MAILED

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

1/10/19

DATED

BUYER SIGNATURE

Payment in full for Lamb Hass order is required at the time of placing the order. Please remit \$13230.00 within 30 days.

TRACY CORTEZ OWNER
Buyer name and title: (print)

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

Norma Favila
BROKAW NURSERY, LLC - SELLER
Norma Favila, Sales Manager



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
52303

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

ORDER DATE: 12/20/2018
ORDERED BY: Dave
RECEIVED BY: Andi
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
500	Hass Avocado on Clonal Duke 7	31.50	0.00	\$15,750.00	6/30/2019

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
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4. Shipping not included

Sub-total \$15,750.00
Citrus Assessment³ 0.00
Total \$15,750.00

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DEPOSIT: Amount Received \$ 13,230.00 as of Date 6/27/2019 Paid by Billiwhack Ranch LLC

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

DATED

BUYER SIGNATURE

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Buyer name and title: (print)

Norma Favila

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

BROKAW NURSERY, LLC – SELLER
Norma Favila, Sales Manager

6/27/2019

ORIGINAL SALES CONTRACT

Page 1 of 1



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
53252

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

ORDER DATE: 7/26/2019
ORDERED BY: Tracy
RECEIVED BY: Norma
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
420	Lamb Hass Avocado on Clonal Toro Canyon	* 36.30	0.00	\$15,246.00	6/30/2021

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
3. California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
4. Shipping not included

Sub-total \$15,246.00
Citrus Assessment³ 0.00
Total \$15,246.00

THIS ORDER WILL BECOME EFFECTIVE WHEN SIGNED BY BUYER AND WHEN DEPOSIT IN AMOUNT OF \$ 3,811.50 IS RECEIVED BY SELLER. BUYER'S DEPOSIT IS NOT REFUNDABLE. IF DEPOSIT IS NOT RECEIVED IN 30 DAYS FROM ORDER DATE, THIS ORDER SHALL BE AUTOMATICALLY CANCELED. THE BALANCE OF THE TOTAL PRICE FOR EACH PLANT TYPE ORDERED WILL BE DUE AND PAYABLE IMMEDIATELY WHEN TREES ARE RECEIVED BY BUYER OR UPON PASSAGE OF TITLE, WHICHEVER IS EARLIER.

DEPOSIT: Amount Received \$ 13,230.00 as of Date 9/9/2019 Paid by Transfer from SA 52303

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

DATED

7/26/19 Transfer \$13,230.00 from Order #52303

BUYER SIGNATURE

Buyer name and title: (print)

Norma Favila

* You are on a wait list for these items should they become available

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

BROKAW NURSERY, LLC – SELLER
Norma Favila, Sales Manager



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
53252

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

ORDER DATE: 7/26/2019
ORDERED BY: Tracy
RECEIVED BY: Norma
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
420	Lamb Hass Avocado on Clonal Toro Canyon	* 36.30	0.00	\$15,246.00	6/30/2021

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4. Shipping not included

Sub-total \$15,246.00
Citrus Assessment³ 0.00
Total \$15,246.00

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Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

DATED

7/26/19 Transfer \$13,230.00 from Order #52303

BUYER SIGNATURE

Buyer name and title: (print)

Norma Favila

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5501 Elizabeth Road, Ventura California 93004
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www.brokawnursery.com

SALES ORDER #
53252

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

PLEASE SIGN
& RETURN

ORDER DATE: 7/26/2019
ORDERED BY: Tracy
RECEIVED BY: Norma
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
1000	Hass Avocado on Clonal Toro Canyon	* 36.30		\$36,300.00	6/30/2021

Hi Tracy,
Please sign this revised contract for 2021.
Craig called and requested 1,000 Hass Toro Canyon.
Thank you. Norma

- These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
- This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
- California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
- Shipping not included

Sub-total \$36,300.00
Citrus Assessment³ 0.00
Total \$36,300.00

THIS ORDER WILL BECOME EFFECTIVE WHEN SIGNED BY BUYER AND WHEN DEPOSIT IN AMOUNT OF \$ 9,075.00 IS RECEIVED BY SELLER. BUYER'S DEPOSIT IS NOT REFUNDABLE. IF DEPOSIT IS NOT RECEIVED IN 30 DAYS FROM ORDER DATE, THIS ORDER SHALL BE AUTOMATICALLY CANCELED. THE BALANCE OF THE TOTAL PRICE FOR EACH PLANT TYPE ORDERED WILL BE DUE AND PAYABLE IMMEDIATELY WHEN TREES ARE RECEIVED BY BUYER OR UPON PASSAGE OF TITLE, WHICHEVER IS EARLIER.

DEPOSIT: Amount Received \$ 17,041.50 as of Date 12/12/2019 Paid by Transfer from SA 52303

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

1/4/20

DATED

REVISED

7/26/19 Transfer \$13,230.00 from Order #52303

BUYER SIGNATURE

TRACY CORTES, OWNER
Buyer name and title: (print)

* You are on a wait list for these items should they become available

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

NORMA FAVILA
BROKAW NURSERY, LLC - SELLER
Norma Favila, Sales Manager

12/12/2019

ORIGINAL SALES CONTRACT

Page 1 of 1

Everett Woody

From: Everett Woody <ejw@adcarch.com>
Sent: Tuesday, June 25, 2019 9:11 PM
To: 'Adrian.Paniagua@ventura.org'
Cc: 'amanda.ahrens@ventura.org'; 'ashley.cook@ventura.org'; 'Rick Cortez'; 'Tracy Cortez'; 'Billiwhack (rac)'; 'Nate Whitson'; 'Dean.Pthaneuf@ventura.org'
Subject: Billiwhack Ranch Renovation:
Attachments: Mud damage building H2.pdf

Hello Adrian,

Thank you so much for all the information you provided us in todays meeting. I wanted to get this email out memorializing our meeting this morning while still fresh in my mind.

I will memorialize todays meeting to the best of my recollection and notes by building:

- **Building 1A storage** and the former hotel excavation: It was brought up by Amanda that a re-roof was being done without a permit. I explained that some simple roofing emulsions were applied over the concrete deck where cracking had occurred. Also, Amanda recommended the excavation of the former hotel had to be covered up or fenced off until a future decision was made regarding any possible future reconstruction of the former hotel. In the end we all agreed this building 1A was existing and no violation occurred.
- **Building H1 guest house:** No issues.
- **Building 4 main residence:** Amada explained the formal complaint had identified that demolition had occurred without a permit. The complaint nor Amanda could identify exactly what had been demolished. With that said I explained that plumbing fixtures for the kitchen and bath room had been removed along with two partition walls without any electrical or plumbing associated with them. I also disclosed that a large amount of clothing and personal belongings that had been accumulating for over 75 years had also been removed.
Ashley Cook the planner for the Cultural Heritage Board (CHB) and Adrian Paniaqua associate planner assigned to our project agreed to work together in order to expedite a structural repair permit for this building. We also had consensus that no title 24 energy would be required on this building do to it's historic significance. However, the final say would need to come from the building official prior to occupancy or building permit issuance.
- **Building 2 caretaker dwelling:** Adrian explained that we would need to provide evidence of additional planting that would prove 80 acres was under crop in order to justify the continual use of Buildings 2 and H2 as dwellings under the current ordinance. I informed Adrian that the owner has over 1,000 trees on order and he requested a copy of the invoice and an updated planting plan. Further discussion included that both of the buildings exceeded the 1800 square foot ordinance allowance and the buildings would require some proof of its nonconforming use over the past 75 years.
I asked Ashley (CHB) if the board was interested in preserving the existing uses? I went on by questioning the role of code enforcement vs historic preservation by stating that both departments seem to have diametrically apposing missions regarding enforcement vs preservation. Code enforcement seems to be more interested in terminating the existing use while CHBs directive is to preserve them. I never really got an answer from CHB. Amanda added to the discussion by stating that the burden of proof was on us to demonstrate the historic use. I pointed out in my synopsis that we have a 75 year old septic system and construction techniques that supersede the 1947 ordinance enactment. Adrian said that an historic report would need to be provided to show conclusively that the building was used as a dwelling prior to the 1947 ordinance adoption.

- **Building H2 caretaker dwelling:** The discussion of this building had a lot of overlap with Building 2, with one distinction. Building H2 interior and exterior walls were damaged then removed without a building permit. Amanda explained that because more than 50% building H2s floor area had been removed, specifically interior and exterior walls. H2 would lose its nonconforming status. I asked Ashley (CHB) if the board would want H2 to be demolished in order to comply with enforcement? I don't think I really received an answer to this specific question. Only that I explained that enforcement and CHB seem to have opposing ideas on how to proceed. Amanda's supervisor Dean Phaneuf jumped in to say that they all want to work together with us to find solutions.
- **Site Electrical:** I said that the ordinance required zoning clearance for site electrical. Both Adrian and Amanda said they would get back to me on this.

My Conclusion:

I am requesting that Adrian Paniaqua submit formal comments to us in writing regarding the project as submitted.

Building 2: I do not see justification to have an historian provide additional documentation that has already been provided to you in my report. We have existing construction techniques and materials along with a 75 year old septic system that predate 1947.

Building H2: We have excellent historic documentation, photographs, newspaper articles, tax information, and a silent movie all predating 1947. But, most importantly The Santa Clara Valley Historic Report ordered by the County supervisors prove conclusively that this building existed prior to 1947. More importantly Sec. 8113-6.1.1 states the 50% rule would not be applicable to our project because the structure was **involuntarily damaged** (see the below in highlighted section). The attached photograph clearly demonstrates involuntary damage to this building because of a mud slide. Involuntary damage would also include 75 years of deferred maintenance i.e. dry rotted floor joists, walls and so forth. The roof, ridged steel frame and foundation of the building remain intact. I don't think it would be prudent or would be in the best interests of this historic building to apply a more restrictive interpretation of this ordinance. Dean proposed in our meeting that we are all looking for solutions to help this property comply with the current ordinance. This would be a good place to start.

Sec. 8113-6.1.1

*Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of 50 percent or less of its floor or roof area which existed before destruction, **OR is involuntarily damaged or destroyed in whole or in part, the structure may be restored to its original state existing before such removal, damage or destruction.** The occupancy or use of the structure or part thereof which existed at the time of the damage or destruction may be continued if a complete building permit application for a replacement structure has been submitted to the Building and Safety Division within a period of 12 months after the occurrence of the damage or destruction, and said building permit once approved is diligently pursued to completion prior to permit expiration.*

Thank you all for your kind consideration and expertise.

Regards,

Everett Jay Woody
 Angeli de Covolo, Inc.
 122 E. Arrellaga Street
 Santa Barbara, CA. 93101



Please consider the environment before printing this email.

ADDRESS Willoughby Road

SHEET 61 OF 13 SHEETS

DESCRIPTION OF BUILDING

CONSTRUCTION RECORD				EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD				RATING (E,G,A,F,P)						BATH & LAVATORY DETAIL												
Permit No. For		Amount	Date			Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con- form	Storage Cupb'd Closet	Space Closet	Work- manship	Fl.	No.	FINISH Floors Walls		FIXTURES Wc. La. Tub Gr. Type					SHOWER Grade St. Q.T.G.D. Finish		
			1926	26	1956	30	30	DR 60	78	G	G	G			G		1	Tile	GENC Tile	2	1			0	A			
																	1			2	1							
685-8															SPECIAL FEATURES													
															Refrigeration: Built-in Beds:													
															Elevators:													

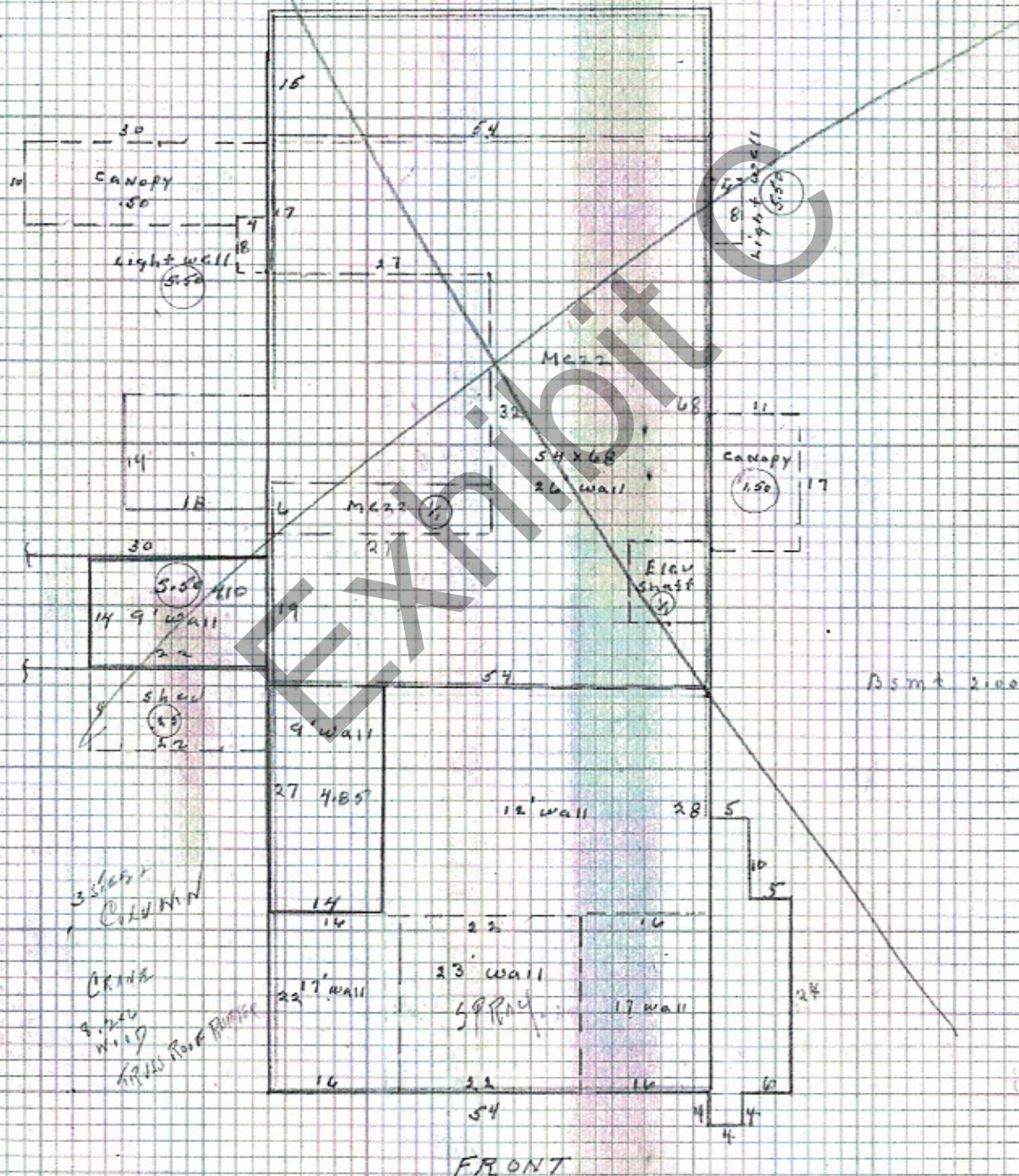
Building 4 Main Residence

MAP _____ COSE

12'	Wall	Area	@	6.50
24'	"	"	@	12.00
17'	"	"	@	7.25
17'	LCSS Floor			6.25
23'	Wall			8.25
MC22				5.00

Chain Link 6x30 @ 1.80

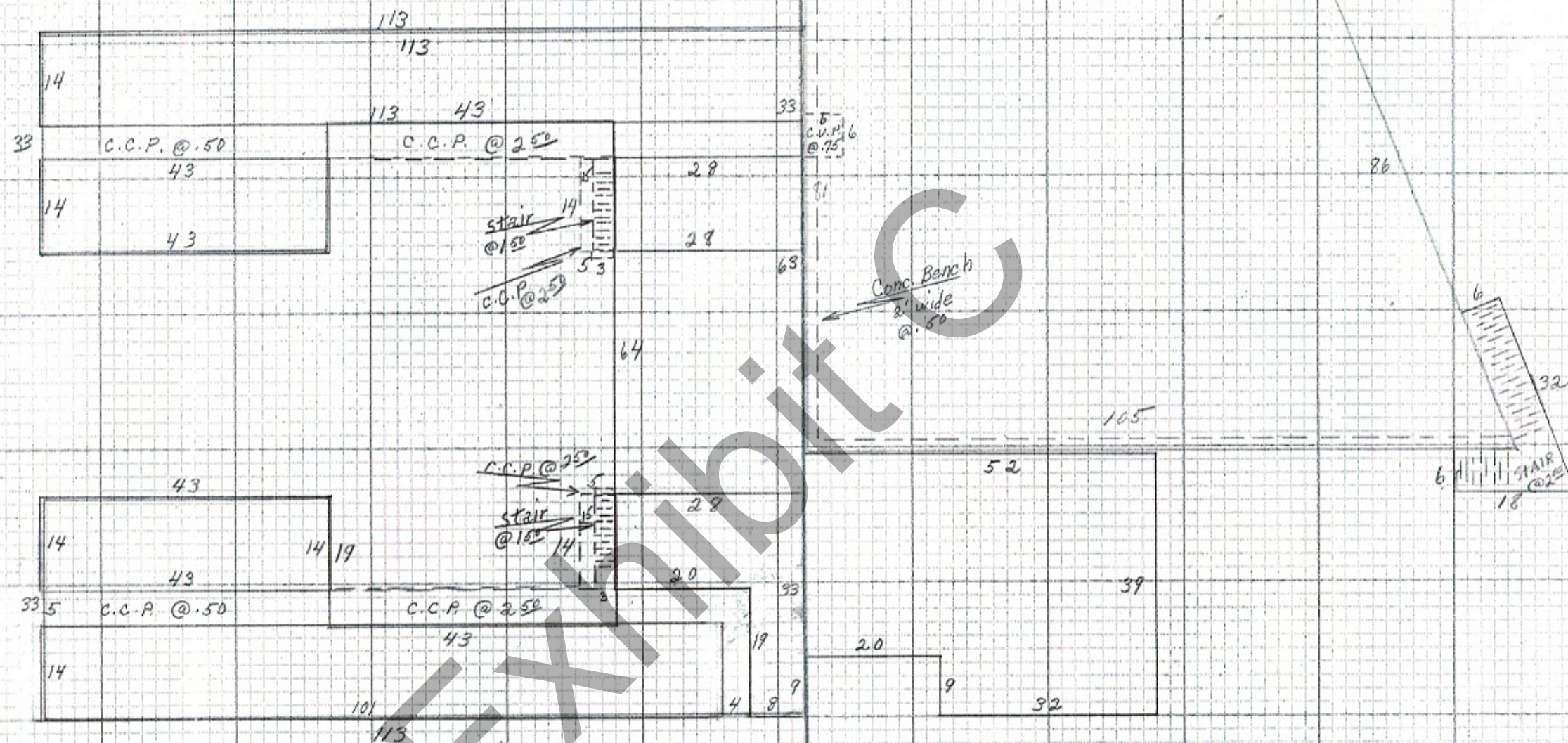
Building 4 Main Residence



NAME Houston-Fearless, Div of Color of America Inc.										COMMERCIAL BUILDING RECORD										PARCEL 06A-0-150=045									
LOT/b ELK CODE 83-04										ADDRESS Willoughby Road										SHEET / OF SHEETS 145									
M/SUB MAIN-Satiooy MAP 3A										DESCRIPTION OF BUILDING																			
CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	FRONT	LIGHTING		AIR CONDITION		ROOM AND FINISH DETAIL																			
						F.L.R.B.	Flat	Wiring	Heating	Cooling	ROOFS	FLOORS			FLOOR FINISH		TRIM	INTERIOR FINISH											
ARCHITECTURE		Light	X 2x4-2x Frame		Unfinished	Recessed	K.T.	X Conduit	Forced	Clean	B	I	J	Ty	To	Material		Grade		Nails	Ceilings								
		Sub-Standard			S.C.Brck	Transom	Bx.	X Cable	Gravity	Humid.	Store					Conc	A		unt	sane									
		Standard	X Concrete 12"		Br.				Fixtures	Wall Unit																			
		X Heavy	Brick Dry m.x						Few	Cheap	Floor Unit	Office																	
		Special	X Reinforced		Terra Cotta	Plate Glass in	Avg.	Med.	Zone Unit	Lobby																			
USE TYPE			Pilasters	X X X Stucco	Sheet Glass in	Many	Good	"Central"	Hall																				
Apartment		FOUNDATION	Gt Band Beam		Metal Wood																								
Garage		y Concrete	Curtain Walls		Bulkhead:					Lavatory																			
X Hotel			X Partitions:		ROOF			PLUMBING	Steam	Living																			
Loft		x Reinforced		Flat	X Hip		Poor	Good	Hot Water	Dining																			
Market			Party Wall		Trusses	Back Trim:				Bed																			
Office		Light x Heavy						Fixtures	Oil Burner	Both																			
Store			X Conc Floor					Water Heater	M-B.T.U.	Kitchen																			
Theatre			Wood Floor	X Composition sh	Lighting		Gas Electric			2nd Flr	X							un-fin	open!										
			Sub Floor	Title Trim	Drop Ceiling		Water Softener																						
CONSTRUCTION RECORD				EFFECTIVE YEAR		APPROVAL % GOOD				RATING (E,G,A,F,P)						BATH & LAVATORY DETAIL													
Permit No.		Amount	Date	YEAR	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Can-form	Storage Space Cupbd Closest	Work-shinship	FI.	No.	FINISH		FIXTURES				SHOWER						
				1954			ORLE		F	A	A			A			Floors	Walls	Wc.	La.	Tub Ur.	Type	Grade	St.	O.T.G.D.	Finish			
																	SPECIAL FEATURES												
																	Refrigeration:				Built-in Beds:								
																	Elevators:												
																	Sprinklers:												

COMPUTATION

GRP CONST _____ ADJ BASIC FACT _____



H2 Farm Worker Dwelling

ADDRESS

AL50 CYN. RD.

ZIP
CODE

PARCEL 064-0-130-025

SHEET 3 OF 8 SHEET

CLASS & SHAPE			CONSTRUCTION	STRUCTURAL	EXTERIOR		ROOF		LIGHTING		AIR CONDITION		ROOM AND INTERIOR FINISH DETAIL											
			Light	X Frame	X Stucco on CW	Flat	Pitch	Wiring		Heating	Cooling	Rooms	Floors			Floor Finish		Trim	Walls			Ceiling		
			Sub-Standard	" x " "		X Gable	M	K.T.	Conduit	Forced	Clean'g	B	T	2	Hw	On	Grade	Trim	Pl	Sr	Wd	Pl	Sr	Wd
D 6 A																								
ARCHITECTURE	X	Standard		Sheathing	Siding "x"	Hip	/4	B.X.	X Cable	Central	Humid.	All	X											
		Above-Standard		Concrete Block		Shed	/4	Fixtures		Gravity														
/ Stories		Special		B.&B.	T.&G.	Cut Up		Few	Cheap	X Wall Unit														
TYPE				Brick		Shingle		X Avg.	X Med	Floor Unit		Ent. Hall	2											
Use Design				Adobe		Shake	Roff. "x"	Many	Special			Living	2											
Single		X Concrete	X Floor Joist:	B.&B.	T.&G.	Gutters				Fireplace		Dining												
X Double E	X	Reinforced	1st: "x"					PLUMBING			Thermostat	Family												
Duplex		Brick	2nd: "x"	Brick		Shingle		Poor	Std.	Spec														
Apartment		Wood	Sub-Floor	Stone		Shake				Oil Burner		Bed	5											
Flat-Court		Piers	Concrete Floor	WINDOWS	X Tile			Sink				Bed												
Motel				D.H. X Casement	Tile Trim	X Laundry E		M-B.T.U.																
				Insulated Ceilings	X Metal Sash	Compo;		X Water Htt.-Auto.				Kitchen	2											
Units		Light Heavy	Insulated Walls	Screens "	Compo Shingle							Drain Board			Feet		Splash	Inches						

CONSTRUCTION RECORD

FFFF	ABBB	NORMAL % GOOD	RATING (E, G, A, F, P)
------	------	---------------	------------------------

Title	Form	Lino.	Title	Form	Lino.
-------	------	-------	-------	------	-------

BATH DETAIL E

Constructed 1926

COMPUTATION

[illegible]

11-15-78

H2 Farm Worker

RESIDENTIAL BUILDING RECORD

ADDRESS.

2275. Alsocyn Rd

ZIP
CODE 93060

PARCEL 064-0-130-142

SHEET 7 OF 8 SHEETS

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION		STRUCTURAL		EXTERIOR		ROOF		LIGHTING		AIR CONDITION		ROOM AND INTERIOR FINISH DETAIL													
		Light		Frame		Stucco on		Flat	Pitch	Wiring		Heating	Cooling	Rooms	Floors			Floor Finish			Trim	Walls			Ceiling		
		Sub-Standard		" x " "				Gable	4/12	X K.T.	Conduit	Forced	Clean'g		B	1	2	Hw	Op	A		Grade	Pl	St	Wd	Pl	St
C 6 A																											
ARCHITECTURE		X Standard		Sheathing		Siding " x "		Hip	4/12		B.X.	X Cable	Central	Humid.	All	X			X	A		X				X	
		Above-Standard	X	Concrete Block				Shed	4/12		Fixtures		Gravity														
/ Stories		Special		B. & B.	T. & G.			Cut Up			Few	Cheap	X Wall Unit														
TYPE				Brick		Shingle		Dormers		X	Avg.	X Med.	Floor Unit		Ent. Hall												
Use Design				Adobe		Shake		Raft. " x "			Many	Special															
X Single	X	X Concrete		Floor Joist:		B. & B.	T. & G.	Gutters					Fireplace		Living	1											
Double		X Reinforced		1 st : " x "				X Conc		PLUMBING			Thermostat		Dining	1											
Duplex		Brick		2 nd : " x "		Brick		Shingle		Poor	X Sd.	Spec.			Family												
Apartment		Wood		Sub-Floor		Stone		Shake					Oil Burner		Bed	5											
Flat-Court		Piers		Concrete Floor		WINDOWS			Tile		Sink				Bed												
Motel						D.H.	X Casement	Tile Trim		Laundry			M-B.T.U.														
				Insulated Ceilings	X	Metal Sash		Compo;		X	Water Hth-Auto.				Kitchen	1											
Units		Light	Heavy	Insulated Walls	X	Screens		Compo. Shingle							Drain Board	6	Feet			Splash	4	Inches					

CONSTRUCTION RECORD				EFFEC. YEAR		APPR. YEAR				NORMAL % GOOD				RATING (E, G, A, F, P)						Tile		Form		Lino.		Tile		Form		Lino.		
Permit		Amount	Date	1926	1924	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con- form	Storage Cupb'd	Space Closet	Work- minshp	Fl.	No.	Finish				Fixtures				Shower					
No.	For																		Floors	Walls	Type	Grade	Str.	Or.	Gd.	Ti.	C					
				1926	1924	48	12	R-50	38	A	A	A					1	1			Ar	X		X	1	1	0	A	1			C
SPECIAL FEATURES																																
																Exhaust Fan				Disposal				Built-in-Ref.								
																Oven & Range				Dishwasher												

COMPUTATION

[illegible]

[illegible][illegible]
$$56 \times 42 = 2352$$

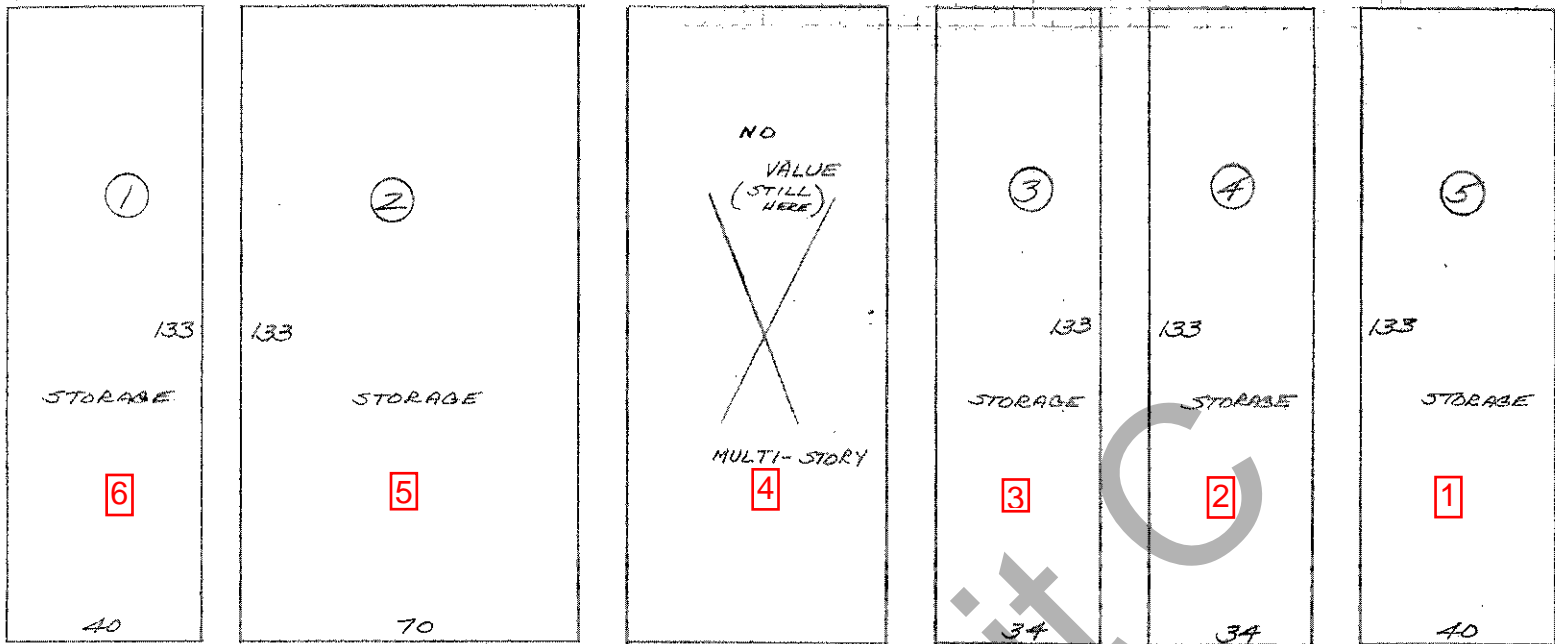
56

SHEET 4 OF 8 SHEETS

RES.
HERE
H2

1/4 SCALE

RES.
HERE
H1

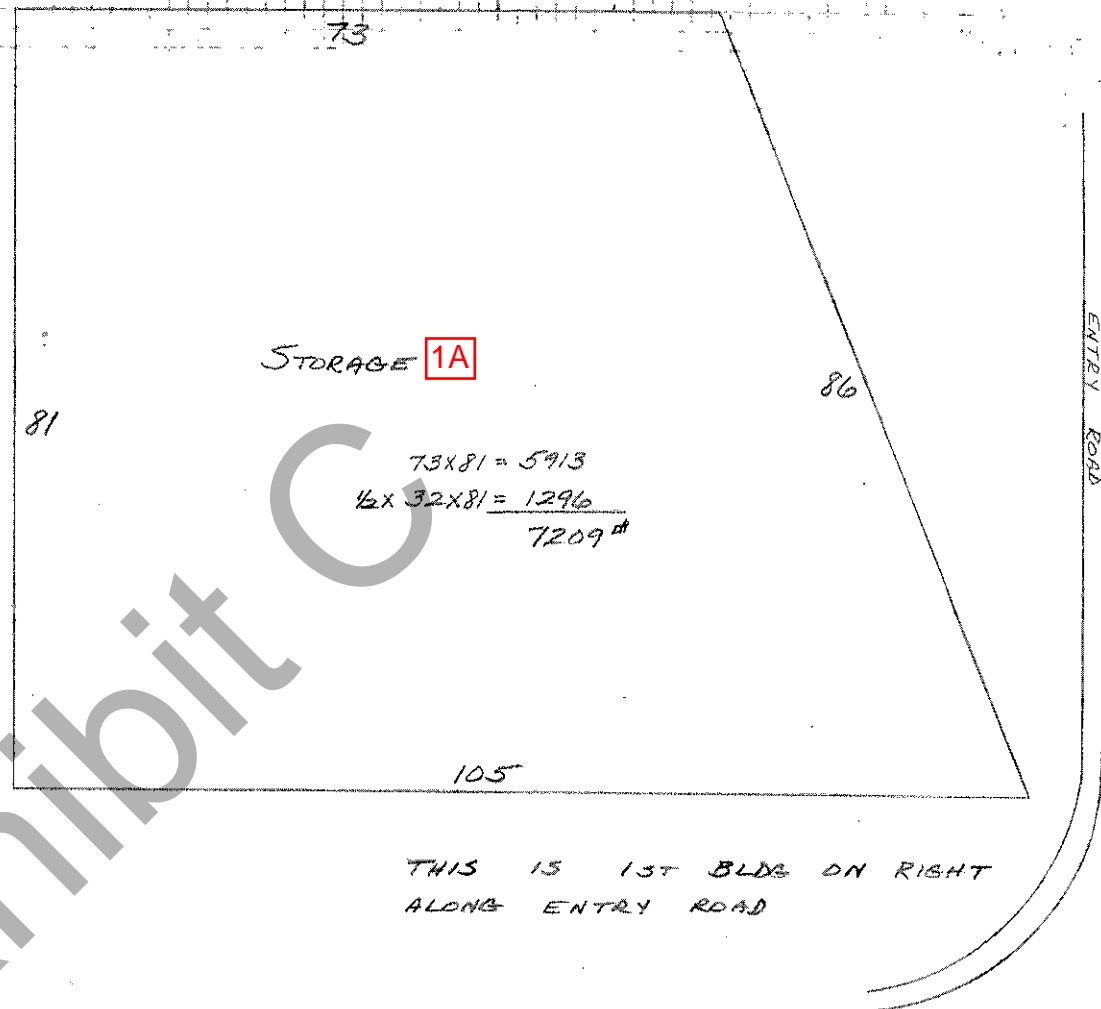


COW SHEDS HERE
(N.Y.)



3 SILOS HERE ON HILLSIDE (N.Y.)

LARGE 2-STORY BLDG HERE
IN VERY POOR COND. - NO VALUE
SEE CANCELLED RECORDS.



LOCATED IN ORCHARD.

Billiwhack Dairy

Billiwhack dairy began operation in 1934 and ceased operation in 1943



George Pezold

The dairy was then sold to George Pezold in 1943

George Pezold began construction of a Dude Ranch

Horse Track



DUDE RANCH DREAM, 1940s. George Pezold, owner of the Santa Paula Super Market, also owned all or part of the Billiwhack Ranch in nearby Aliso Canyon. Born in Brooklyn, he came west as a young man and fell in love with the Wild West. The ranch inspired him to create a Western-style fantasyland for others to share and enjoy. This is a rendering of his planned resort with mechanical rides and lodging set in the wide-open spaces. Unfortunately, ill health robbed him of his visionary dream.

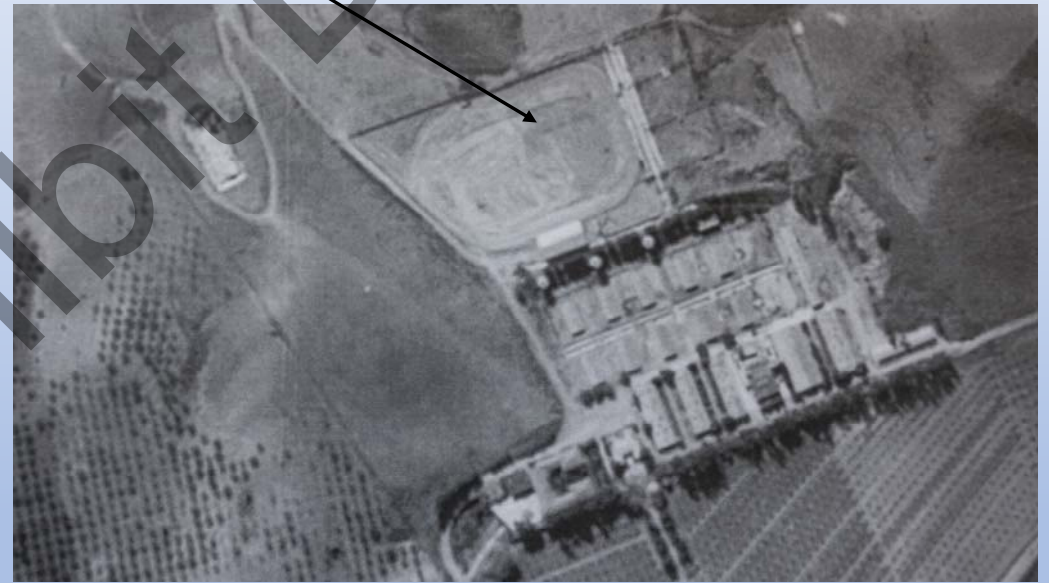
George Pezold

We know some construction of the Dude Ranch from aerial photographs

Horse Track



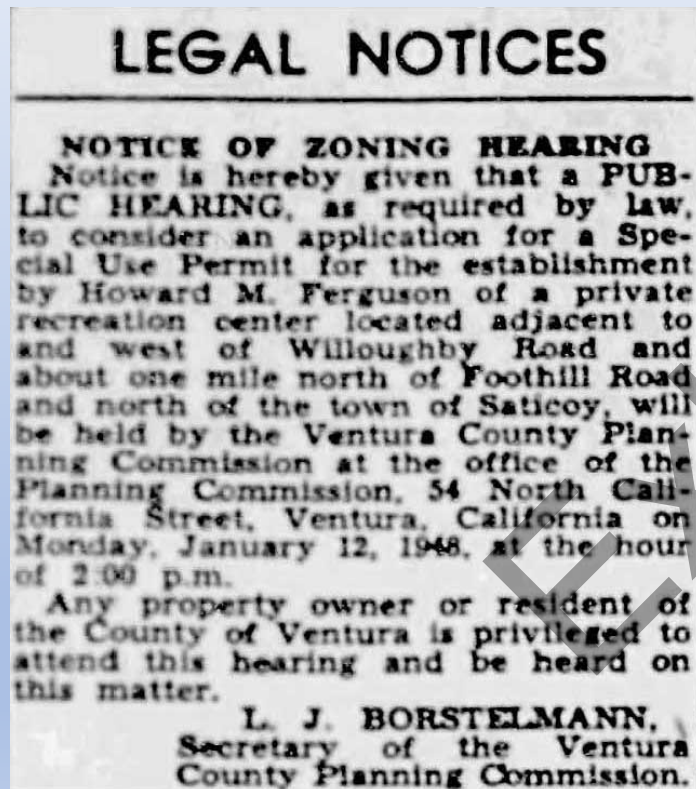
1945



1946

Howard Ferguson

Howard Ferguson purchases property in 1946 and in 1948 he applies for a Special use Permit for a private recreation Center.



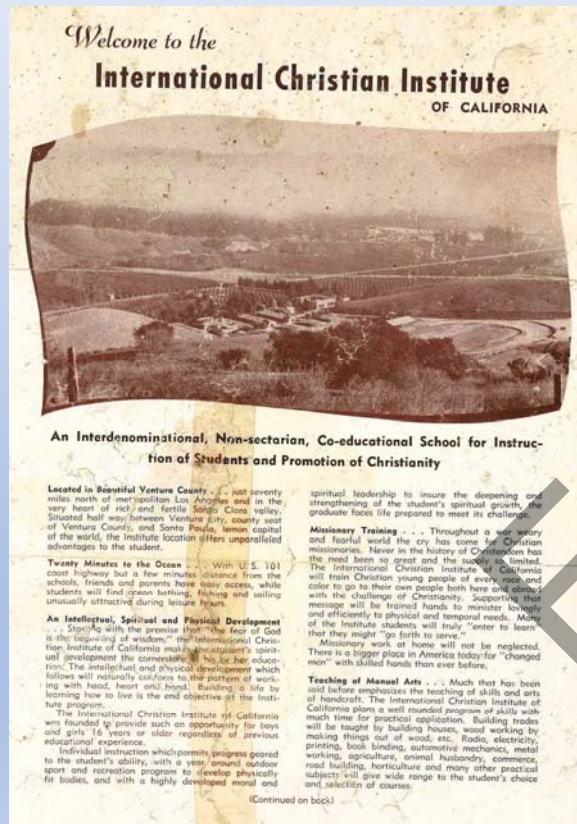
Planning Commission 02.12.1948



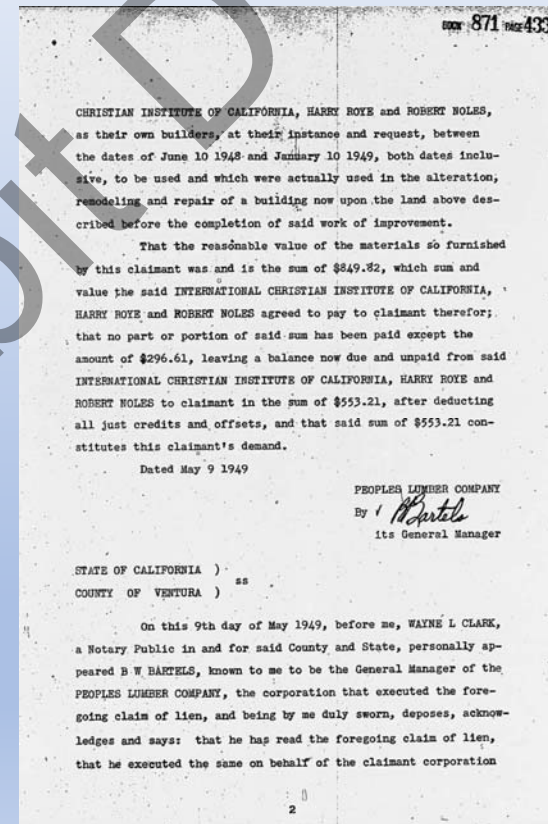
Board of Supervisors 03.22.1948

Harry Roye

Harry Roye purchases the property in May of 1948 and opens the Christian Institute and Retreat.



Christian Institute Pamphlet



Lumber Company Lien

Pacific Electronics

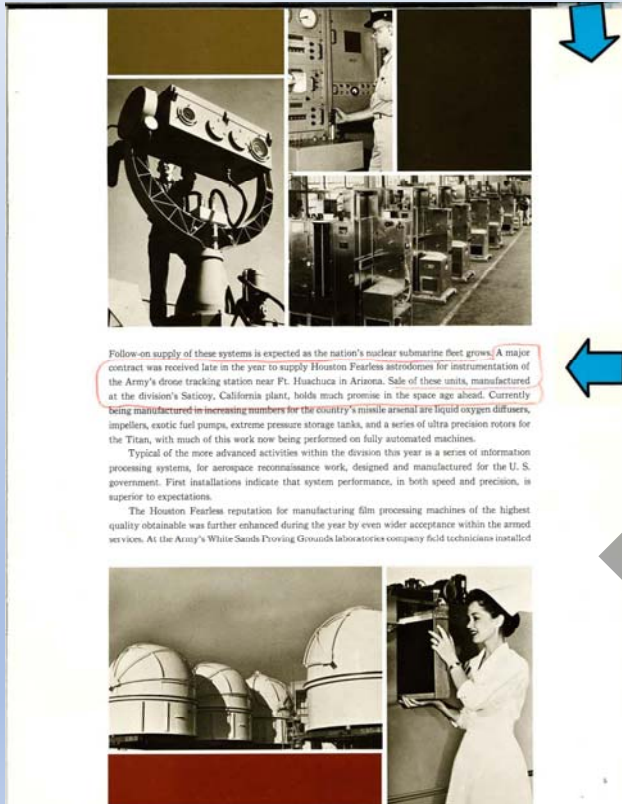
Pacific Electronics is awarded a 4 million dollar government contract and purchases the property in April 1954

A \$100,000 rebuilding program would transfer the Billiwhack Dairy Farm into Pacific Electronic Co., an electronic and tube manufacturing company which would employ more than 1,000 persons to fill \$4 million worth of military contracts. The new owner planned to complete a 50-room hotel, begun by the former dairy owner, to house key personnel. Also planned were a commissary, baseball diamond and tennis courts. The company spokesman noted that television sets would be manufactured after the defense contracts were filled.

As reported in Local Newspress

Houston Fearless, Corp.

Houston Fearless purchases the property in 1959 and continues manufacturing and development of military hardware.



Follow-on supply of these systems is expected as the nation's nuclear submarine fleet grows. A major contract was received late in the year to supply Houston Fearless astrodomes for instrumentation of the Army's drone tracking station near Ft. Huachuca in Arizona. Sale of these units, manufactured at the division's Saticoy, California plant, holds much promise in the space age ahead. Currently

Houston Fearless Press Release

Transcription.

[Member Schafer] The most important part of all of Judy's. 523 forms is this really boring one at the very end with no photographs. That is the district record. So I want to state on the record that I think everything is a district in the way that [inaudible] has told me. And the way I remember how to operate under a district is the district is the property. So we're not looking at any one building we are always looking at how it affects the district. It's definitely a district and my opinion is it's probably a national register eligible district and I think before any work is done if there is a condition or if conditions are to be put on this historic American building survey photography should be done because what I did was basically a quick record of what needs to be captured before it changes. I think. There's a lot of value showing it as is and putting that in the Library of Congress before it changes. And I think there can be varied changes that so I'm not opposed to that. I also can't imagine this doesn't need a discretionary permit at some point at the end of this and if it does the whole of the action becomes discretionary.

[Denise Thomas] Correct.

[Member Schafer] And it's so I think [inaudible].

[Denise Thomas] So here's Denise Thomas planning in response to that comment. So essentially what they've done is they're coming in for a piece of an overall project. And the way that CEQA is interpreted is the whole of the action once a discretionary permit is required the whole of the action becomes important and you have to evaluate for environmental impact reasons the whole of the action. And right now they're in for a certificate of appropriateness. But if at the end of it say for instance some sort of discretionary permit is required a CUP or some sort of a permit that requires the planning director approval Planning Commission approval or for a supervisor approval then this is subject to CEQA. And then you will have to do a CEQA determination whether or not the impacts of what they want to do will adversely impact the resource. We seem to be in front of that because right now you're only getting a piece of it. They want a COA to do the interior remodel and to change out these doors and windows. If at the end of this it's determined that for them to have those caretaker units that they want or for them to be able to change the site they need some sort of a discretionary permit. Then it changes what your review is. And you could have approved the COA prior to doing any kind of CEQA analysis and so it's the cart. It could be construed as the cart before the horse. It's unclear at this stage what. Which one is going to come first because the owner could say I just want to do this renovation and stop. Well if they only want to do this renovation and stop you're only reviewing this is a COA. But if they want to do something more than this renovation like make those two caretaker units and they exceed what the ministerial limits are in our code then all of a sudden it's a different review for you. And so you do have the ability to place conditions on the COA. That's the good news. So in the event that a discretionary permit is required you know you could trigger your COA approval possibly. But at this stage what's in front of you right now is not a CEQA analysis

it's a certificate of appropriateness for these renovations. And that's what you are charged with reviewing.

[Member Schafer] So the second part of that is I'm saying. [inaudible] As well as I can't see them doing major structural repairs under the secretary of interior standards because they would require either the historic building code Or new code. New codes going to destroy more things that are there. Historic Building Code is only applicable To certified buildings. So It's not certified.

[Denise Thomas] No it's not.

[Member Schafer] So that means that, No bueno there.

[Denise Thomas] You could condition it. If the applicant certification or being designated as a county landmark or national or state landmark is within the board's purview. And it's also the applicants choice. So the applicant can come voluntarily and say we want a landmark. This is a district. And then that could get them the historic building code would kick in. And this is a shameless plug but that's the topic that you're going to be discussing when we do our training our CLG training is going to be on this historic building code. They could do that and that would back them in. Could back them into the historic building code. They choose not to. The board has the ability to designate a district over the objections of the applicant as long as the applicant is given advance notice. We have never done that because we'd like to work with property owners as opposed to setting up an adversarial situation. But it is possible. So That's my input

State of California

HEALTH AND SAFETY CODE

Section 18955

18955. For the purposes of this part, a qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state **or local historical registers** or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction.

(Amended by Stats. 2003, Ch. 504, Sec. 5. Effective January 1, 2004.)



Schaffer Text

Everett Woody

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 03, 2020 4:31 PM
To: Everett Woody
Subject: FW: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

For your information, please see below email exchange.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: James H. Smith
Sent: Friday, April 3, 2020 4:30 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good Afternoon Ms. Porche:

Thank you for your email. For whatever reason, I believe several individuals involved in this matter, certainly not yourself nor Mr. Ward, have had an inexcusable agenda, lack of understanding regarding their role and lack of knowledge regarding the applicable law involved. Moving forward, I believe it would be in everyone's best interests if the County could excuse Amanda Ahrens and Denice Thomas from further involvement in this Project. How those 2 individuals, in the positions they hold with the County, could have so misunderstood the application of the Historical Building Code to this project is an absolute mystery, which cost my client tens of thousands of dollars.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: Porche, Marina [<mailto:Marina.Porche@ventura.org>]
Sent: Friday, April 3, 2020 4:15 PM
To: James H. Smith <james@rogerssheffield.com>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good afternoon Mr. Smith,

Without agreeing with your characterization of the County's course of conduct, I appreciate the additional information that you have set forth in your email. I am copying Principal Assistant County Counsel Jeffrey Barnes and Assistant County Counsel Charmaine Buehner on this reply, because after Mr. Ward asked me to provide a legal opinion during that meeting, County Counsel management determined that others within the County Counsel Office could more appropriately respond to Mr. Ward's request. Mr. Barnes and Ms. Buehner are involved with that effort. I want to provide Mr. Barnes and Ms. Buehner with the benefit of the information that you have presented in your email, and I defer to them to determine who should further respond to your email.

Regards,

Marina Porche
Assistant County Counsel
800 South Victoria Avenue, L/C #1830
Ventura, CA 93009

Tel (805) 654-2583
Fax (805) 654-2185

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 3, 2020 3:56 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>
Subject: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Good Afternoon Ms. Porche:

The purpose of this email is to follow-up on the meeting we attended regarding the above referenced project on March 16, 2020. As you are aware, due to indecision by County, and conflicting positions by its various departments, the County has failed to further review the Project and has refused to issue the requested *Certificate of Appropriateness*. From our meeting of March 16, it is clear that the County is struggling with whether the Project to restore the historic structures does or does not fall under the Historic Building Code and, to a lesser degree, whether the main structure was or was not used as a main residence. This position seems to be perpetuated by several individuals that were attending the meeting that, in my opinion, were less

than informed regarding the applicable law. This of course is curious as a permit was issued allowing application of the Historic Building Code for structural repairs to the "main residence (Building #4)". That permit has not been revoked. Additionally, substantial documentation has been provided to the County, including a *Historical Resource Report*, all of which overwhelmingly establish the historical significance of the buildings and the use of Building #4 as a main residence.

At the conclusion of our March 16 meeting, it was my understanding that David Ward requested you to provide an opinion as to whether the Historic Building Code applies to the structures in question. I understood you would be making that determination within 2 weeks of our meeting of March 16, 2020. To date, I have not been informed that any progress has been made with respect to the foregoing. Additionally, no one at the County is responding to my client's inquiries regarding this matter. I certainly understand that you would like to carefully look into the issue. However, given the facts and circumstances, together with the documentation provided, it does not seem to be an overly complex issue.

Simply stated, our client believes the structures on the site may be restored using the California Historical Building Code. The grounds for qualification require the buildings to be designated as a historical building or structure. Under Section 18955 of the Health & Safety Code, a qualified historical building or structure is:

"...any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction."

As is apparent from the foregoing section, a property or structure qualifies for the California Historical Building Code if it is on a state or county register of inventories of historical or architectural significant sites. Our client's property and structures appear as a "Site of Merit" on an official county inventory of historical sites, **and are listed in a state record of historical resources**. Therefore, the Ranch and its structures qualify as a historical property and structures under Health and Safety Code section 18955.

The failure of the County to apply the applicable law to this Project, and issue the necessary approvals and permits, which the County is charged with responsibility to do, is costing my client a considerable amount of money arising from being denied the use of the property, which is slowly morphing into a taking by the County of Ventura. It was my understanding that we were attempting to work together to allow this Project to proceed thereby protecting the historic character of the property. Unfortunately, it appears several individuals in the County are doing everything possible to delay and increase the cost of this Project. Not only is that wrong, it is also contrary to Section 8107-37.1 which is very clear in its dictates when it comes to Cultural Heritage Sites: "*The purpose of this designation is to promote the enhancement, preservation, rehabilitation, restoration, reconstruction and maintenance of sites and structures of historical and cultural heritage value through the imposition of design standards. Fulfillment of this purpose can be impeded by strict adherence to various standards in the Zoning Ordinance. Therefore, this section promotes the stated purpose by creating a mechanism whereby appropriate deviations from the regulations of this chapter can be granted.*"

Finally, if there is any remaining doubt regarding the application of the Historic Building Code to this Project, I encourage your review of the attached letter, dated April 2, 2020, from the State Historical Building Safety

Board, which states the obvious ***"Assuming that all buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by Definition of the California Historic Building Code (see HBC), and therefore eligible for use of the CHBC."***

Given the foregoing, further delay is simply unacceptable to my client. I would appreciate hearing from you regarding this matter at your earliest convenience.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

☎ 805.963.9721 ☎ 805.845.2356

rogerssheffield.com

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Exhibit H



STATE HISTORICAL BUILDING SAFETY BOARD

April 2, 2020

Mr. James H. Smith, Esq.
Rogers, Sheffield & Campbell, LLP
152 East Carrillo Street
Santa Barbara, CA 93101

Re: Billiwhack Ranch, Ventura County – Request for Opinion Regarding Qualification of Historical Property and Structures

Dear Mr. Smith

This letter is in response to your request for an informal opinion regarding qualification of certain buildings on the 100-acre ranch in Ventura County known as the "Billiwhack Ranch."

I have reviewed your request and attachments provided by your letter dated March 19, 2020. Based on the letter and attachments, the Billiwhack Ranch was identified as a Site of Merit in the County's Historical Resources Survey, and the all structures on the ranch were awarded National Register ratings of 3D (appears to be eligible as a contributor to a National Register eligible district). Assuming that all the buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by definition of the California Historical Building Code (CHBC), and therefore eligible for use of the CHBC.

Should you have any questions, please contact Derek Shaw, Executive Director of the State Historical Building Safety Board at (916) 324-7178.

Sincerely,

Alan Dreyfus, Chair
State Historical Building Safety Board



Ventura County Cultural Heritage Board Minutes

August 12, 2019 at 1:15 p.m.– Item 3b

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **11:00 A.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 2275 ALISO CANYON ROAD, SANTA PAULA, CA 93060 (BILLIWHACK RANCH)**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

A quorum could not be established, meeting was not called to order. The tour was still given to Staff and CHB members present however, CHB members present were instructed that they could not have any discussion or ask questions.

3. **1:15 P.M. CONVENE THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 800 S. VICTORIA AVENUE, VENTURA, CA 93009 (VENTURA COUNTY GOVERNMENT CENTER, ADMINISTRATION BUILDING, ATLANTIC CONFERENCE ROOM, SECOND FLOOR).**

4. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Gary Blum, John Kulwicz, Ricki Mikkelsen and Stephen Schafer.

CHB Members Absent:

Miguel Fernandez, Phil Englander, Darwin McCredie

Staff Present:

Denise Thomas, Cultural Heritage Program Manager

Ashley Cook, Cultural Heritage Planner.

5. **APPROVAL OF AGENDA**

- 6.a. **Vote to approve the July 12, 2019 Agenda**

CHB Member Mikkelsen made a motion to approve the agenda. CHB Member Kulwicz seconded the motion. Motion Passed; 4-0.

7. **PUBLIC COMMENTS**

8. **CONTINUED ITEMS**

None.

9. **NEW BUSINESS**

9.a. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No. CH19-0021)

Disclosures:

CHB Member Schafer disclosed that he was in attendance at the tour earlier in the day. CHB Member Kulwiec disclosed that he was also in attendance at the tour earlier in the day as well.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos as well as the history of the site. He answered questions from the CHB members.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

1. **CONDUCT** public hearing, **RECEIVE** oral and written testimony, and **CONSIDER** the County Planning staff report and all exhibits and attachments hereto; and,
2. **MAKE** the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.
3. **Based on the preceding evidence and analysis, APPROVE** a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Photo Presentation by CHB Member Schafer

CHB Member Schafer presented the photos taken during the tour earlier that day at the project site.

Deliberation and Recommendation:

CHB Member Schafer asked the applicant questions regarding the significance of some the character defining features. CHB Member Schafer had concerns with removing the original Dutch doors on Building 2 as they could be considered character defining features. CHB Member Schafer agreed with Staff that the tower element should not be raised as this could create conjectural feature. CHB Member Schafer mentioned that without

Angeli de Covolo, Inc.
122 E. Arrellaga Street
San Jose, California 95101
(408) 293-1693

PROJECT DATA

- ### VICINITY MAP

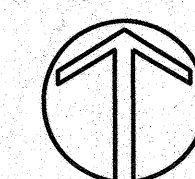
ALL FINISH COLORS AND MATERIALS TO MATCH EXISTING.

This set of plans and specifications MUST be kept on file at all times and it is unlawful to make any changes or alterations on same without written permission from the Building Inspection Dept., County of Ventura. The stamping of this plan and specifications SHALL NOT be held to permit or as approval of the violation of any provisions of the County Ordinance of State Law.

SCOPE OF WORK

BUILDING 4 STRUCTURAL REPAIR OF AN EXISTING 17,939 SQUARE FOOT MAIN RESIDENCE.

APPROVED
AUG 29 2019
Resource Management Agency
Division of Building & Safety
Ventura County



NO.	REVISION	DATE
△		
△		
△		
△		

BILLIWHACK RANCH
 2275 ALISO CANYON ROAD
 SANTA PAULA, CA 93060

BILLIWHACK RANCH BUILDING 4 STRUCTURAL REPAIR

JTB COPY

SHEET CONTENTS
TITLE SHEET

DRAWN	CHECKED
PROPERTY NO. —	
DEVELOPMENT NO. —	
PROJECT NO: 2275	
DATE: 08.08.2019	

SHEET NUMBER
A-1



COUNTY OF VENTURA
RESOURCE MANAGEMENT AGENCY
PLANNING DIVISION

EARLY PLAN REVIEW AGREEMENT

Your initials and signature on this form signifies your acceptance of the terms of this Agreement

APN: 064-0-130-145

Address: 2275 Aliso Cyn Rd

Case No.: 2019-0896

ATTACHMENTS (if applicable):

- ☐ Preliminary Site Plans
☒ Preliminary Floor Plans
☒ Preliminary Elevations Plans

I, _____, hereby request that my construction plans be submitted to the applicable Division (check below those agencies that apply to your case).

☐ **COUNTY BUILDING AND SAFETY DIVISION** for plan review prior to action being taken on my: (check one)

☐ Cultural Heritage Board Permit or ☐ Preliminary Legal Lot Determination based on the following:

1. I agree to pay all necessary Building and Safety Division plan review fees and I understand that these fees are non-refundable.
2. I understand that no Building Permit will be issued until my discretionary permit (or Preliminary Legal Lot Determination) has been approved and a Zoning Clearance has been issued.
3. I further understand that my discretionary permit (or Preliminary Legal Lot Determination) may not be approved, in which case my plan review fees will not be returned.
4. I acknowledge that this plan review will not establish a "vested interest" with respect to the discretionary permit or establish any right to a Certificate of compliance under Government Code Section 66499.34 (3rd paragraph).

Initial: _____

☐ **COUNTY ENVIRONMENTAL HEALTH DIVISION** for Individual Sewage Disposal System (ISDS) plan review prior to action being taken on my: (check one)

☐ Discretionary Permit or ☐ Preliminary Legal lot Determination based on the following:

1. I agree to pay all necessary Environmental Health Division plan review fees and I understand that these fees are non-refundable.
2. I understand that no ISDS Permit To Construct will be issued until my discretionary permit) or Preliminary Legal Lot Determination has been approved and a Zoning Clearance has been issued.
3. I further understand that my discretionary permit (or Preliminary Legal Lot Determination) may not be approved, in which case my plan review fees will not be returned.
4. I acknowledge that this plan review will not establish a "vested interest" with respect to the discretionary permit or establish any right to a Certificate of Compliance under Government Code Section 66499.34 (3rd paragraph).

Initial: _____

Applicant Signature _____

A. PANIAGUA
Case Planner Signature

8/14/2019
Date

805-654-2451
Extension



COUNTY OF VENTURA

DIVISION OF BUILDING & SAFETY

Ventura Office Inspection Line (805) 654-2791
East County Office Inspection Line (805) 582-8063

BUILDING PERMIT: B19-000857

Issuing Office:	WCO	Issued by:	M Aldana	Zoning Clearance:	ZC19-0896
Date Applied:	08/29/2019	Date Issued:	08/29/2019		

SITE INFORMATION:

Project Address: 2275 ALISO CYN RD APN: 0640130145 Lot No.: 1 Track No.:
Locality: SANTA PAULA

Owner: BILLIWHACK RANCH LLC 3048 N COOLIDGE AV
Phone No.:

Contractor: N M CONSTRUCTION 2651 BAYSHORE AVENUE, VENTURA, CA 93001
Phone No.: (805) 479-7405 State Lic. No.: 944761

Designer:
Phone No.: State Lic. No.:

WORK DESCRIPTION:

Repair concrete roof, façade and walls, like for like. Reference CV19-00100

BUILDING INFORMATION:

Constr. Type:	Occupancy:	R-3	No. Stories:	1
No. of Bdrm.:	Building Area:	0	Sprinklers:	
High Fire Area:	PT Slab:		Compliance Review:	
Shell Building:	Struc observe:		Soil Bearing Pressure:	
Soil Exp. Index:				
Total Landscaping Area (sq ft.):				
MWELO Compliance:				

Total Permit Fees: \$1,443.98

Valuation:

Occupancy:	Type:	Factor	Square Feet	Value
Accessory Structures	Metal Bldgs & Sheds	\$21.40	520	\$11,128.00
Foundations/Slabs	Footing and slab (sq.ft)	\$24.40	744	\$18,153.60
Total Valuation:				\$29,281.60

SEE REVERSE FOR LEGAL DECLARATIONS



COUNTY OF VENTURA
RESOURCE MANAGEMENT AGENCY
BUILDING AND SAFETY DIVISION
INSPECTION RECORD CARD

Issuing Office: **WCO**

Record Number: **B19-000857**

Date Issued: 08/29/2019

Project Address: **2275 ALISO CYN RD**

Owner: BILLIWHACK RANCH LLC

Address: 3048 N COOLIDGE AV

Contractor:

Address: 2651 BAYSHORE AVENUE, VENTURA, CA 93001

Phone Number: (805) 479-7405

License Number: 944761

Project Description: Repair concrete roof, façade and walls, like for like. Reference CV19-00100

Inspection requests can be made 24 hours a day by voicemail at the inspection line.

West County Office (Ventura) (805) 654-2791

Inspection request must be submitted/called in before 4 p.m. the previous day to have a next day inspection. When a request is received after 4 p.m., the inspection will not be scheduled for the next business day.

When requesting an inspection, please provide the following:

- (1) Record Number
- (2) Project Address
- (3) Area / Locale (i.e. Oxnard, Camarillo, Piru, Somis)
- (4) Type of Inspection (i.e. Rough Plumbing, Rough Electrical, etc.)
- (5) Inspection date requested

Due to varying workloads, AM or PM requests cannot be accommodated.

The approved construction plans must be on the job site when the inspector arrives, otherwise the inspection will not be conducted.

Inspectors are available via telephone to verify estimated inspection time between 7:30 a.m. and 8:00 a.m., Monday through Friday.

West County Office (Ventura) (805) 654-2771

(See reverse for inspection record)

Visit our Website: <http://www.vcrma.org/buildingsafety>

Inspection Record Card must be onsite for all inspections

Inspection Type	Initial	Date
Zoning / Setbacks		
Foundation		
Storm Water		
Slab		
Caissons		
Erection Pad		
Grade Beams		
Column Templates		
Floor Frame/Sheath		
Floor Insulation		
Roof Frame/Sheath		
Shear		
Pre-Wrap		
Rough Frame		
Insulation		
Shower Lath / Backer		
Interior Lath / Drywall		
Exterior Lath / Siding		

Inspection Type	Initial	Date
Location		
Excavation		
Steel / Bonding		
Re-circulation Piping		
Light Conduit		
Hydrostatic Valve		

Inspection Type	Initial	Date
Deck Drains		
Conduit		
Gas Line		
Gas Test		
Anti-Siphon		
Deck Bonding		
Gunite Report		

Inspection Type	Initial	Date
Rough Sprinklers		
Final Sprinklers		

Inspection Type	Initial	Date
Zoning / Setbacks		
Foundation		
Grout Lift		
Ridge / Chassis		
Underfloor Plumbing		
Underfloor Mechanical		
Underfloor Electric		
Bonding		
Form HCD 433(A)(B)		
Final Building		
Final Plumbing		
Final Mechanical		
Final Electrical		

Inspection Type	Initial	Date
U.G. / U. F. Plumbing		
Water Service		
Underground Gas Line		
Rough Plumbing		
Building Sewer		
Interior Gas Test		
Shower Pan / Test		
Re-pipe		

Inspection Type	Initial	Date
Heater / Vent		
Electrical		
Motor Bolt / Bonding		
Fence / Gate		
Alarm Certificate		

Inspection Type	Initial	Date
Under Floor		
Rough Mechanical		

Inspection Type	Initial	Date
Surface Drain		
G.F.C.I. Test		
Pool Cover		
Deck Caulking		
Final Pool		

Inspection Type	Initial	Date
Temp Power		
U.G. Conduit		
Grounding & Bonding		
Rough Electrical		
Electrical Clearance		

Inspection Type	Initial	Date
Location		
Foundation		
Lift #1		
Lift #2		
Lift #3		
Wall Drain		
Water Proofing		
V-Ditch		
Final Wall		

Inspection Type	Initial	Date
Building		
Plumbing		
Mechanical		
Electrical		
Disable Access		
Final Energy Document		

* Pre-inspection completed with Architect, Engineer and Contractor - SK 9/12/19

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper appears to be a standard notebook page or a sheet of stationery. There is no handwriting or other markings on the page.

58



South West Elevation



West Elevation



South Elevation

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

ENLARGED SITE PLAN

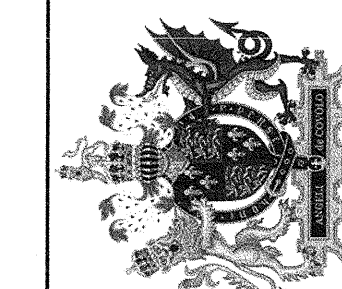
1"=50'-0"

This set of plans and specifications MUST be kept on the premises at all times and it is unlawful to make any changes or alterations on same without written permission from the Building Inspection Dept., County of Ventura. The signing of this plan and specifications SHALL NOT be held to permit or be held as a waiver of the violation of any provisions of any County Ordinance or State Law.

APPROVED
AUG 29 2019
Resource Management Agency
Division of Building & Safety
Ventura County

COUNTY OF VENTURA
PLANNING DIVISION
APPROVED
Date: 8/29/19
Permit No: 2275-0810
Planner: APANAGUA
Print Name

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999



NCARB
Record Number 136568

Everett Jay Woody

NO.	REVISION	DATE

BILLWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWHACK RANCH BUILDING 4 STRUCTURAL REPAIR

SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

DRAWN	CHECKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO.	2275
DATE	08.08.2019
SHEET NUMBER	

A-3



COUNTY OF VENTURA

DIVISION OF BUILDING & SAFETY

Ventura Office Inspection Line (805) 654-2791
East County Office Inspection Line (805) 582-8063

BUILDING PERMIT: B19-000857

Issuing Office:	WCO	Issued by:	M Aldana	Zoning Clearance:	ZC19-0896
Date Applied:	08/29/2019	Date Issued:	08/29/2019		

SITE INFORMATION:

Project Address: 2275 ALISO CYN RD APN: 0640130145 Lot No.: 1 Track No.:
Locality: SANTA PAULA

Owner: BILLIWHACK RANCH LLC 3048 N COOLIDGE AV
Phone No.:

Contractor: N M CONSTRUCTION 2651 BAYSHORE AVENUE, VENTURA, CA 93001
Phone No.: (805) 479-7405 State Lic. No.: 944761

Designer:
Phone No.: State Lic. No.:

WORK DESCRIPTION:

Repair concrete roof, façade and walls, like for like. Reference CV19-00100

BUILDING INFORMATION:

Constr. Type:	Occupancy: R-3	No. Stories:	1
No. of Bdrm.:	Building Area: 0	Sprinklers:	
High Fire Area:	PT Slab:	Compliance Review:	
Shell Building:	Struc observe:	Soil Bearing Pressure:	
Soil Exp. Index:			

Total Landscaping Area (sq ft.):

MWELO Compliance:

Total Permit Fees: \$1,443.98

Valuation:

Occupancy:	Type:	Factor	Square Feet	Value
Accessory Structures	Metal Bldgs & Sheds	\$21.40	520	\$11,128.00
Foundations/Slabs	Footing and slab (sq.ft)	\$24.40	744	\$18,153.60
Total Valuation:				\$29,281.60

SEE REVERSE FOR LEGAL DECLARATIONS

Everett Woody

From: James H. Smith <james@rogerssheffield.com>
Sent: Monday, April 20, 2020 2:20 PM
To: Everett Woody
Subject: FW: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Good Afternoon Everett:

For your information, please see below email exchange. Additionally, that section of the CHBC that specifies the applicable uses under the CHBC.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: James H. Smith
Sent: Monday, April 20, 2020 2:19 PM
To: Ward, Dave <Dave.Ward@ventura.org>
Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>; Porche, Marina <Marina.Porche@ventura.org>; Paniagua, Adrian <Adrian.Paniagua@ventura.org>; Ahrens, Amanda <Amanda.Ahrens@ventura.org>; Wright, Winston <Winston.Wright@ventura.org>; Thomas, Denise <denice.thomas@ventura.org>
Subject: RE: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Good Afternoon Mr. Ward:

Thank you for your below email. An appeal has been filed. For purposes of clarifying the issues, it would be very helpful for all parties involved to receive a response to that set forth in my below email of April 17, 2020.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: Ward, Dave [<mailto:Dave.Ward@ventura.org>]

Sent: Friday, April 17, 2020 5:07 PM

To: James H. Smith <james@rogerssheffield.com>

Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>; Porche, Marina <Marina.Porche@ventura.org>; Paniagua, Adrian <Adrian.Paniagua@ventura.org>; Ahrens, Amanda <Amanda.Ahrens@ventura.org>; Wright, Winston <Winston.Wright@ventura.org>; Thomas, Denice <denice.thomas@ventura.org>

Subject: RE: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Hello Mr. Smith –

This is to confirm receipt of your correspondence. I will review your inquiry with the Building Official, although based upon the hour of receipt on Friday, that will not happen until Monday. I will attempt to provide a response to you next week, but please be advised that the appeal period for my Director decision for denial of the Zone Clearance Applications I provided to your client on April 14th, 2020 remains in effect. Therefore, your client would need to decide to file an appeal by the time period indicated: on or before April 24, 2020.

Thank you

Dave Ward, AICP
Planning Director
dave.ward@ventura.org

Ventura County Resource Management Agency | Planning Division

P. 805.654.2481 | F. 805.654.2509

800 S. Victoria Ave., L #1740 | Ventura, CA 93009-1740

Additional Planning Division information is available online at vcрма.org/divisions/planning

Ventura County General Plan Update. Join the conversation at VC2040.org

For online permits and property information, visit VC Citizen Access



Pursuant to the California Public Records Act, emails retained by the County of Ventura may constitute public records subject to public disclosure.

From: James H. Smith <james@rogerssheffield.com>

Sent: Friday, April 17, 2020 4:37 PM

To: Ward, Dave <Dave.Ward@ventura.org>

Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>; Porche, Marina <Marina.Porche@ventura.org>; Paniagua, Adrian <Adrian.Paniagua@ventura.org>; Ahrens, Amanda <Amanda.Ahrens@ventura.org>

Subject: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Dear Mr. Ward:

1. Your denial letter dated 04.14.2020 fails to disclose some key facts that attempts have been made to satisfy the violation items a-d listed in your notice of violation dated 06.25.2019. We submitted drawings to the Cultural Heritage Board (CHB) that would have satisfied the violations. The staff report was prepared and presented to the CHB on 08.12.2019 to approve the project as submitted. Board member Schaffer and staff member Denise Thomas stated as a point of fact that the property would require **Landmark Status** in order to use the California Historical Building Code (CHBC). To set the record straight we received a letter from the State

Historical Building Safety Board stating the Billiwhack Ranch was eligible for use of the CHBC and subsequently the County conceded that we may use the CHBC. If staff was informed about the use of the CHBC we would have an approved Certificate of Appropriateness and the code compliance case against our property would be satisfied and the historic preservation of the property would be protected.

Applying the below sections of the CHBC as agreed would resolve the code compliance case:

- a. *"8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or **reconstruction** of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users."*
- b. *"Section 8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code."*

Therefore; (1) if the CHBC applies as the County has conceded in your email dated April 3, 2020 and; (2) Sections 8 -101.2 & 8-302.2 mean what they say, and in particular *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code"*, I would appreciate your assistance in informing me how you reconcile the application of the CHBC with the reasons for your denial as set forth in points 1 through 4, starting on page 3, of your denial letter dated April 14, 2020.

2. Your correspondence of April 14, 2020, also leaves unanswered the status the Building Permit that was issued for the Project (B19-000857). That Permit was issued for the structural repair of the of the "main residence." Your attention is directed to the Construction Permit Application wherein the Structural Type is shown to be *"Residential"*. The Description of Work in the Application is stated to be *"Structural repair of an existing 17,939 square-foot main residence. (Building 4)."* The occupancy on the Permit is shown to be *"R-3"*. In reliance on that Permit, and in anticipation that the structure would be used, and in fact can be used under the CHBC, as a residence, over \$750,000 has been spent. In your denial letter of April 14, at page 4, you state *"The request to convert the creamery to the principal dwelling and utilize the existing dwelling as an accessory dwelling unit is denied because H-1 is too large to be designated as an accessory dwelling unit."* That of course raises several issues: (1) Is it your position that the Building Permit issued for the Project (B19-000857) has been unilaterally revoked by the County?; (2) Is it your position that the County of Ventura can disregard Section 8-302.2 of the CHBC which states: *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historic use or character, provided the qualified historical building or property conforms to the requirements applicable to the use or character of occupancy as set forth in the California Historic Building Code. Such change in*

you shall not mandate conformance with new construction requirements as set forth in regular code."

Unfortunately, it appears that at each step taken by the County, rather than clarify and assist the Owner of the property, the County appears intent on further clouding the issues and obstructing the Project. Your prompt response in clarifying the position of the County, with respect to the unreconciled issues now created by your denial letter of April 14, 2020, will be appreciated.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

t 805.963.9721 f 805.845.2356

rogerssheffield.com

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Exhibit M



Ventura County Cultural Heritage Board Minutes

September 09, 2019 at 1:15 p.m.– Item 3c

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. 1:15 P.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT THE VENTURA COUNTY GOVERNMENT CENTER

2. ROLL CALL AND DETERMINATION OF A QUORUM

CHB Members Present:

Miguel Fernandez, Darwin McCredie, Ricki Mikkelsen, Gary Blum, John Kulwiec, and Stephen Schafer

CHB Members Absent:

Phil Englander

Staff Present:

Denice Thomas, Cultural Heritage Program Manager
Ashley Cook, Cultural Heritage Planner

3. APPROVAL OF AGENDA

3.a. Vote to approve the September 9, 2019 Agenda

CHB Member Schafer made a motion to re-order the agenda to take item 6b before 6a and to omit the August 26, 2019 minutes as they were not in the packet. CHB Member Fernandez seconded the motion. [Motion Passed;6-0]

3.b. Vote to approve the August 12, 2019 Minutes

CHB Member Schafer made a motion to approve the August 12, 2019 minutes. CHB Member Mikkelsen seconded the motion. [Motion Passed;4-0]
CHB Member McCredie and CHB Member Fernandez abstained.

4. PUBLIC COMMENTS

None.

5. CONTINUED ITEMS

None.

6. NEW BUSINESS

6.b. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No.: CH19-0021)

Disclosures:

None.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project and the update since the August 12, 2019, meeting. No new action was recommended as CHB Staff deferred to the CHB.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos, as well as, the history of the site. He answered questions from the Cultural Heritage Board (CHB) members. He mentioned that the owner opted not to get the Historic Resources Report (HRR) because the bids for the report were coming in too high. He mentioned that the tower element and skylights are rotten and needs to be replaced. He also stated that he was able to meet with the Building Official and that since the property is listed in a local inventory, he is allowed to use the Historic Building Code (HBC).

CHB Member Kulwicz left the meeting at this time.

Deliberation and Recommendation:

CHB Member Schafer stated that he was still not in agreement on the tower element and is unsure of the some of the doors and windows. He stated again the this is why the Historic Resources Report is needed. He made a re-motion to table the item until the applicant can provided a HRReport, by a qualified architectural historian, that includes analysis of the project as a district, analysis of the project according to the Secretary of the Interior Standards and includes a list of character defining features, and to condition the project to

have to submit HABS photography. Motion did not receive a second. [Motion dies]

CHB Chair continued the discussion and stated that this is obviously an adaptive re-use project and not a restoration project. It is difficult to know if we will be losing character defining features in this proposal.

CHB Member Fernandez asked the applicant what the incentive was for the owner to purchase to the property in the first place.

The applicant responded that they wish to live the in the historic property and have the ranch/farm lifestyle.

CHB Member Fernandez asked is the owners had any intentions to landmark the property? The applicant responded, "No."

The applicant, Mr. Everett Woody, stated that the proposed project is not changing the character that much and while he understands that the position of the CHB is a position of caution, he was hoping to discuss more of the architecture at the meeting. He does not understand the CHB's need for a consultant to prepare a report as consultants can be swayed in their analysis.

CHB member asked Staff if the applicant can be conditioned to submit a historic resources report by a qualified Architectural Historian that is vetted by the County. Denice Thomas responded that the County is not set up at this time to do that. CHB Member Schafer stated he would like to see this agendized to discuss at a future meeting.

The CHB started to discuss tabling the item again, Denice Thomas recommended that the CHB either approve or deny the item. The item was tabled before and the applicant stated their client was not going have an HRR prepared; giving the applicant a decision allows the property owner to appeal if they wish.

CHB Member Schafer made a motion to deny the COA. CHB member Fernandez seconded the motion. [motion passed 3-2].

List of Administrative Approval Reviews

Additions (one-story) to the rear of the existing structure, with limited or no visibility from public rights of way which are to be built in conformance with the *Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings* (herein referred to as "SOIS Guidelines") for new additions.

Garages to be converted to living space if the exterior appearance remains the same (i.e. original garage door remains).

Architectural features or building elements consisting of: In-kind replacement* of historically correct ones, including windows, doors, exterior siding, porches, cornices and balustrades and stairs that are deteriorated, damaged beyond restoration or previously removed.

Please note: Substitute materials should be used only on a limited basis and only when they will match the appearance and general properties of the historic material and will not damage the historic resource in accordance with NPS Preservation Brief 16.

Repair or replacement of existing historic shed-type or free hanging awnings over existing windows using in-kind* materials only. Repair or replace historic aluminum awnings over existing windows using in-kind* materials only for buildings circa 1940s to 1960s.

Cargo containers located over 75 feet from historic features and not visible from the public right of way.

Replacement of non-period doors with doors that are more compatible with the character and era of historic structure.

Farm outbuildings, over 75 feet from historic resource.

New wood fences unless located on a front or side yard that are visible from the public right of way. New fencing proposed within the front yard of a historic district shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Repair or replace exterior historic lighting using lighting that matches as closely as possible in dimension and style at the same location.

Mobile home/manufactured home located at least 75 feet from historic building, structure, object or landscape feature and not visible from the primary elevation.

The removal of any features or additions that are non-historic of the building or removal of non-contributing buildings in historic districts that have not gained significance in their own right to restore the property to its historic appearance. This scope of work qualifies for staff level approval only where non-historic features are removed, and those disturbed areas will be patched and repaired in conformance with the SOIS Guidelines.

Upon consultation and concurrence with the CHB member of that district, new roofs and roof repairs shall be approved by staff when roof materials match and are consistent with the architectural style of historic resource and complies with:

1. Retention and repair of the historic materials which comprise the resource's roof features. This includes but is not limited to cupolas, cupola louvers, dentils, dormer roofing, brackets, frieze, barge board, projecting roof edges, decorated boxed cornice, widow's walk, finials, cresting, pendants, pediment, stick work, etc.
2. Asphalt shingles in a neutral color or as otherwise indicated in historic photos.
3. Skylights not visible from public right of way.
4. Solar devices that blend in with the historic resource where visibility from public right of way is kept at a minimum to maintain the historic resource's integrity.
5. Rooftop mounted equipment (e.g. mechanical units, antennas, equipment boxes), not visible from street or adjacent property.

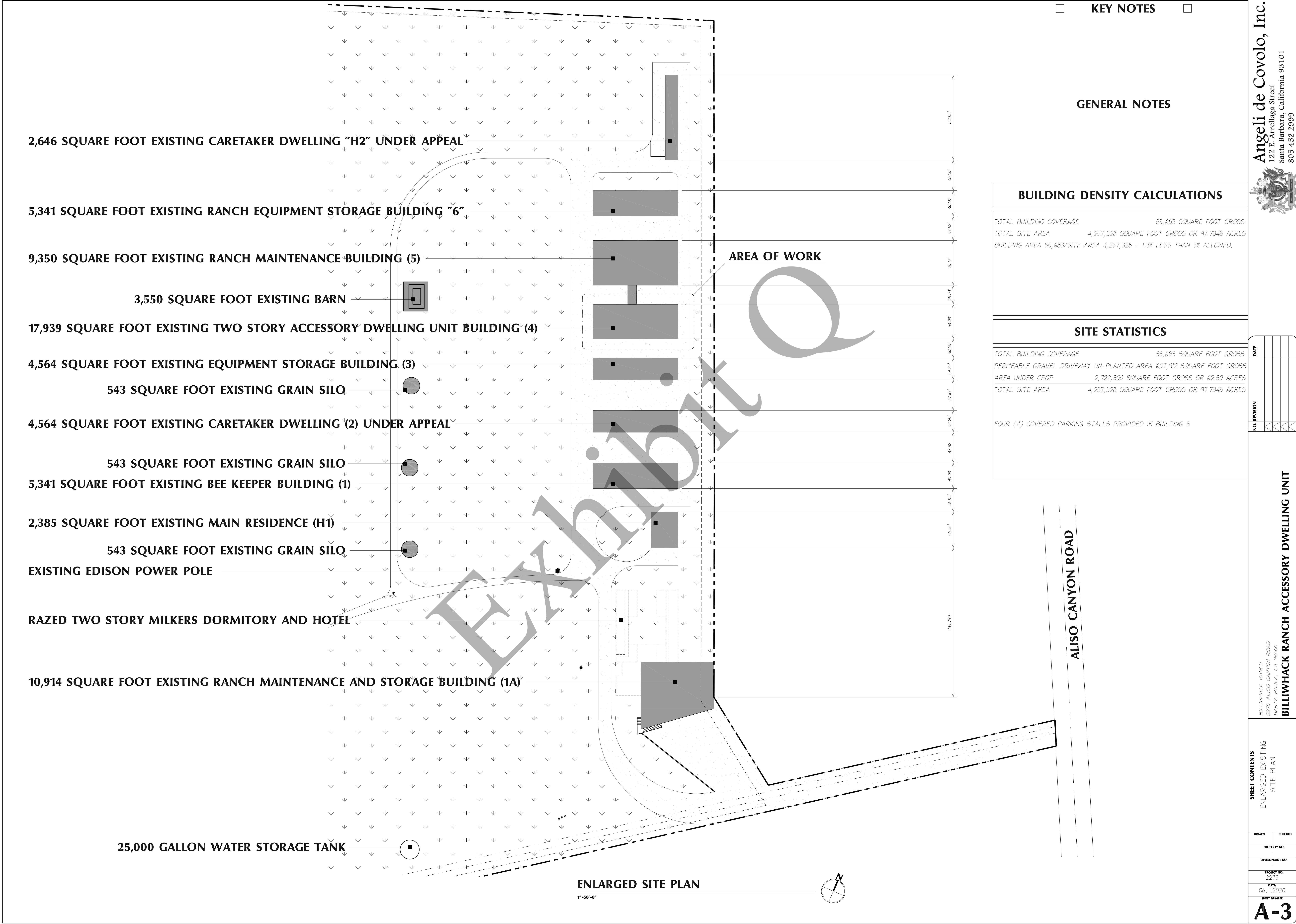
Installation of a metal roof or alterations to roof pitch shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Removal of such original features in Item 1 above shall require a Certificate of Appropriateness from the County Cultural Heritage Board.

Exemption Reviews

An Exemption shall be granted for in-kind* replacement of historically correct features on the site, building, structure, object or landscape that are deteriorated, damaged beyond restoration, or previously removed, including but not limited to:

List of Exemption Reviews	
Address numbers	
Replacement of aged or deteriorated exterior materials or surface finishes to match the original.	
Electrical, plumbing, utility work and other mechanical and building systems not visible from public view.	
New lights that are appropriate to the historic resource.	
Machinery, minor agricultural necessities.	
Exterior paint and surfaces:	
Surfaces allowed to be painted include only those that were originally intended to be painted and exclude all other surfaces (i.e. brick, concrete and stone).	
Repair architectural metals, masonry and wood materials or features using the recommendation methods indicated in the most recent version of the <i>Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings</i> (SOIS Guidelines). Replace where missing, deteriorated or decayed only with in-kind* materials (examples: wood for wood, full brick for full brick). Stabilization measures such as structural reinforcement, weatherization, or correcting unsafe conditions shall be used until additional work can be undertaken. Substitute materials shall be used in accordance with National Park Service Preservation Brief 16.	
Relocation of existing signage up to 10 feet in distance from original site in unincorporated Ventura County only.	
Stucco, repair of existing only.	
Swimming pool demolition unless the pool is either an established historic feature or over 45 years old.	
Landscape alterations and installations including the removal of trees that are not specifically designated or listed as a historic resource or contributing to the historic resource, supported by arborist report and/or historic resource report if required.	
Exterior water heater replacement in same location. If seen from public view, require water heater cover, non-vinyl, matching home's exterior color.	
Foundation repair/work and repointing of bricks on exterior with no change in appearance.	
Construction of rear swimming pools and equipment provided they are not in the public view and do not remove designated or listed historic landscaping.	
New Sprinkler/drip irrigation installation.	
Replacement of attached mailboxes and addition of exterior ground mounted mailboxes.	
Replacement of window glass as long as window size, clear material, and style are not altered.	
Chimney repair using in-kind* materials.	
Wood Fencing:	
-Repairing, adding to or reconstructing existing deteriorated or damaged fencing.	
-Removal of chain-link, or vinyl fencing.	
Construction of ADA ramp at the rear or side of building.	
Engineering improvements, such as seismic retrofitting unless it makes visible changes to the historic building.	
New or repair of rain gutters and downspouts.	



KEY NOTES

GENERAL NOTES

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED.

SITE STATISTICS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS
AREA UNDER CROP 2,722,500 SQUARE FOOT GROSS OR 62.50 ACRES
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES

FOUR (4) COVERED PARKING STALLS PROVIDED IN BUILDING 5

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999

NO. REVISION

DATE

BILLIHACK RANCH
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93060

BILLIHACK RANCH ACCESSORY DWELLING UNIT

SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

DRAWN	CHECKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO. 2275	
DATE 06.11.2020	
SHEET NUMBER	

A-3

Everett Woody

From: Barrera, Ruben <Ruben.Barrera@ventura.org>
Sent: Thursday, February 13, 2020 6:08 PM
To: Everett Woody
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Sounds good. See you then.
ruben

From: Everett Woody <ejw@adcarch.com>
Sent: Thursday, February 13, 2020 5:37 PM
To: Barrera, Ruben <Ruben.Barrera@ventura.org>; Kim, Paul <Paul.Kim@ventura.org>
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Thanks Ruben for your prompt response. I will be at the building counter at 10:30.

Regards,

Everett Jay Woody
Angeli de Covolo, Inc.

From: Barrera, Ruben <Ruben.Barrera@ventura.org>
Sent: Thursday, February 13, 2020 5:17 PM
To: Everett Woody <ejw@adcarch.com>; Kim, Paul <Paul.Kim@ventura.org>
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Hi Everett, yes...call me tomorrow any time after 10am. We can discuss.

Yes, I told you we could review your project using Historical Building Code prior to the final action by the Board...but I was thinking you'd at least have a zoning clearance. So far, we have nothing...not a zoning clearance nor a signed early plan check agreement from you...plus, your plans seem to reflect a lot more work than we typically see for a historical building. So, in the meantime, we put your project on hold until we get further clarification or direction from Planning.

But we can discuss and get clarification. I am here tomorrow all day, but out all of next week. So we should discuss tomorrow morning, if you are available.

Thanks
ruben

From: Everett Woody <ejw@adcarch.com>
Sent: Thursday, February 13, 2020 5:04 PM
To: Kim, Paul <Paul.Kim@ventura.org>
Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Please refer to the highlighted section of the attached CHBC. Using the CHBC has already been discussed and agreed upon with Ruben Barrera back in July of 2019. I am requesting a meeting with you and Ruben Barrera ASAP.

Thanks

Regards,

Everett Jay Woody
[Angeli de Covolo, Inc.](#)

From: Kim, Paul <Paul.Kim@ventura.org>
Sent: Thursday, February 13, 2020 4:59 PM
To: Everett Woody <ejw@adcarch.com>
Subject: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Hi Everett,

I spoke to Amanda and Dean from the Code Enforcement Department, Adrian and Dillan from the Planning Department, and Ruben, our building official about the project.

According to them, the latest occupancy for the building is a dairy facility and not a single-family residence. Also, the building is not approved as a historical landmark.

So we're going to need two things prior to the 2nd round of plan check:

- The zoning clearance to indicate the change of occupancy to R-3.
- Obtain historical landmark status from the cultural heritage board.

Since the building department review will vary depending on the status of the above requirements, please obtain the necessary documents prior to the next submittal. Until then, we will not review the project per Ruben's instruction.

Best Regards,

Paul Kim, P.E.
Plan Check Engineer I
Ventura County Resource Management Agency
Building and Safety Division
800 S. Victoria Ave., L#1720
Ventura, CA 93009
E-mail: Paul.Kim@Ventura.Org
(805)654-2771



Everett Woody

From: Barrera, Ruben <Ruben.Barrera@ventura.org>
Sent: Monday, March 30, 2020 4:08 PM
To: Everett Woody; Ward, Dave
Cc: RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith
Subject: RE: Director of Planning:

My last agreement with the customer was that we would review the plans using the Historical Building Code, but we both agreed that this would be done at the customer's own risk...if Planning does not approve the historical designation, then that review would be voided and the project would have to be reviewed again under the regular Building Code, at the customer's expense, as they would have to pay a new B&S plan review fee.

ruben

From: Everett Woody <ejw@adcarch.com>
Sent: Monday, March 30, 2020 3:48 PM
To: Ward, Dave <Dave.Ward@ventura.org>; Barrera, Ruben <Ruben.Barrera@ventura.org>
Cc: RAC architects (rick@racdb.com) <rick@racdb.com>; Tracy Cortez <tracy@racdb.com>; Nate Whitson <nate@nmconstructionco.com>; Billiwhack (billiwhack@racdb.com) <billiwhack@racdb.com>; James H. Smith <james@rogerssheffield.com>
Subject: RE: Director of Planning:

Thanks for the quick response.

My last conversation with Ruben was that he was going to review the project using the historic building code and that the permit would not be issued until planning signed off.

Has that now changed?

Thanks

Regards,

Everett Jay Woody
Angeli de Covolo, Inc.

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Monday, March 30, 2020 3:45 PM
To: Everett Woody <ejw@adcarch.com>
Cc: RAC architects (rick@racdb.com) <rick@racdb.com>; Tracy Cortez <tracy@racdb.com>; Nate Whitson <nate@nmconstructionco.com>; Billiwhack (billiwhack@racdb.com) <billiwhack@racdb.com>; James H. Smith <james@rogerssheffield.com>
Subject: Re: Director of Planning:

Hello -

On the last bullet, I don't believe Building Official has determined yet — they will use the determination by Planning which is the question with County Counsel right now. I should have that shortly.

Thank you

Dave Ward

Sent from my iPhone

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- Planning staff is currently researching the ordinance and how it applies to our project.
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- I reiterated that this is an historic site and planning must review it as such. (Not a tract house in Saticoy)
- I asked why the project went eight months without any comments from staff regarding the use of the building as a residence?
- The building official has conceded that the building is historic and will be reviewed under the historic building code. (No comment)

Dave if I missed or mischaracterized anything please correct for the record.

Thank you

Regards,

Everett Jay Woody
[Angeli de Covolo, Inc.](#)
122 E. Arrellaga Street
Santa Barbara, CA. 93101



Please consider the environment before printing this email.

Pacific Electronics

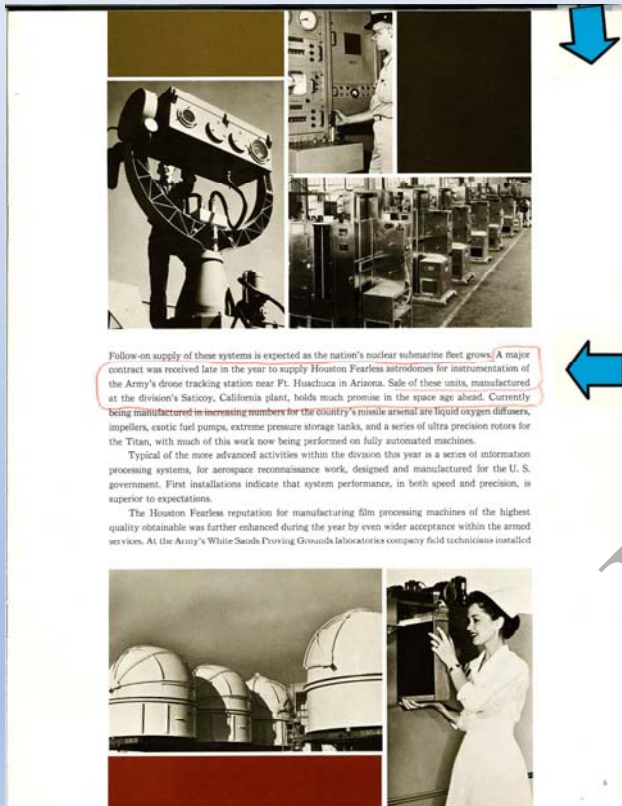
Pacific Electronics is awarded a 4 million dollar government contract and purchases the property in April 1954

A \$100,000 rebuilding program would transfer the Billiwhack Dairy Farm into Pacific Electronic Co., an electronic and tube manufacturing company which would employ more than 1,000 persons to fill \$4 million worth of military contracts. The new owner planned to complete a 50-room hotel, begun by the former dairy owner, to house key personnel. Also planned were a commissary, baseball diamond and tennis courts. The company spokesman noted that television sets would be manufactured after the defense contracts were filled.

As reported in Local Newspress

Houston Fearless, Corp.

Houston Fearless purchases the property in 1959 and continues manufacturing and development of military hardware.



Follow-on supply of these systems is expected as the nation's nuclear submarine fleet grows. A major contract was received late in the year to supply Houston Fearless astrodomes for instrumentation of the Army's drone tracking station near Ft. Huachuca in Arizona. Sale of these units, manufactured at the division's Saticoy, California plant, holds much promise in the space age ahead. Currently

Houston Fearless Press Release

**VENTURA COUNTY CULTURAL HERITAGE BOARD
RESOLUTION NO. 2017-2.1**

**A RESOLUTION ESTABLISHING AND DELEGATING ADMINISTRATIVE
AUTHORITY TO STAFF TO APPROVE CERTAIN MINOR PROJECTS AND
TO CERTIFY THAT OTHERS ARE EXEMPT FROM THE PROVISIONS OF
THE CULTURAL HERITAGE ORDINANCE FOR THE UNINCORPORATED
COUNTY AREA, THE BOARD SERVES**

WHEREAS, Section 1366 et seq. of the Ventura County Cultural Heritage Ordinance No. 4225 provides for the Ventura County Cultural Heritage Board (Board) to delegate administrative authority to Cultural Heritage Board Staff for certain projects, and

WHEREAS, Section 1366-3 provides for the Board to establish criteria to approve Certificates of Appropriateness, therefore allowing for the identification of exempt and administrative projects, and

WHEREAS, pursuant to the Cultural Heritage Ordinance No.4225 for the County Unincorporated area, the Board intends to delegate administrative authority to Cultural Heritage Board Staff for certain projects, and

WHEREAS, the Ventura County Cultural Heritage Board finds that delegating certain limited authority to staff for the sake of expediency and efficiency will result in better customer service and a savings of Board time, and

WHEREAS, the Ventura County Cultural Heritage Board intends to approve Resolution 2017-2.1 to add a minor project to Resolution 2017-2 for the Unincorporated County area.

NOW, THEREFORE BE IT RESOLVED, the Ventura County Cultural Heritage Board hereby delegates to the Cultural Heritage Board staff, Administrative Approval and Exemption authority for the following projects in the unincorporated County areas:

Administrative Approval Reviews

An Administrative Certificate of Appropriateness (COA) for a Landmark and an Administrative Certificate of Review (COR) for a Site of Merit shall be issued for work involving basic maintenance and repair or minor rehabilitation that does not involve a change of design, material, appearance or visibility of the property and its character-defining features including, but not limited to the following:

List of Administrative Approval Reviews

Additions (one-story) to the rear of the existing structure, with limited or no visibility from public rights of way which are to be built in conformance with the *Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings* (herein referred to as "SOIS Guidelines") for new additions.

Garages to be converted to living space if the exterior appearance remains the same (i.e. original garage door remains).

Architectural features or building elements consisting of: In-kind replacement* of historically correct ones, including windows, doors, exterior siding, porches, cornices and balustrades and stairs that are deteriorated, damaged beyond restoration or previously removed.

Please note: Substitute materials should be used only on a limited basis and only when they will match the appearance and general properties of the historic material and will not damage the historic resource in accordance with NPS Preservation Brief 16.

Repair or replacement of existing historic shed-type or free hanging awnings over existing windows using in-kind* materials only. Repair or replace historic aluminum awnings over existing windows using in-kind* materials only for buildings circa 1940s to 1960s.

Cargo containers located over 75 feet from historic features and not visible from the public right of way.

Replacement of non-period doors with doors that are more compatible with the character and era of historic structure.

Farm outbuildings, over 75 feet from historic resource.

New wood fences unless located on a front or side yard that are visible from the public right of way. New fencing proposed within the front yard of a historic district shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Repair or replace exterior historic lighting using lighting that matches as closely as possible in dimension and style at the same location.

Mobile home/manufactured home located at least 75 feet from historic building, structure, object or landscape feature and not visible from the primary elevation.

The removal of any features or additions that are non-historic of the building or removal of non-contributing buildings in historic districts that have not gained significance in their own right to restore the property to its historic appearance. This scope of work qualifies for staff level approval only where non-historic features are removed, and those disturbed areas will be patched and repaired in conformance with the SOIS Guidelines.

Upon consultation and concurrence with the CHB member of that district, new roofs and roof repairs shall be approved by staff when roof materials match and are consistent with the architectural style of historic resource and complies with:

1. Retention and repair of the historic materials which comprise the resource's roof features. This includes but is not limited to cupolas, cupola louvers, dentils, dormer roofing, brackets, frieze, barge board, projecting roof edges, decorated boxed cornice, widow's walk, finials, cresting, pendants, pediment, stick work, etc.
2. Asphalt shingles in a neutral color or as otherwise indicated in historic photos.
3. Skylights not visible from public right of way.
4. Solar devices that blend in with the historic resource where visibility from public right of way is kept at a minimum to maintain the historic resource's integrity.
5. Rooftop mounted equipment (e.g. mechanical units, antennas, equipment boxes), not visible from street or adjacent property.

Installation of a metal roof or alterations to roof pitch shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Removal of such original features in Item 1 above shall require a Certificate of Appropriateness from the County Cultural Heritage Board.

List of Administrative Approval Reviews (cont'd)
Tree removal, only those not historically significant.
Removal of hazardous trees that are designated or listed as a historic resource or a contributor to a historic district, supported by an arborist report that states that the tree is hazardous and must be removed. A condition of approval shall be placed on the COA review to require the applicant to replace each removed tree with the installation of a minimum of two 15-gallon size trees of the same species.
<p>Upon consultation and concurrence with the CHB member of that district, replacement of existing windows will match the historic in terms of configuration, materials, details and finish, and complies with:</p> <ul style="list-style-type: none"> • Single-hung or double-hung types may substitute for each other. • New windows using clear glass only. • Replacement muntins using applied raised profile with a contoured shape only. • If there is a legitimate rain emergency and damage has occurred to the windows, then the windows can be filled in with plywood temporarily until rain storm is over.
Work not requiring a building permit involving routine maintenance and repair that does not involve a change of design, material, appearance or visibility of character-defining features.
Re-opening of enclosed original windows.
Replacement of existing historic garage doors with in-kind* replacement garage doors that are made of wood or simulated wood.
Construction of retaining walls with surface material matching the historic building/structure in rear yard.
Chimney replacement using in-kind* materials in the same location, and same architectural style and dimension.
Artificial turf that is temporary and replaceable, located in the front or the rear of the property.

*The terms, in-kind and in-kind replacement, shall be defined as a new feature that matches the old in design, color, texture and other visual qualities and, where possible, materials.

Exemption Reviews

An Exemption shall be granted for in-kind* replacement of historically correct features on the site, building, structure, object or landscape that are deteriorated, damaged beyond restoration, or previously removed, including but not limited to:

List of Exemption Reviews	
Address numbers	
Replacement of aged or deteriorated exterior materials or surface finishes to match the original.	
Electrical, plumbing, utility work and other mechanical and building systems not visible from public view.	
New lights that are appropriate to the historic resource.	
Machinery, minor agricultural necessities.	
Exterior paint and surfaces:	
Surfaces allowed to be painted include only those that were originally intended to be painted and exclude all other surfaces (i.e. brick, concrete and stone).	
Repair architectural metals, masonry and wood materials or features using the recommendation methods indicated in the most recent version of the <i>Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings</i> (SOIS Guidelines). Replace where missing, deteriorated or decayed only with in-kind* materials (examples: wood for wood, full brick for full brick). Stabilization measures such as structural reinforcement, weatherization, or correcting unsafe conditions shall be used until additional work can be undertaken. Substitute materials shall be used in accordance with National Park Service Preservation Brief 16.	
Relocation of existing signage up to 10 feet in distance from original site in unincorporated Ventura County only.	
Stucco, repair of existing only.	
Swimming pool demolition unless the pool is either an established historic feature or over 45 years old.	
Landscape alterations and installations including the removal of trees that are not specifically designated or listed as a historic resource or contributing to the historic resource, supported by arborist report and/or historic resource report if required.	
Exterior water heater replacement in same location. If seen from public view, require water heater cover, non-vinyl, matching home's exterior color.	
Foundation repair/work and repointing of bricks on exterior with no change in appearance.	
Construction of rear swimming pools and equipment provided they are not in the public view and do not remove designated or listed historic landscaping.	
New Sprinkler/drip irrigation installation.	
Replacement of attached mailboxes and addition of exterior ground mounted mailboxes.	
Replacement of window glass as long as window size, clear material, and style are not altered.	
Chimney repair using in-kind* materials.	
Wood Fencing:	
-Repairing, adding to or reconstructing existing deteriorated or damaged fencing.	
-Removal of chain-link, or vinyl fencing.	
Construction of ADA ramp at the rear or side of building.	
Engineering improvements, such as seismic retrofitting unless it makes visible changes to the historic building.	
New or repair of rain gutters and downspouts.	

List of Exemptions Reviews (cont'd)	
Retaining wall repair.	
Removal of asbestos and vinyl siding if original siding is existing underneath and to be restored or maintained.	
Garden or storage shed, repairing or adding one, located in the rear yard.	
Rear yard decks made of wood or simulated wood not more than 500 square feet.	
Replacement of shutters with in-kind* wood shutters that are in keeping with character and era of historic structure.	
Exterior ground mounted A/C unit placed in rear yard or not visible from public street or where landscape screening is installed to hide the unit.	

* The terms in-kind and in-kind replacement shall be defined as a new feature that matches the old in design, color, texture and other visual qualities and, where possible, materials.

If Cultural Heritage Board staff cannot verify whether the proposed project is consistent with the criteria of the Resolution, staff will refer the matter to the Cultural Heritage Board for their consideration.

Date: 7/24/17

By: Ricki Mikkelsen
Ricki Mikkelsen, Chair
Ventura County Cultural Heritage Board

Approved on July 24, 2017

Everett Woody

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Monday, March 30, 2020 3:45 PM
To: Everett Woody
Cc: RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith
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Angeli de Covo, Inc.
122 E. Arrellaga Street

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From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Friday, April 03, 2020 3:46 PM
To: Everett Woody
Cc: Thomas, Denice; RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith; Barrera, Ruben; Wright, Winston; Paniagua, Adrian
Subject: Follow up to March 16 2020 meeting -- Billiwhack Ranch: Use of Historic Building Code and Zoning Questions
Attachments: Billiwhack Ranch DPR forms.pdf; NRSC's.pdf

Case Nos. BP-C19001283; ZC-19-1390 and ZC-19-0684

Hello Everett

On March 16, 2020, staff met with you to discuss the Billiwhack Ranch project located at 2275 Aliso Canyon Road in unincorporated Ventura County (case number CV19-0100). During the meeting you wanted Planning Division Staff to advise whether the Historic Building Code may be used for this project and you wanted to know what status or decision is for the application currently under process listed above. We indicated that since your focused interest was on the historic building code, we prioritized that response which concluded this week.

With respect to the Historic Building Code, after research and consultation with the County Counsel, staff finds the Historic Building Code can be used for a portion(s) of this project. Section 18955 of the Historic Building Code states, in pertinent part, "[A] qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or such structures on existing or future national, state, or local historical registers or official inventories, [...] and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks." The Billiwhack Ranch is identified in the Western Santa Clara Survey Phase V, 1995 prepared for the County of Ventura by the San Buenaventura Research Associates (SBRA). The Department of Parks and Recreation form prepared for this property by SBRA identifies the site as eligible for listing as a District on the National Register of Historic Places (National Register Status Code 3D) (See attached Billiwhack Ranch DPR forms).

Additionally, Section 1365-5 (b)(2) of the Ventura County Cultural Heritage Ordinance states, in pertinent part, "For the purposes of this Ordinance, an improvement, natural feature or site may become a designated Cultural Heritage Site if it meets the following criteria: [...] Site of Merit – Satisfy the following criteria: 1) Sites of historical, architectural, community or aesthetic merit which have not been designated as landmarks or points of interest, but which are deserving of special recognition; and 2) County approved survey sites with a National Register status code of 5 or above." The subject site has a National Register status code in a County-approved survey of 3D, whose place in the hierarchy is higher than 5 (see attached NRSC's Document).

With respect to responses on the Zoning Clearances, a letter is being prepared which provides the information you are requesting. The letter will be finalized next week and forwarded to you under separate cover.

Thank you and stay well,

Dave Ward, AICP
Planning Director
dave.ward@ventura.org

State of California

HEALTH AND SAFETY CODE

Section 18951

18951. It is the purpose of this part to provide alternative regulations and standards for the rehabilitation, preservation, restoration (including related reconstruction), or relocation of qualified historical buildings or structures, as defined in Section 18955. These alternative standards and regulations are intended to facilitate the rehabilitation, restoration, or **change of occupancy** so as to preserve their original or restored architectural elements and features, to encourage energy conservation and a cost-effective approach to preservation, and to provide for the safety of the building occupants.

(Amended by Stats. 2003, Ch. 504, Sec. 1. Effective January 1, 2004.)

Exhibit X

CHAPTER 8-3

USE AND OCCUPANCY

SECTION 8-301 PURPOSE AND SCOPE

8-301.1 Purpose. The purpose of the CHBC is to provide regulations for the determination of occupancy classifications and conditions of use for qualified historical buildings or properties.

8-301.2 Scope. Every qualified historical building or property for which a permit or approval has been requested shall be classified prior to permit issuance according to its use or the character of its occupancy in accordance with the regular code and applicable provisions of this chapter.

SECTION 8-302 GENERAL

8-302.1 Existing use. The use or character of occupancy of a qualified historical building or property, or portion thereof, shall be permitted to continue in use regardless of any period of time in which it may have remained unoccupied or in other uses, provided such building or property otherwise conforms to all applicable requirements of the CHBC.

8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

8-302.3 Occupancy separations. Required occupancy separations of more than one hour may be reduced to one-hour fire-resistive construction with all openings protected by not less than three-fourths-hour fire-resistive assemblies of the self-closing or automatic-closing type when the building is provided with an automatic sprinkler system throughout the entire building in accordance with Section 8-410.2. Doors equipped with automatic-closing devices shall be of a type which will function upon activation of a device which responds to products of combustion other than heat.

Required occupancy separations of one hour may be omitted when the building is provided with an automatic sprinkler system throughout.

8-302.4 Maximum floor area. Regardless of the use or character of occupancy, the area of a one-story qualified historical building or property may have, but shall not exceed, a floor area of 15,000 square feet (1393.5 m²) unless such an increase is otherwise permitted in regular code. Multistory qualified historical buildings (including basements and cellars) shall be in accordance with regular code requirements.

Exception: Historical buildings may be unlimited in floor area without fire-resistive area separation walls:

1. When provided with an automatic sprinkler, or
2. Residential occupancies of two stories or less when provided with a complete fire alarm and annunciation system and where the exiting system conforms to regular code.

8-302.5 Maximum height. The maximum height and number of stories of a qualified historical building or property shall not be limited because of construction type, provided such height or number of stories does not exceed that of its historical design.

8-302.5.1 High-rise buildings. Occupancies B, F-1, F-2 or S in high-rise buildings with floors located more than 75 feet above the lowest floor level having building access may be permitted with only the stories over 75 feet provided with an automatic fire sprinkler system if:

1. The building construction type and the exits conform to regular code, and
2. A complete building fire alarm and annunciation system is installed, and
3. A fire barrier is provided between the sprinklered and nonsprinklered floors.

8-302.6 Fire-resistive construction. See Chapter 8-4.

8-302.7 Light and ventilation. Existing provisions for light and ventilation which do not, in the opinion of the enforcing agency, constitute a safety hazard may remain. See Section 8-303.6 for residential requirements. See Section 8-503 for Escape or Rescue Windows and Doors.

SECTION 8-303 RESIDENTIAL OCCUPANCIES

8-303.1 Purpose. The purpose of this section is to provide regulations for those buildings designated as qualified historical buildings or properties and classified as residential occupancies. The CHBC requires enforcing agencies to accept any reasonably equivalent alternative to the regular code when dealing with qualified historical buildings and properties.

8-303.2 Intent. The intent of the CHBC is to preserve the integrity of qualified historical buildings and properties while maintaining a reasonable degree of protection of life, health and safety for the occupants.

8-303.3 Application and scope. The provisions of this section shall apply to all qualified historical buildings used for human habitation. Those dwelling units intended only for display, or public use with no residential use involved, need not comply with the requirements of this section.

8-303.4 Fire escapes. See Chapter 8-5.

8-303.5 Room dimensions. Rooms used for sleeping purposes may contain a minimum of 50 square feet (4.6 m²) floor area, provided there is maintained an average ceiling height

Standards for Preservation

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
1. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

1370-3 - Inform the Board of proposed changes of all road and geographical names; and

1370-4 - Inform the Board of all County records of historical significance which are to be disposed of or destroyed.

1371 - Expenses.

The necessary and reasonable expenses to the operation of the Cultural Heritage Board, as outlined in Section 1364, shall be the responsibility of the County.

1372 - State Historic Building Code.

The California State Historic Building Code (SHBC) provides alternative building regulations for the rehabilitation, preservation, restoration or relocation of structures designated as cultural resources. The SHBC shall be used for any designated site in the County's building permit procedure.

1373 - Definitions.

Application of Definitions: Unless the provision or context otherwise requires, the definitions of words and terms as follows shall govern the construction of this Chapter.

"Board" or "Cultural Heritage Board"—The Ventura County Cultural Heritage Board established by this Ordinance.

"Certificate of Appropriateness"—Ventura County Cultural Heritage Board or staff issued authorizations which indicate that the proposed subdivision, rezoning, maintenance, acquisition, stabilization, preservation, **reconstruction**, protection, alteration, restoration, rehabilitation, addition, **change of use**, demolition, relocation, change, remodeling or other project affecting a potential or designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated one.

"Cultural Heritage"—Pertaining to the sum total of traditions, body of knowledge, etc., inherited as possessions, characteristics, or conditions expressing a traditional way of life subject to gradual, but continuous modifications by succeeding generations.

"Cultural Heritage Site"—An improvement, natural feature, site or district that has completed the legally required procedures stipulated in this Ordinance to have it designated by the Ventura County Cultural Heritage Board or the Ventura County Board of Supervisors as a District, Landmark, Site of Merit or Point of Interest.

"District"—An area possessing a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development. Historic districts are defined by precise geographic boundaries. Therefore, those with unusual boundaries require a description of what lies immediately adjacent in order to define the edge of the district and to explain the exclusion of adjoining areas.

"Historic Fabric"—(1) With regard to an historic building, "historic fabric" means the particular materials, ornamentation, and architectural features which are consistent with the historic character of the building. (2) With regard to an historic district, "historic fabric" means all sites, buildings, structures, features, objects, landscaping, street elements, and related design components of the district which are consistent with the historic character of the district. (3) With regard to an archaeological district, "historic fabric" means sites, standing structures or buildings, historic landscape (land disturbance such as grading or construction), features (remnants of walls), and objects (artifacts) which are consistent with the historic character of the district.

State of California

HEALTH AND SAFETY CODE

Section 17958.12

17958.12. (a) The Legislature hereby finds and declares the following:

(1) Building officials, pursuant to this code and the California Building Standards Code, have broad authority as part of their enforcement authority to render interpretations of the code and to adopt policies and procedures to clarify the application of its provisions.

(2) A building official has the discretion to apply the building standards that were in effect at the time a residential unit was constructed. This is permissible under the authority to grant modifications on a case-by-case basis and the authority of a building department to approve a material, appliance, installation, device, arrangement, or method if it finds that the design is satisfactory and equivalent to the building standards code. Several jurisdictions were not aware of this existing authority.

(3) It is the intent of the Legislature to clarify that when a building permit for a residential unit does not exist, the appropriate enforcement official may make a determination of when a residential unit was constructed and then apply the California Building Standards Code and other specified rules and regulations in effect when the residential unit was determined to be constructed for purposes of issuing a building permit for the residential unit.

(b) The department shall propose the adoption of a building standard to the California Building Standards Commission pursuant to Chapter 4 (commencing with Section 18935) of Part 2.5 of Division 13 to authorize, when a record of the issuance of a building permit for the construction of an existing residential unit does not exist, a local enforcement official to determine the date of construction of that residential unit, apply this part, the building standards in the California Building Standards Code, and other specified rules and regulations in effect on that date of construction to that residential unit, and issue a retroactive building permit for that construction. This authorization shall be consistent with the findings and declarations of subdivision (a).

(c) This section is declaratory of existing law.

(Added by Stats. 2018, Ch. 1010, Sec. 1. (SB 1226) Effective January 1, 2019.)

- (2) Has precisely mapped and defined exterior boundaries, which requires a description of what lies immediate to the district to allow rational exclusion of adjoining areas.
- (3) Has at least one (1) of the criteria for significance of Section 1365-5.a.1-8.
- (4) Complies with the criteria for integrity contained in Section 1365-5.a.6.

1365-6 - Additional designation standards.

In addition to meeting the criteria in Sec. 1365-5 et seq., all the following standards must be met before a site becomes a designated Cultural Heritage Site:

- a. It shall have historic, aesthetic or special character or interest for the general public, and not be limited in interest to a special group of persons;
- b. Its designation shall not require the expenditure by the County of Ventura of any amount of money not commensurate with the value of the object to be preserved; and
- c. Its designation shall not infringe upon the rights of a private owner thereof to make any and all reasonable uses thereof which are not in conflict with the purposes of this Article.

1366 - Certificate of Appropriateness (COA).

Certificates of Appropriateness shall be required for the following categories of sites only: 1. Landmark 2. Points of Interest 3. Demolition of Sites of Merit 4. Demolition of potential sites 5. Designated Cultural Heritage Sites seeking a Planned Development Permit pursuant to Section 8107-37 of the Ventura County Zoning Ordinance. Certificates of Appropriateness (and as they may be conditioned) are authorizations issued by the Cultural Heritage Board, or support staff in accordance with criteria adopted by the Board, which indicate that the proposed maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, relocation, or subdivision of a designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated Cultural Heritage Site.

1366-1 - Prior to commencement of or receipt of necessary permits for maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, subdivision or relocation of designated Cultural Heritage Sites or sites potentially eligible for such designation, the land owner shall have:

- a. Obtained a Certificate of Appropriateness from the Cultural Heritage Board or staff, as the Board may delegate such authority; or
- b. Filed for a COA and waited the time specified in Section 1366-5 without any action being taken on his request for a COA; or
- c. Filed for a Certificate of Appropriateness and the relevant time specified in Section 1366-8 has expired.

1366-2 - The County Resource Management Agency and other applicable County agencies shall report any application for a permit to work on a designated Cultural Heritage Site or potentially eligible site to the Cultural Heritage Board and its staff as soon as the application has been received;

1366-3 - In evaluating requests for Certificates of Appropriateness, the Cultural Heritage Board and staff shall consider the existing architectural style, design, arrangement, texture, materials, and any other factors with regard to the site's original distinguishing characteristics. Using the Secretary of the Interior's Standards for Historic Preservation Projects as a guide, the Cultural Heritage Board or its staff, as delegated, shall approve a Certificate of Appropriateness for any proposed work site if, and only if, one (1) of the following findings can be made:

- a. The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the site.
- b. In the case of construction of a new improvement, addition, building or structure upon the site, the use and exterior of such construction will not adversely affect, and will be compatible with the use and/or exterior of the site.
- c. The denial of a Certificate of Appropriateness will deprive the owner of the property of all reasonable use of or economic return on the property.
- d. If the applicant presents facts and clear evidence demonstrating that failure to approve the request for a Certificate of Appropriateness will cause a hardship because of conditions peculiar to the structure or other feature involved, or damage to the property owner is unreasonable in comparison to the benefit conferred to the community, the Board may conditionally approve such Certificate, even though it does not meet the standards set forth herein.
- e. If the request for a COA involves a non-designated site and the proposed work would not compromise the potential future designation of the site.

1366-4 - Requests for Certificates of Appropriateness shall be signed by the land owner or their designated agent and filed with the County's Resource Management Agency for processing. Requests shall include plans and specifications, and the relationship of the proposed work to the surrounding environs. The request shall be accompanied by any other information the Cultural Heritage Board determines is required to make an informed judgment of the proposed work according to the standards of review pursuant to Section 1364-12.

1366-5 - If the Cultural Heritage Board or staff, as applicable, fails to act on a request for a Certificate of Appropriateness within ninety (90) days of submission of a complete COA application, a Certificate of Appropriateness shall not be required; proposed projects on undesignated and designated Cultural Heritage Sites may proceed without an approved COA, provided an action is not pending on the designation of the site, and all other necessary permits have been obtained.

1366-6 - If no building, planning or other permit is required to pursue work on a designated Cultural Heritage Site or potentially eligible site, where the owner has been notified of the site's eligible status; whoever is responsible for the work, whether it is the tenant, resident or property owner, shall apply to the Cultural Heritage Board staff directly for the appropriate authorization pursuant to Sec. 1364-12 or Sec. 1366;

1366-7 - The Cultural Heritage Board or staff may disapprove the issuance of said Certificate or Certificates for any proposed work if, and only if, it makes one (1) of the following applicable findings:

- a. The proposed project is to remove or demolish a designated Cultural Heritage site that is determined by the Cultural Heritage Board to be significant and important to the history of the County.
- b. The proposed project would adversely affect the historical significance of the site or would not be compatible with the use and/or exterior of the designated Cultural Heritage site.
- c. The proposed project would adversely affect the eligibility of a potential site to become a designated Cultural Heritage Site.

A decision of staff may be appealed to the Cultural Heritage Board and a Board decision may be appealed to the Board of Supervisors within 15 days of notification of the decision.

1366-8 - If the request for a Certificate of Appropriateness for a specific project proposal is denied by the Cultural Heritage Board

- a. The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the site.
- b. In the case of construction of a new improvement, addition, building or structure upon the site, the use and exterior of such construction will not adversely affect, and will be compatible with the use and/or exterior of the site.
- c. The denial of a Certificate of Appropriateness will deprive the owner of the property of all reasonable use of or economic return on the property.
- d. If the applicant presents facts and clear evidence demonstrating that failure to approve the request for a Certificate of Appropriateness will cause a hardship because of conditions peculiar to the structure or other feature involved, or damage to the property owner is unreasonable in comparison to the benefit conferred to the community, the Board may conditionally approve such Certificate, even though it does not meet the standards set forth herein.
- e. If the request for a COA involves a non-designated site and the proposed work would not compromise the potential future designation of the site.

1366-4 - Requests for Certificates of Appropriateness shall be signed by the land owner or their designated agent and filed with the County's Resource Management Agency for processing. Requests shall include plans and specifications, and the relationship of the proposed work to the surrounding environs. The request shall be accompanied by any other information the Cultural Heritage Board determines is required to make an informed judgment of the proposed work according to the standards of review pursuant to Section 1364-12.

1366-5 - If the Cultural Heritage Board or staff, as applicable, fails to act on a request for a Certificate of Appropriateness within ninety (90) days of submission of a complete COA application, a Certificate of Appropriateness shall not be required; proposed projects on undesignated and designated Cultural Heritage Sites may proceed without an approved COA, provided an action is not pending on the designation of the site, and all other necessary permits have been obtained.

1366-6 - If no building, planning or other permit is required to pursue work on a designated Cultural Heritage Site or potentially eligible site, where the owner has been notified of the site's eligible status; whoever is responsible for the work, whether it is the tenant, resident or property owner, shall apply to the Cultural Heritage Board staff directly for the appropriate authorization pursuant to Sec. 1364-12 or Sec. 1366;

1366-7 - The Cultural Heritage Board or staff may disapprove the issuance of said Certificate or Certificates for any proposed work if, and only if, it makes one (1) of the following applicable findings:

- a. The proposed project is to remove or demolish a designated Cultural Heritage site that is determined by the Cultural Heritage Board to be significant and important to the history of the County.
- b. The proposed project would adversely affect the historical significance of the site or would not be compatible with the use and/or exterior of the designated Cultural Heritage site.
- c. The proposed project would adversely affect the eligibility of a potential site to become a designated Cultural Heritage Site.

A decision of staff may be appealed to the Cultural Heritage Board and a Board decision may be appealed to the Board of Supervisors within 15 days of notification of the decision.

1366-8 - If the request for a Certificate of Appropriateness for a specific project proposal is denied by the Cultural Heritage Board

or staff, the property owner of a designated Cultural Heritage Site shall be prohibited from taking action for 180 days from the date of the disapproval. Notwithstanding the provisions of section 1366-7 or any other provision of the Cultural Heritage Ordinance, following the date of denial of a complete Certificate of Appropriateness application by the Ventura County Cultural Heritage Board or by staff, a Certificate of Appropriateness shall not be required as follows: (a) in the case of a designated or interim basis Cultural Historical Site, one hundred eighty (180) days beyond; and (b) in the case of an undesignated site, immediately following such denial. Said decisions may be appealed to the Board of Supervisors within 15 days or decisions by staff may be appealed to the Cultural Heritage Board within 15 days. There is no waiting period following the denial of a COA for projects on sites not designated an interim or formal Cultural Heritage Site.

1366-9 - Non-action after Certificate of Appropriateness.

If the property owner has not acted on the Certificate of Appropriateness within one (1) year and 180 days from the date the Cultural Heritage Board or staff approved such action, the Certificate of Appropriateness shall be void.

1367 - Acquisition of designated Cultural Heritage Sites.

If the decision is made that the historical significance of any designated site justifies the expenditure of public funds, acquisition proceedings may be initiated. If the Board of Supervisors finds a site to be of historical significance and public funds are not available, private funds may be used for acquisition or other arrangements may be made that are satisfactory to the property owner.

1368 - Municipal cultural heritage.

The Cultural Heritage Board, at the request of a city, may serve as the city's Cultural Heritage Board. However, the provisions of this Ordinance, unless adopted by the City Council, shall have force and effect only in the unincorporated area of the County.

1369 - Funds.

The Cultural Heritage Board, or other interested persons, may petition the Board of Supervisors for funds necessary to carry out the purposes of this Article. The Board of Supervisors may expend all reasonable amounts of money needed to carry out the purposes of this Article or to acquire fee title or such lessor ownership rights or rights of possession or negative easements as it deems necessary or expedient to carry out the purposes of this Article.

1370 - Cooperation.

The Cultural Heritage Board shall cooperate with all County departments and officers when requested, and shall recommend for their consideration matters covered by this Ordinance. All Boards, Commissions, Departments, and Officers of the County shall cooperate with the said Cultural Heritage Board in carrying out the spirit and intent of this Ordinance and shall:

1370-1 - Notify the Cultural Heritage Board of the discovery of items of historical significance, such as burial grounds, prehistoric artifacts or historical foundations;

1370-2 - Inform the Board of proposed alteration, demolition or relocation of Designated Cultural Heritage Sites or sites eligible for such designation;

LEGAL NOTICES

NOTICE OF ZONING HEARING

Notice is hereby given that a PUBLIC HEARING, as required by law, to consider an application for a Special Use Permit for the establishment by Howard M. Ferguson of a private recreation center located adjacent to and west of Willoughby Road and about one mile north of Foothill Road and north of the town of Saticoy, will be held by the Ventura County Planning Commission at the office of the Planning Commission, 54 North California Street, Ventura, California on Monday, January 12, 1948, at the hour of 2:00 p.m.

Any property owner or resident of the County of Ventura is privileged to attend this hearing and be heard on this matter.

L. J. BORSTELMANN,
Secretary of the Ventura
County Planning Commission.

Planning Commission 01.12.1948

Billiwhack Dairy Property Now Seen As Private Boys' School, Sale Reported

Tue, Mar 2, 1948

The Aliso canyon property that once housed the Billiwhack dairy has been sold again and is to be turned into a private boys school.

That was the information revealed at the county supervisors meeting today when talk turned to a discussion of a special land use ordinance permit and to the establishment of a small animal shelter.

Howard Ferguson, present owner of the Billiwhack dairy property, had asked for a special use permit to establish a recreation center in Aliso canyon. The county planning commission today submitted to the supervisors a recommendation that the permit be approved.

But, along with the recommendation, Louis J. Borstelmann, county planning engineer, revealed to supervisors that since the time that the commission acted,

Ferguson had sold the property to Harry Royce of Los Angeles, one-time affiliate with Westmont college, and that sale papers now are in escrow. Supervisors, therefore, tabled Ferguson's request for a special use permit.

It also developed that the Southern California Humane society, with which the county and cities have been working to establish a countywide small animal shelter, had worked out an agreement with Ferguson to use a building on the Aliso canyon property for the shelter, instead of using the Saticoy dump, as originally planned.

Supervisors, however, decided to wait a week before taking any action on the contract. The delay was asked because supervisors want more time to ascertain how much it will cost to operate the shelter in an already erected building.

Board of Supervisors 03.02.1948

Welcome to the

International Christian Institute

OF CALIFORNIA



An Interdenominational, Non-sectarian, Co-educational School for Instruction of Students and Promotion of Christianity

Located in Beautiful Ventura County . . . just seventy miles north of metropolitan Los Angeles and in the very heart of rich and fertile Santa Clara valley. Situated half way between Ventura city, county seat of Ventura County, and Santa Paula, lemon capital of the world, the Institute location offers unparalleled advantages to the student.

Twenty Minutes to the Ocean . . . With U.S. 101 coast highway but a few minutes distance from the schools, friends and parents have easy access, while students will find ocean bathing, fishing and sailing unusually attractive during leisure hours.

An Intellectual, Spiritual and Physical Development . . . Starting with the premise that "the fear of God is the beginning of wisdom," the International Christian Institute of California makes the student's spiritual development the cornerstone of his or her education. The intellectual and physical development which follows will naturally conform to the pattern of working with head, heart and hand. Building a life by learning how to live is the end objective of the Institute program.

The International Christian Institute of California was founded to provide such an opportunity for boys and girls 16 years or older regardless of previous educational experience.

Individual instruction which permits progress geared to the student's ability, with a year around outdoor sport and recreation program to develop physically fit bodies, and with a highly developed moral and

spiritual leadership to insure the deepening and strengthening of the student's spiritual growth, the graduate faces life prepared to meet its challenge.

Missionary Training . . . Throughout a war weary and fearful world the cry has come for Christian missionaries. Never in the history of Christendom has the need been so great and the supply so limited. The International Christian Institute of California will train Christian young people of every race and color to go to their own people both here and abroad with the challenge of Christianity. Supporting that message will be trained hands to minister lovingly and efficiently to physical and temporal needs. Many of the Institute students will truly "enter to learn" that they might "go forth to serve."

Missionary work at home will not be neglected. There is a bigger place in America today for "changed men" with skilled hands than ever before.

Teaching of Manual Arts . . . Much that has been said before emphasizes the teaching of skills and arts of handcraft. The International Christian Institute of California plans a well rounded program of skills with much time for practical application. Building trades will be taught by building houses, wood working by making things out of wood, etc. Radio, electricity, printing, book binding, automotive mechanics, metal working, agriculture, animal husbandry, commerce, road building, horticulture and many other practical subjects will give wide range to the student's choice and selection of courses.

(Continued on back)

Teaching of Home Economics . . . The International Christian Institute of California will be co-educational with a strong program for training home makers. Great emphasis will be laid on food and nutrition courses. One of the finest tile and concrete buildings on the west coast will be turned over in its entirety to the preparation and preserving of foods.

Plain sewing, dress making, child care and related subjects will complete a well rounded domestic science department.

Teaching of the Bible . . . "I cannot too greatly emphasize the importance and value of Bible study—more important than ever before in these days of uncertainties when men and women are apt to decide on notions from the standpoint of expediency rather than on the eternal principles laid down by God, Himself." John Wanamaker.

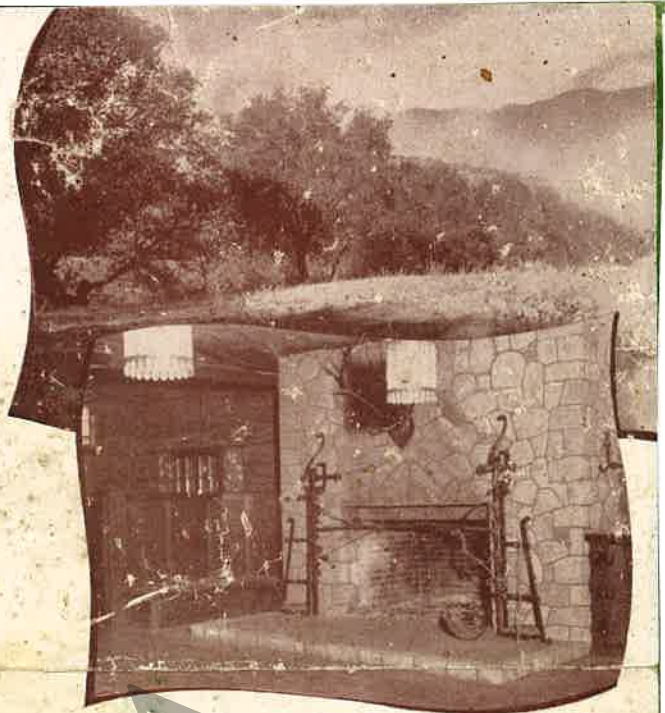
"When you have studied the Bible you will know it is the Word of God, because you will have found it the key to your own heart, your own happiness and your own duty." Woodrow Wilson.

"I believe a knowledge of the Bible without a college course is more valuable than a college course without a Bible." William Lyon Phelps.

"All that I am I owe to Jesus Christ revealed to me in His divine book." David Livingstone.

These leaders of men from merchant to missionary speak the convictions which prompted the International Christian Institute to make Bible study the keystone of its educational program. Bible study is required of every student.

Retreat and Conference Fellowship . . . Imagine if you can a campus of 156 acres of rolling hills, deep canyons and magnificent oak groves. High up and



Top—One of Many Oak Groves

Bottom—Fireplace in Redwood Cabin

overlooking the Institute buildings is a large California redwood cabin, made to order for retreat and conference fellowship. Young people's groups coming in from the outside for prayer, meditation and recreation will be a constant source of social contact and fellowship for our student body.



Address all inquiries to

International Christian Institute of California

P. O. BOX 151 — SANTA PAULA, CALIFORNIA



Inviting you
TO SOMETHING NEW
SOMETHING DIFFERENT
SOMETHING NEEDED!

CHRISTIAN INSTITUTE OF CALIFORNIA, HARRY ROYE and ROBERT NOLES, as their own builders, at their instance and request, between the dates of June 10 1948 and January 10 1949, both dates inclusive, to be used and which were actually used in the alteration, remodeling and repair of a building now upon the land above described before the completion of said work of improvement.

That the reasonable value of the materials so furnished by this claimant was and is the sum of \$849.82, which sum and value the said INTERNATIONAL CHRISTIAN INSTITUTE OF CALIFORNIA, HARRY ROYE and ROBERT NOLES agreed to pay to claimant therefor; that no part or portion of said sum has been paid except the amount of \$296.61, leaving a balance now due and unpaid from said INTERNATIONAL CHRISTIAN INSTITUTE OF CALIFORNIA, HARRY ROYE and ROBERT NOLES to claimant in the sum of \$553.21, after deducting all just credits and offsets, and that said sum of \$553.21 constitutes this claimant's demand.

Dated May 9 1949

PEOPLES LUMBER COMPANY

By ✓

Bartels

its General Manager

STATE OF CALIFORNIA)
COUNTY OF VENTURA) ss

On this 9th day of May 1949, before me, WAYNE L CLARK, a Notary Public in and for said County and State, personally appeared B W BARTELS, known to me to be the General Manager of the PEOPLES LUMBER COMPANY, the corporation that executed the foregoing claim of lien, and being by me duly sworn, deposes, acknowledges and says: that he has read the foregoing claim of lien, that he executed the same on behalf of the claimant corporation

The Owners

We are Rick and Tracy Cortez. We are the new owners of the historic Billiwhack Ranch in Santa Paula. We purchased the ranch in December of 2018 after two years of negotiation. The property had been on the market for over 6 years and had multiple failed escrows. The 60,000 sf of old dairy buildings were of little use to farmers and represented a liability. The sellers could not sell the property in spite of lowering the price many times.

Rick's career has been devoted to adaptive reuse of old buildings. He has been doing this work for over 20 years in Los Angeles as well as designing, manufacturing, and installing steel doors and windows of the same type that exist at Billiwhack. His work is known for its habitability, beauty, simplicity, and respect of the original structure. See samples of his work on two 1890's structures, next page.

We are the only buyers that showed interest in saving these structures. Rick is one of very few people who has the ability, desire, and interest for this project. We believed that the county would/could be advocates of the adaptive reuse and repair of this property given its history in the county. Up to this point, our experience has been difficult and time consuming.

CT1: 759 N Spring Street



Before



After



CT6: 676 N Spring Street



Before



After



Adaptive Re-use of 1890's Buildings

The Project

The property consists of lemon and avocado orchards and 60,000 square feet of buildings originally constructed as a dairy. Construction began in 1926 but not completed when sold in 1928 to another dairy company. The new company completed the buildings and began operating in 1934. The dairy shut down in 1942 after 8 or 9 years of operation. Subsequently, there have been 10 owners, over the next 75 years, none of which used the property as a dairy. Today the county is basing existing use on the very first use because one assessor record in 1954 that calls out the Creamery. This building will always be known as the Creamery but it has not functioned as one for 75 years.

Our Project is the adaptive re-use of the original Creamery building as our main residence and to maintain the two other existing residences. Our exterior modifications to the Creamery building impact 4 existing windows and create 4 new windows. A total of 2.5% of the elevation is altered. All modifications are in keeping with the original design and materials. We have an historic report that recommends the project and finds that all proposed work is in accordance with the Secretary of the Interiors Standards. Report attached.

We were granted a repair permit for a residence that has allowed us to repair the front corner of the Creamery building (see photos next page). We have spent approximately \$750,000 on an historically accurate repair, in both materials and construction methods. We believe the integrity that has been exhibited during this repair should define our commitment to rehabbing all of the buildings with care and consideration.



Before

12/20/2018



Early Demo

09/20/2019



Mid Demo

09/28/2019



Re-built Steel Structure

03/17/2020



First Pour Forming

04/03/2020



First Pour

04/08/2020



Today

Residence Repair
Accomplished Since Sept. 2019
Billiwhack Ranch



Before



After

Residence Repair
Billiwhack Ranch

Zoning Issues

The issue we are faced with, and the reason for this meeting, is the characterization of building H2's damaged area as voluntary. Building H2 is a 2,400 sf historic residence that had extreme deferred maintenance when we purchased the property. Our plan was to perform some initial, surgical investigation to determine the work that was needed to do a light remodel.

The combination of poor design and execution, along with 50 years of deferred maintenance and mud flows from the adjacent hill plus the riding arena, directed water towards the building. The grade crept up through the years and, in the end, was higher than the wood framed floor & walls. Water had been wicking into and up the stucco for years. The studs were rotted out and some completely gone. All the original lathe paper was gone. The floor, just inches above the dirt, was spongy and one could step through it in places. What began as a surgical investigation to determine the scope of work turned into a removal of all of the damaged, non-structural infill and finishes. The original steel structure remains intact and roof tiles were saved.

From this work we were developing our scope of work and during that time we were cited. We take full responsibility for state the building is in. Rick has been doing projects of this nature all his working life and it's not in his nature to remove anything authentic & original only to replace it with a contemporary building. We did remove more than 50% of the infill without a permit. We contend, and hope to show, that the non-structural materials that were removed were damaged beyond repair and that the damaged material had zero integrity; that these conditions were created over a long period of time and existed at the time we purchased the property; and that the damage was involuntary.

The VC Non-Coastal Ordinance Division 8, Chapter 1 Section 8113-6.1.1 states: Whenever any such structure is involuntarily damaged or destroyed in whole or in part, the structure may be restored to its original state existing before such removal, damage or destruction. The occupancy or use of the structure or part thereof which existed at the time of the damage or destruction may be continued...



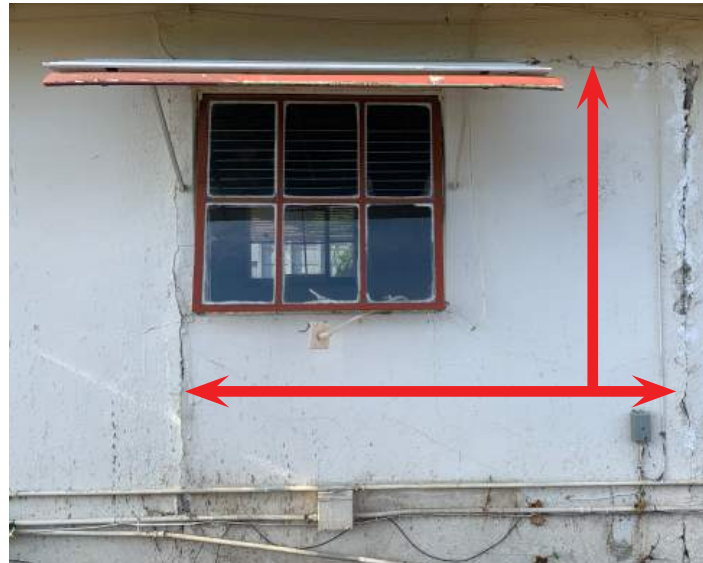
Building H2

Interior Damage Pre Demo: Floor, Walls, Ceiling (Exposed Damage)
Billiwhack Ranch



Building H2

Interior Damage Pre Demo: Floor, Walls, Ceiling (Exposed Damage)
Billiwhack Ranch



South Side:
Stress fractures & damage
visible at each window



Building H2
Exterior Damage
Billiwhack Ranch



Floor Level



Original Grade



Level Before Cleanup



Building H2
Exterior Damage
Billiwhack Ranch



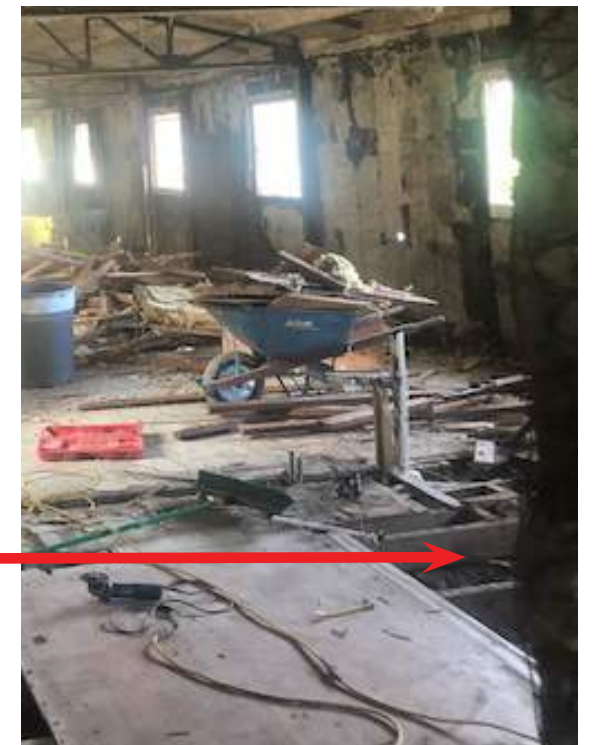
Studs and water membrane gone

Girders laid
on dirt



Only stucco remains

Dirt



Building H2

Interior Damage Pre Demo: Exposed Floors and Walls
Billiwhack Ranch



Building H2

Interior Damage Pre Demo: Exposed Floors and Walls
Billiwhack Ranch

State of California

PUBLIC RESOURCES CODE

Section 5020.7

5020.7. The Legislature recognizes that the long-term preservation and enhancement of historical resources is dependent, to a large extent, on the good will and cooperation of the general public and of the public and private owners of those resources.

Therefore, it is the intent of the Legislature that public agencies, including the commission and the office, shall endeavor to carry out their responsibilities under this article in a manner designed to elicit the cooperation of the owners of both identified and unidentified resources, to encourage the owners to perceive these resources as assets rather than liabilities, and to encourage the support of the general public for the preservation and enhancement of historical resources.

(Added by Stats. 1992, Ch. 1075, Sec. 3. Effective January 1, 1993.)

Exhibit A

Batinica, Meighan

From: Rosengren, Franca
Sent: Monday, August 24, 2020 1:55 PM
To: Batinica, Meighan
Subject: FW: Appeal for Billiwhack Ranch

Hi Meighan,

Should I forward the comments I receive to you to add to the record? I forgot what I am supposed to do?

Franca

From: debra whitson <debrawhitson@sbcglobal.net>
Sent: Monday, August 24, 2020 1:50 PM
To: Rosengren, Franca <Franca.Rosengren@ventura.org>
Subject: Appeal for Billiwhack Ranch

Dear Ms. Rosengren,

I am writing this on behalf of my family who were the previous owners of Billiwhack Ranch. My family owned the property for over 50 years, through three generations. We loved the property and it was a very difficult decision to sell but we were very fortunate to find wonderful buyers, Rick and Tracy Cortez, who bought the property in December of 2018. They immediately fell in love with the property and were thrilled to be given the opportunity to restore and rehabilitate the buildings and homes on the property. They were very gracious with our long time employee, Carlos Granados, who has lived on the ranch for over 45 years. They kept him as an employee and continued to allow him to live in his home. They also allowed our brother, who was the previous ranch foreman to live in the house he has lived in for many years. If the county does not accept Billiwhack Ranch as a historical Site of Merit, as it was established in 1995 by the County, and allow the Cortez family to rehabilitate the buildings and give them zoning clearance, both Carlos and my brother will have to move.

Please allow Rick and Tracy to do what they do best and rehabilitate the buildings. The property is very unique and should be allowed to be restored.

Sincerely,

Debra Held Whitson
(805 377-2785
debrawhitson@sbcglobal.net

Batinica, Meighan

From: Mitch Stone <mitch@historicrosources.com>
Sent: Tuesday, August 25, 2020 2:59 PM
To: Rosengren, Franca
Cc: Judy Triem; Tracy Cortez
Subject: Billiwhack Stock Farm and Dairy

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Dear Ms. Rosengren,

We are the historic resources consultants who prepared a Phase II Historic Resources Report in connection with the proposed rehabilitation work on the Billiwhack Dairy and Stock Farm at 2275 Aliso Canyon Road. We evaluated whether the proposed project conforms to the Secretary of the Interior's Standards for Rehabilitation and also provided an updated and expanded history of the property. As I am sure you are aware, this property was found to be eligible for listing on the National Register of Historic Places in a survey conducted for the county in 1996, and for this reason is listed as a Site of Merit under County Code. This status requires that it be treated as a historic resource.

As I am sure you are also aware, Billiwhack has been a highly problematic property from a historic preservation standpoint for many decades. It operated as a dairy for only ten years and has, since the early 1940s, been subjected to a variety of uses that were not always kind to its historic character. The lack of an active use and the resulting general neglect of the property over many years has threatened its continued existence as a historic resource. A new use that would take the features that contribute to the historic character of the property fully into consideration required a sympathetic owner with a commitment to making the required investment.

We feel the current owners have those intentions. We have been working with them on the project for some time now and have found them to be highly receptive to our guidance on compliance with the primary historic preservation issue, which is compliance with the Secretary's Standards. We found that the project as proposed does substantially comply with the Standards. The purpose of the Standards is to guide the adaptive reuse of historic properties for which the original uses are no longer viable. The decades of disuse have certainly proven this to be the case for this property. The Standards were made for situations precisely of this kind.

We are not very familiar with the zoning issues that seem to be driving the project review process currently, but we urge the county to bring them to some reasonable resolution as quickly as possible. Treating this situation with some urgency and sharing the goal of preserving the property would be the responsible course for the historic resource, of which the county shares stewardship by virtue of having protected it by ordinance. Having worked with the county for 40 years as consultants and advisors, we have always felt that the county valued historic preservation through the many historic resources surveys conducted, General Plan policy, and a strong review process, all of which are directed towards the protection of landmarks and potential landmarks. We hope the county will continue to serve this larger preservation goal by moving this project forward.

Regards,

Mitch Stone
Judy Triem

San Buenaventura Research Associates
historicrosources.com
888-535-1563

Batinica, Meighan

From: Robert P Moser
Sent: Tuesday, August 25, 2020 10:45 AM
To: Rosengren, Franca
Subject: Billiwhack ranch

Dear Ms. Rosengren, as residents of Aliso Canyon, my wife and I would like to urge you to give favorable consideration to the idea that Billiwhack Ranch should be saved and be allowed to use the historical preservation codes and ordinances. Over the decades that we have lived in Aliso Canyon the Billiwhack Ranch has been allowed to gradually deteriorate to the point that it was a nuisance to the neighborhood. With the new ownership of the last two years that has changed . The new owners have expended considerable assets in an effort to improve and restore the Billiwhack buildings and grounds in a thoughtful way, staying true to the historical nature of this unique property. As neighbors, we feel very fortunate to have an owner of Billiwhack Ranch who has the resources and the desire, to improve and restore the property. We believe that the owners of the Billiwhack Ranch have every intention of preserving and restoring the Billiwhack Ranch and that this process will result in a significant improvement to Aliso Canyon and to Ventura County. We urge you to give favorable consideration to our neighbor's plans to use the historical preservation codes and ordinances to continue this process.

Rob Moser & Lynn Braitman
3024 Aliso Canyon Road
Santa Paula, CA 93060
rpmoser@gmail.com

Batinica, Meighan

From: Brock Bookwalter <buckkeyecitrus@gmail.com>
Sent: Tuesday, August 25, 2020 4:42 PM
To: Rosengren, Franca
Subject: Billiwhack Ranch

Hello Franca,

I am reaching out to you regarding the work being done at Billiwhack Ranch. The Cortez family has gone above and beyond to preserve the historic buildings at Billiwhack, which actually borders my property. As a neighbor it's great to see them spend their time and money to try and salvage these incredible buildings. I can see their property from the south side of mine, and personally would love to have the view of the historic buildings, rehabbed and intact.

Sincerely,

Brock Bookwalter
2847 Aliso Canyon Rd.
Santa Paula, CA 93003

Batinica, Meighan

From: Laurel Braitman <laurel@laurelbraitman.com>
Sent: Tuesday, August 25, 2020 9:48 AM
To: Rosengren, Franca
Subject: Planning Appeal for Billiwhack Ranch

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Dear Ms Rosengren,

I'm writing in support of the Cortezs' efforts to use the historical preservation codes and ordinances to restore, improve and save Billiwhack Ranch. I have spent 42 years on Aliso Canyon--was born and raised here (at 3024 Aliso, a neighboring ranch) and now live here with my fiancé and the rest of our family. For decades, the disrepair and general neglect of Billiwhack has been a sadness for all of us who live here. We can see it from our property and it has been an eyesore. Now, for the first time in my life, there is a couple who are willing to take on the epic amount of work and expense and time the property requires to be brought back to its former glory, and they are meeting roadblock after roadblock. I am not an official spokesperson for residents of Aliso but I can tell you that we are all thrilled that a family with such vision, skill and heart has invested in our canyon and has the very specific tools and resources it will take to make that property what it should be. This is the stuff of good and strong local community--something post Thomas fire and in an uncertain world, we so badly need. I wholeheartedly support their efforts and believe that a CUP approval is not the correct path forward. Furthermore, I am a historian myself (and NYT best selling author) and I believe that they have done their due diligence in hiring the very same historians that the county hired in 1995, to evaluate their plans for restoration and improvement. These are precisely the sort of projects the county desperately needs to attract and keep healthy businesses and families, the kind that invest in our existing infrastructure.

If you have any questions, please feel free to reach out.

Warmly,

Dr. Laurel Braitman
202-549-0939

Laurel Braitman PhD

Author / *Writer-in-Residence* / Director, Writing and Storytelling
Medicine & the Muse, Stanford University School of Medicine



Batinica, Meighan

From: Cathy Lunquist <clunquist@gmail.com>
Sent: Wednesday, August 26, 2020 9:36 AM
To: Rosengren, Franca; tracy@racdb.com
Subject: Billiwhack Ranch

To Whom it May Concern,

I am a resident of Aliso Canyon Road and fully support the Cortez family in their efforts to restore and preserve the Billiwhack Ranch buildings.

My husband's family moved to Aliso Canyon in 1962. Through the years, I have heard so many wonderful stories about the kid's adventures of visiting the "Haunted Dairy" late at night and keeping their eyes open for the notorious ghosts. It has been sad to watch the Dairy decline through the 30 years that I have lived in the canyon.

I am so thrilled to know the new owners want to bring the Billiwhack Ranch back to its former glory and hope the County will grant them the permits needed to continue and complete this project and make the Billiwhack Ranch their full-time home.

Regards,

Cathy Lunquist
3536 Aliso Canyon Rd, Santa Paula, CA 93060
805-647-1870

Batinica, Meighan

From: vcranches@gmail.com
Sent: Wednesday, August 26, 2020 1:52 PM
To: Rosengren, Franca
Subject: Billiwhack Ranch Renovation Support

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Hello Franca,

I am a local farmer and ranchland Broker in Santa Paula. I live and farm on Foothill Road just east of Aliso Canyon. I have known the previous owners, the Held Family for over 30 years dating back to when Wally and Bud Held farmed the ranch. I was in the equipment business at the time and took care of some of their machinery. After their division and death, sadly the property started to decline. The buildings were never maintained well, and then the farm itself went downhill.

After years of marketing efforts, the remaining family finally sold the ranch to the current owners, the Cortez family. This was a match made in heaven. The Cortez's have a great respect and knowledge of history, as well as the technical ability to preserve it. You could not find a better owner to preserve Ventura County History. You know the rest of their story, so I will not repeat it here.

All they are asking is to be treated fairly by adhering to historical guidelines and codes. The request for a CUP is unreasonable as it is not a permanent solution and has conditions that make an investment of this scope very risky. You can see from the photos provided that the quality of their work is outstanding. They are true professionals and likely the best in the business at restoring vintage buildings.

Please allow them to move forward without restrictions and you will be pleasantly pleased at the results. The neighboring community and Ventura County will have another legacy property to be proud of.

Best Regards,

Scott



Scott Dunbar, Broker
Ranch, Land and Commercial Sales

RANCHO CAMULOS MUSEUM

NATIONAL HISTORIC LANDMARK

August 26, 2020

Franca Rosengren
Ventura County City Planner
Via email: Franca.Rosengren@ventura.org

Dear Ms. Rosengren:

My name is Susan Falck and I have served as the Executive Director of Rancho Camulos Museum for the past eight years. I am writing in support of the planning appeal submitted by Tracy Cortez, owner of the Billiwhack dairy property. Rancho Camulos Museum and its board of directors fully support the Cortez's efforts to save this unique and significant historical site using any reasonable means available. We feel strongly that the project should be considered from a historical perspective that would allow the Cortez's to deviate from the current ordinance where necessary to save this historical property. Whatever you and the county can do to assist the Cortez's in their efforts to reconstruct and rehabilitate this property would be greatly appreciated and we believe would be a win for the Ventura County community.

Rancho Camulos Museum shares a special bond with Billiwhack Dairy. August Rubel, who purchased Camulos in 1924, was also the founder of Billiwhack Dairy. Tracy has consulted with the museum to review some of the Billiwhack papers and holdings we have in our research library. She has also worked closely with historic preservationists Judy Triem and Mitch Stone to make sure the reconstruction plans are in keeping with the historical integrity of the Billiwhack property. Judy has served as a member of the Rancho Camulos Board for many years and has kept the board apprised of the Cortez's plans for the dairy. Our group is very excited and supportive of these plans.

Thank you for considering the endorsement by Rancho Camulos Museum, a National Historic Landmark, to move forward on the Billiwhack project. We look forward to seeing this project completed and support the Cortez's plans to make the historic site accessible to local history lovers.

Best regards,



Susan Falck, Ph.D.
Director, Rancho Camulos Museum
818-634-4470

P.O. Box 308 • Piru, CA • 93040
805.521.1501 • www.ranhocamulos.org



County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit C - Appellant's Planning
Commission Powerpoint

Billiwhack Ranch Preservation Project

FINDINGS TO APPROVE

1. Assessor Records vs Project History
2. CHB Ordinance 4225
3. Vested Rights
4. State Law is not Silent regarding Historic preservation.

FINDINGS ONE

Assessor Records vs Project History

The Property History Book submitted to staff as part of our application containing the Assessor Records and a Property History Profile. It was the decision by staff to lend more deference to the Property History rather than the Assessor Records. The project was allowed to proceed by staff under that premise.

The Assessor Records are inconclusive and vague. Also, no records existed prior to 1956

The Property History Profile was and is more complete

Billiwhack Dairy

Billiwhack dairy began operation in 1934 and ceased operation in 1943

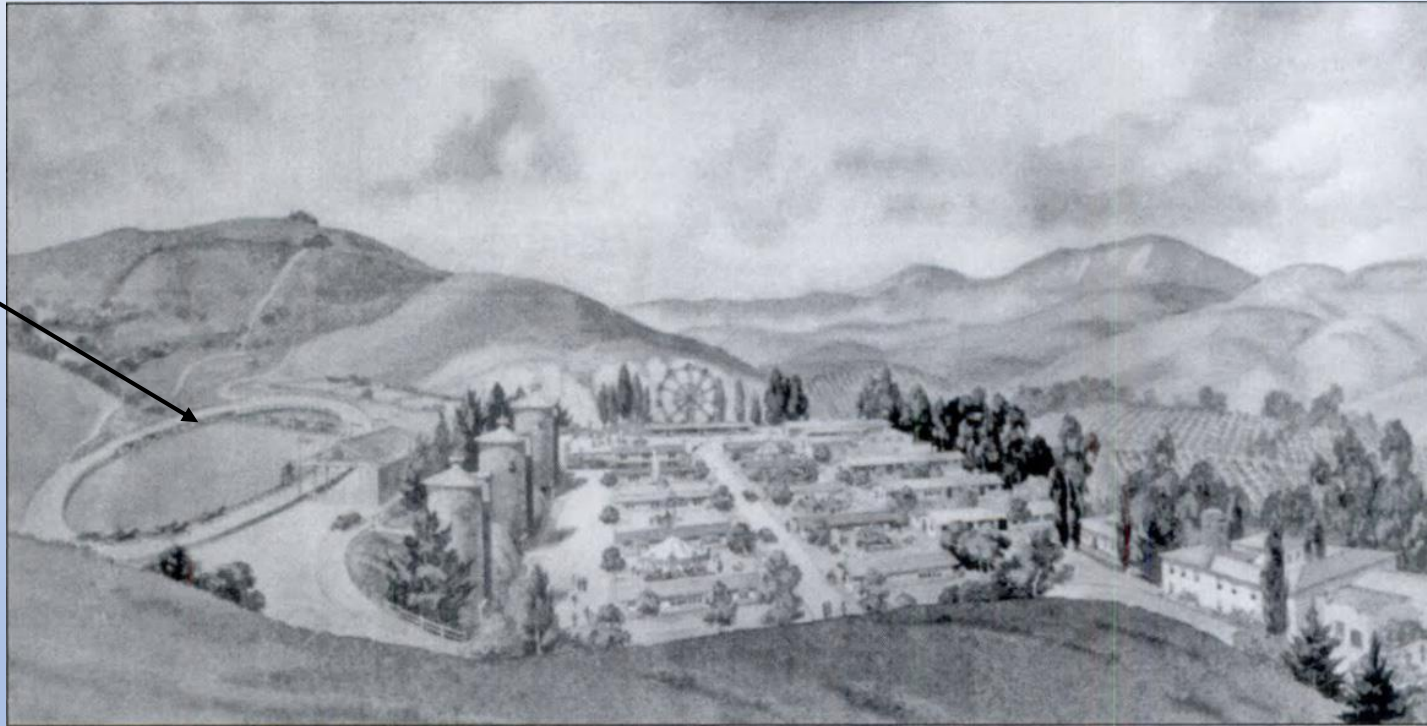


George Pezold

The dairy was then sold to George Pezold in 1943

George Pezold began construction of a Dude Ranch

Horse Track



DUDE RANCH DREAM, 1940s. George Pezold, owner of the Santa Paula Super Market, also owned all or part of the Billiwhack Ranch in nearby Aliso Canyon. Born in Brooklyn, he came west as a young man and fell in love with the Wild West. The ranch inspired him to create a Western-style fantasyland for others to share and enjoy. This is a rendering of his planned resort with mechanical rides and lodging set in the wide-open spaces. Unfortunately, ill health robbed him of his visionary dream.

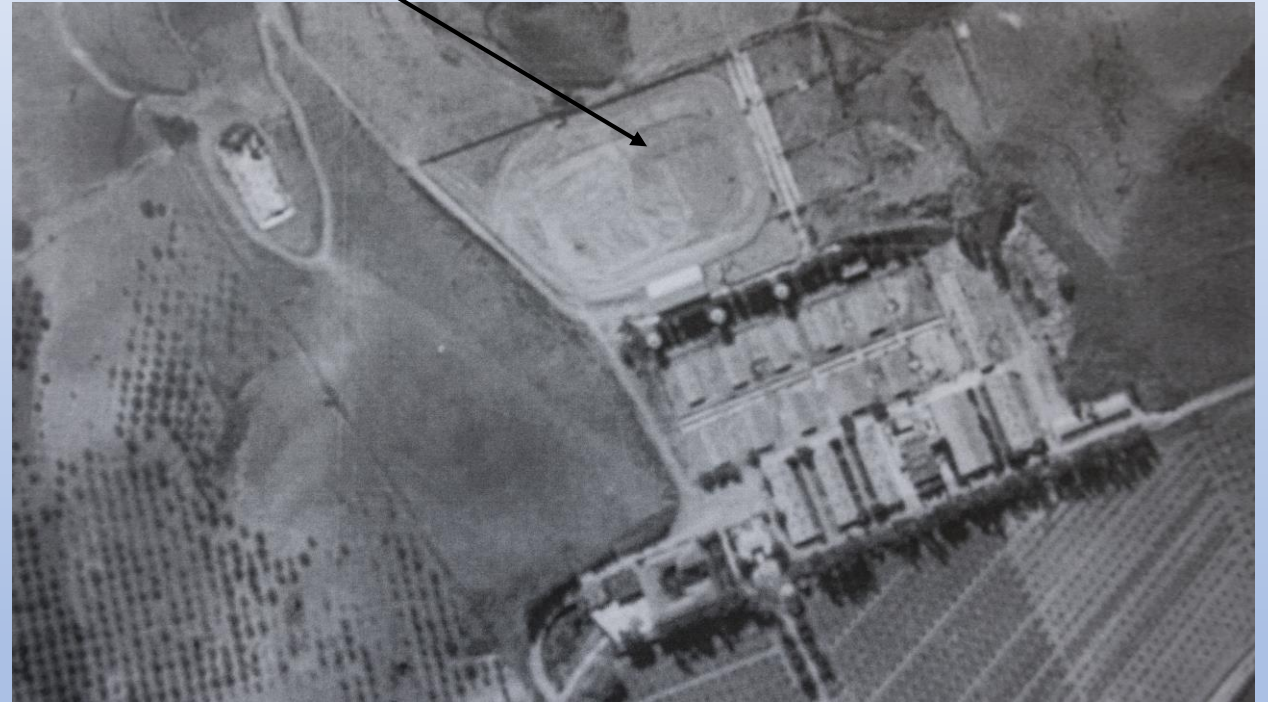
George Pezold

We know some construction of the Dude Ranch from aerial photographs

Horse Track



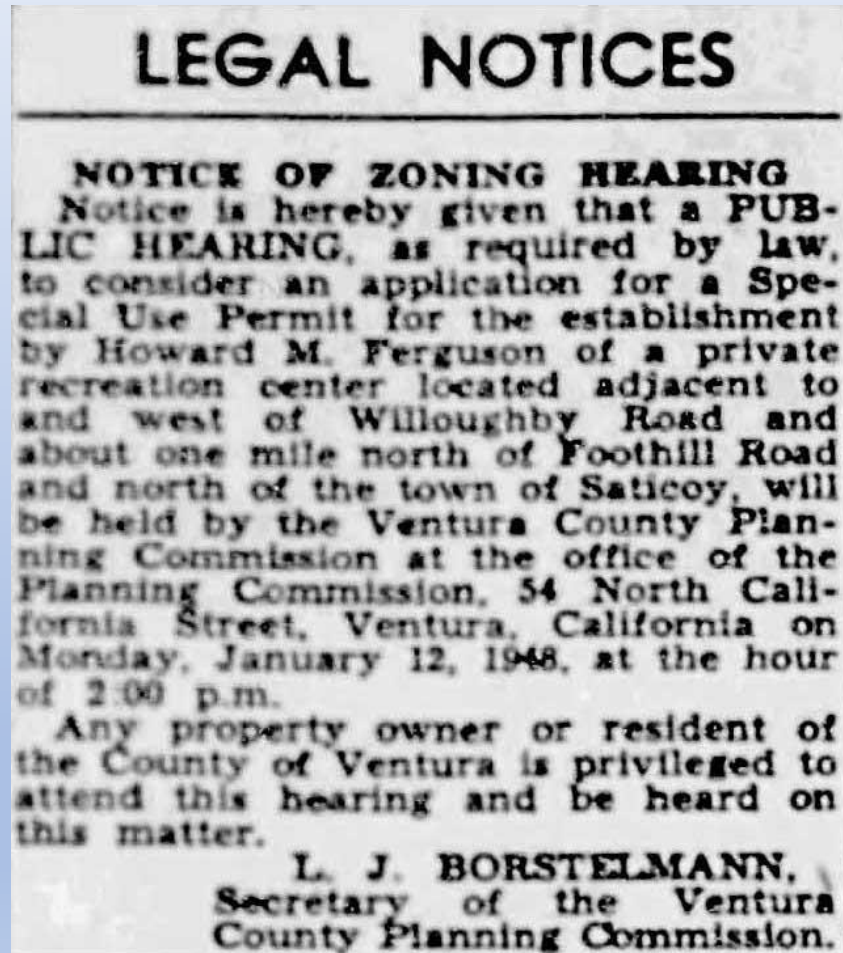
1945



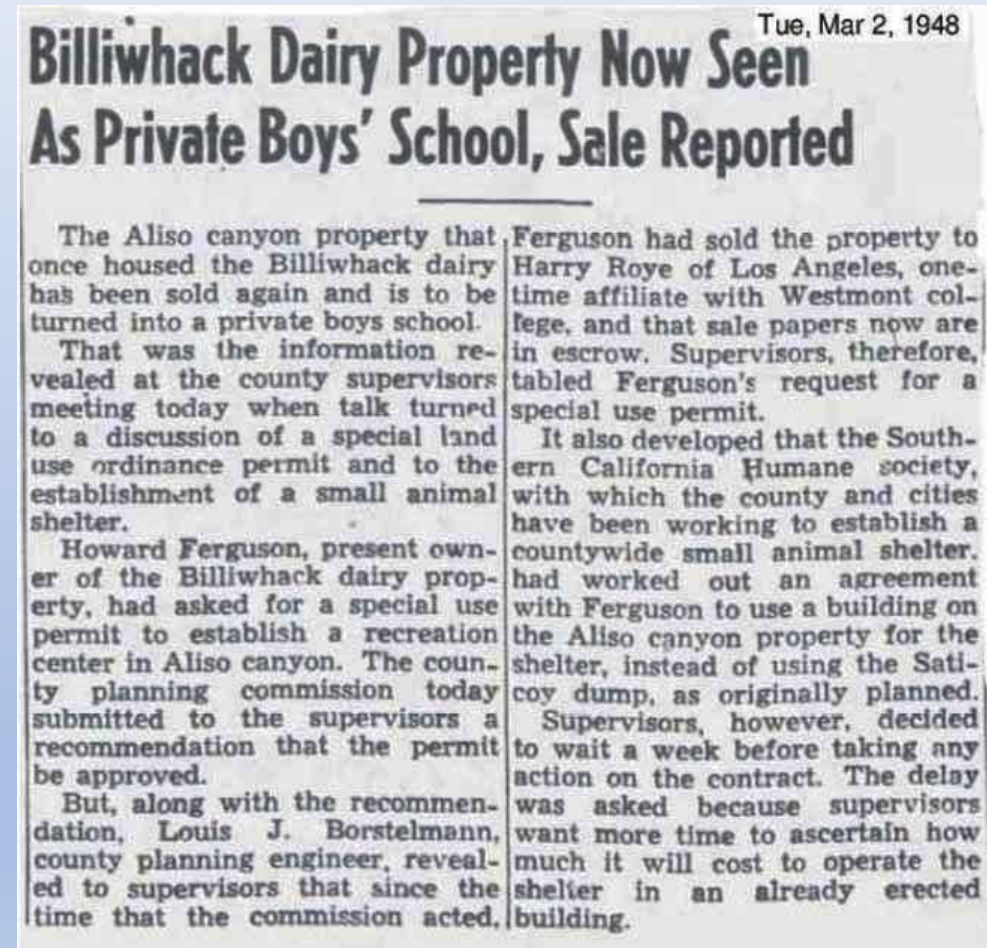
1946

Howard Ferguson

Howard Ferguson purchases property in 1946 and in 1948 and applies for a Special use Permit for a private recreation Center.



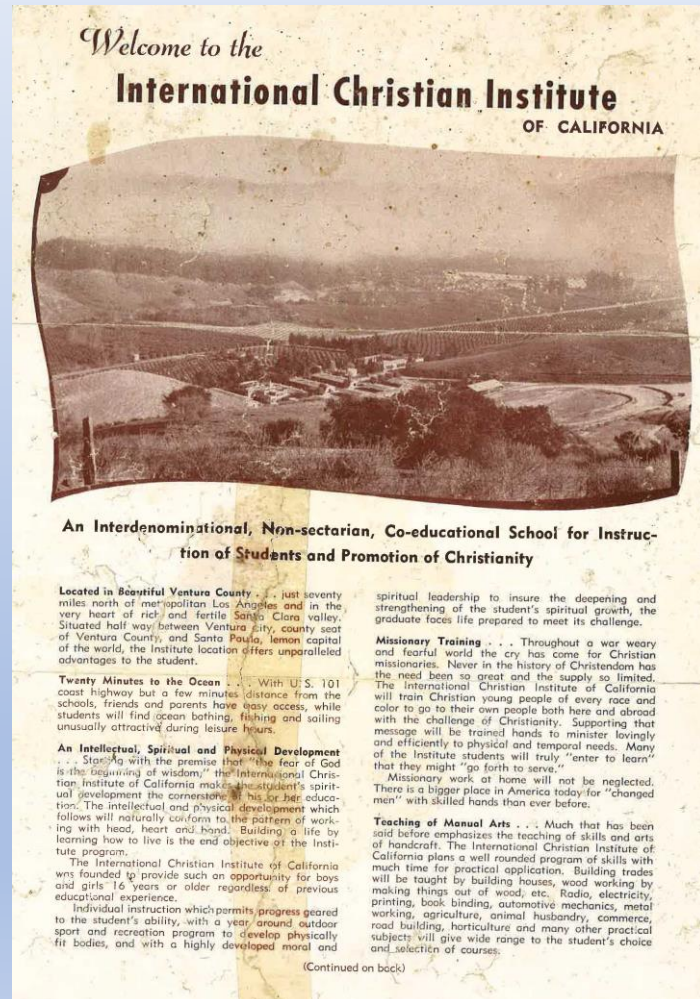
Planning Commission 02.12.1948



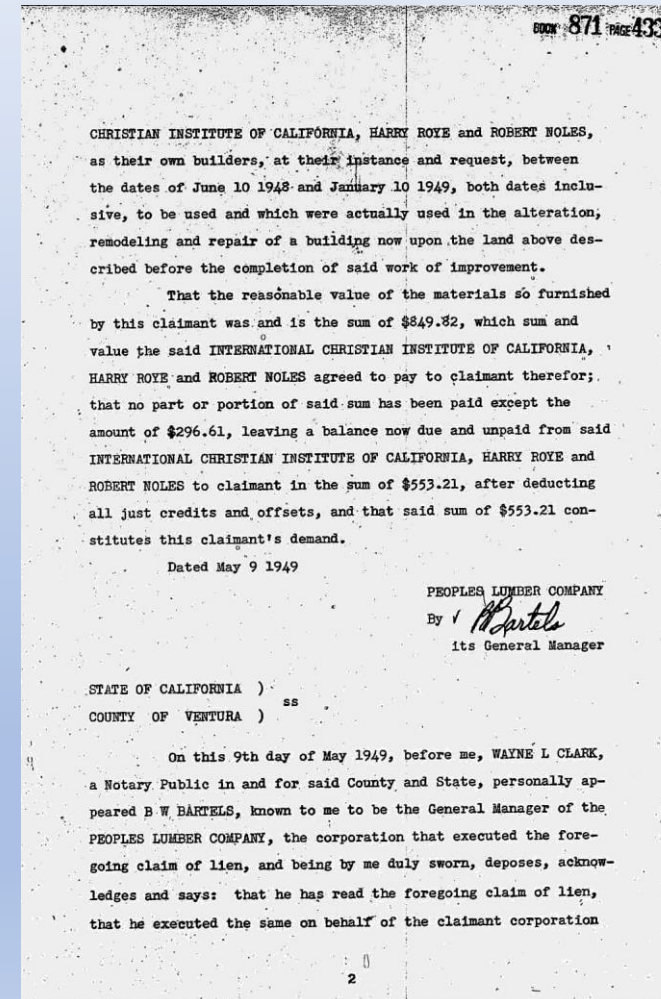
Board of Supervisors 03.22.1948

Harry Roye

Harry Roye purchases the property in May of 1948 and opens the Christian Institute and Retreat.



Christian Institute Pamphlet



Lumber Company Lien

Pacific Electronics

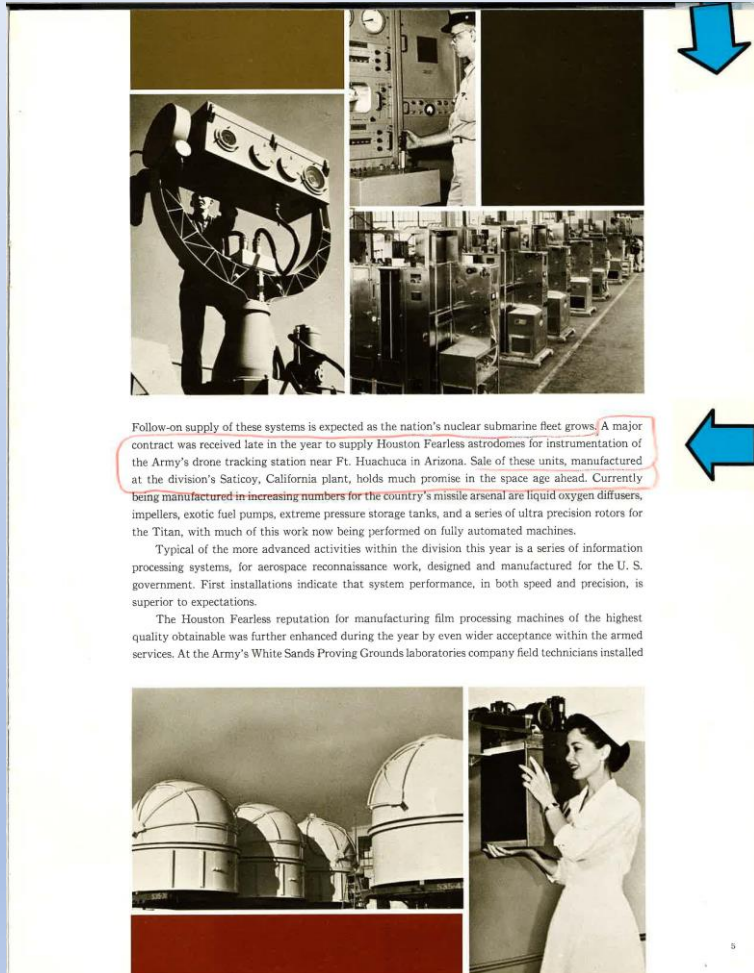
Pacific Electronics is awarded a 4 million dollar government contract and purchases the property in April 1954

A \$100,000 rebuilding program would transfer the Billiwhack Dairy Farm into Pacific Electronic Co., an electronic and tube manufacturing company which would employ more than 1,000 persons to fill \$4 million worth of military contracts. The new owner planned to complete a 50-room hotel, begun by the former dairy owner, to house key personnel. Also planned were a commissary, baseball diamond and tennis courts. The company spokesman noted that television sets would be manufactured after the defense contracts were filled.

As reported in Local Newspress

Houston Fearless, Corp.

Houston Fearless purchases the property in 1956 and continues manufacturing and development of military hardware.



Follow-on supply of these systems is expected as the nation's nuclear submarine fleet grows. A major contract was received late in the year to supply Houston Fearless astrodomes for instrumentation of the Army's drone tracking station near Ft. Huachuca in Arizona. Sale of these units, manufactured at the division's Saticoy, California plant, holds much promise in the space age ahead. Currently

Held Family

Held family purchases the property in 1969 and converts the 98 acre ranch into a citrus and avocado farm.



FINDINGS TWO

Cultural Heritage Ordinance 4225

Sec. 1366. Certificate of Appropriateness (COA): Certificates of Appropriateness shall be required for the following categories of sites only:

1. Landmark
2. Points of Interest
3. Demolition of Sites of Merit
4. Demolition of potential sites
5. Designated Cultural Heritage Sites seeking a Planned Development Permit pursuant to Section 8107-37 of the Ventura County Zoning Ordinance.

Certificates of Appropriateness (and as they may be conditioned) are authorizations issued by the Cultural Heritage Board, or support staff in accordance with criteria adopted by the Board, which indicate that the proposed maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, relocation, or subdivision of a designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated Cultural Heritage Site.

Assigned CHB planner instructed the applicant that this is the ordinance that applies to our project. Along with the Secretary of the Interiors Guidelines.

Billiwhack Ranch Preservation Project

FINDINGS TWO

We are requesting that our project moves forward as submitted to the Cultural Heritage Board on 09.09.2019

Cultural Heritage Ordinance 4225

1. Section 1366-3 c. The Cultural Heritage Board or Staff shall approve a COA if **one** of the following findings can be made.
 - c. The denial of a Certificate of Appropriateness will deprive the owner of the property of **all reasonable use of or economic return on the property.**
2. Section 1366-8 mandates a Certificate of Appropriateness (COA) shall not be required 180 days after the denial of the COA. The day of that expiration was **March 7th 2020**

FINDINGS THREE

Vested Rights

Cultural Heritage Board Hearing One:

Project Cleared by both Planner and CHB planner as submitted with the exception of building H-2 existing caretaker building.

CHB Staff Report:

MAKE the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.

Based on the preceding evidence and analysis, APPROVE a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Billiwhack Ranch Preservation Project

FINDINGS THREE

Vested Rights

Cultural Heritage Board Hearing One:

CHB board and staff recommended that the applicant apply for a structural repair permit for building 4 main residence.

Certificate of Appropriateness was issued followed by a building permit for the repair

FINDINGS THREE

Vested Rights

Cultural Heritage Board Hearing One Structural Repair:



Before Repair of Building 4



After Repair and five (5) County building inspections
and \$750,00 invested in the repair

Billiwhack Ranch Preservation Project

FINDINGS FOUR

State Law is not Silent regarding Historic preservation:

The Constitution of the State of California, Article XI, Sections 4 and 5, state that **home rule** charter cities and counties may develop ordinances to govern local affairs. The constitution further states that ordinances passed by home rule charter cities and counties take precedence over conflicting state laws as to local affairs. State laws take precedence over home rule charter cities and counties ordinances as to matters that are **not local affairs**.

Home rule does not apply when the legislation is not silent.

Examples:

GOV_65852.2. Accessory Dwelling Units

Public Recourses Code California State Office of Historic Preservation

Part 2.7. State Historical Building Code [18950 - 18962]

California Environmental Quality Act

Billiwhack Ranch Preservation Project

FINDINGS FOUR

PUBLIC RESOURCES CODE

Section 5028

5028. (a) No structure that is listed on the National Register of Historic Places, on the California Register of Historic Places, **or on any local public register of historic places**, and that has been damaged due to a natural disaster, including, **but not limited** to, an earthquake, fire, or flood, may be demolished, destroyed, or significantly altered, **except for restoration to preserve** or enhance its historical values, unless the structure presents an imminent threat to the public of bodily harm or of damage to adjacent property, or unless the State Office of Historic Preservation determines, pursuant to subdivision (b), that the structure may be demolished, destroyed, or significantly altered.

PUBLIC RESOURCES CODE

Section 5020.7

5020.7. The Legislature recognizes that the long-term preservation and enhancement of historical resources is dependent, to a large extent, on the good will and cooperation of the general public and of the public and private owners of those resources.

Therefore, it is the intent of the Legislature that **public agencies**, including the commission and the office, shall endeavor to carry out their responsibilities under this article in a manner designed to elicit the cooperation of the owners of both identified and unidentified resources, to encourage the owners to perceive these resources as assets rather than liabilities, and to encourage the support of the general public for the preservation and enhancement of historical resources.

FINDINGS FOUR

Federal Law:

Under the National Historic Preservation Act (NHPA), the Secretary of the Interior is responsible for establishing professional standards and for providing guidance on the preservation of the nation's historic properties.

The standards address five treatments: **Rehabilitation Preservation Restoration Reconstruction New Use**

State Law:

HSC-18951. It is the purpose of this part to provide alternative regulations and standards for the **rehabilitation, preservation, restoration** (including related **reconstruction**), or relocation of qualified historical buildings or structures, as defined in Section 18955. These alternative standards and regulations are intended to facilitate the rehabilitation, restoration, or **change of occupancy** so as to preserve their original or restored architectural elements and features, to encourage energy conservation and a cost-effective approach to preservation, and to provide for the safety of the building occupants.

County Ordinance 4225

Certificate of Appropriateness. Ventura County Cultural Heritage Board or staff issued authorizations which indicate that the proposed subdivision, rezoning, maintenance, acquisition, stabilisation, **preservation, reconstruction**, protection, alteration, **restoration, rehabilitation**, remodeling, addition, **change of use**, demolition, relocation, change, remodeling or other project affecting a potential or designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated one.

Purpose of Historic Preservation

Federal:

Historic preservation is the practice of protecting and preserving sites, structures, objects, landscapes, and other cultural resources of historical significance. Various federal, state, and local government programs, as well as privately funded activities, support historic preservation in the United States.

State:

The mission of the Office of Historic Preservation (OHP) and the State Historical Resources Commission (SHRC) is to provide leadership and promote the preservation of California's irreplaceable and diverse cultural heritage.

County Ordinance 4225

1361 - Purpose and Findings.

The purpose of this Ordinance is to promote the economic and general welfare of the County of Ventura by preserving and protecting public and private historic, cultural and natural resources which are of special historical or aesthetic character or interest, or relocating or recreating such resources where necessary for their preservation and for their use, education, and view by the general public. All such efforts are taken to make the citizens of this County, and visitors and tourists mindful of the rich historical, cultural, and natural heritage of the County.

FINDINGS FOUR

2019 Historical Building Code:

8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or reconstruction of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users. The CHBC requires enforcing agencies to accept solutions that are reasonably equivalent to the regular code (as defined in Chapter 8-2) when dealing with qualified historical buildings or properties.

8-101.3 Intent. The intent of the CHBC is to facilitate the preservation and continuing use of qualified historical buildings or properties while providing reasonable safety for the building occupants and access for persons with disabilities.

8-102.1.4 Continued use. Qualified historical buildings or properties may have their existing use or occupancy continued if such use or occupancy conformed to the code or to the standards of construction in effect at the time of construction, and such use or occupancy does not constitute a distinct hazard to life safety as defined in the CHBC.

8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

FINDINGS FOUR

Sustainability

Federal:

The most sustainable building may be one that already exists. Thus, good preservation practice is often synonymous with sustainability.

State:

Building "recycling" is most efficient at conserving energy and resources. Older and historic buildings comprise more than half of the existing buildings in the United States. Retention and adaptive reuse of these buildings preserves materials and embodied energy already expended in procurement and construction.

County

Incorporating “green building” into a project means taking steps to create buildings that are safe and healthy for people and that protect our environment. While specific methods and products may vary from project to project in general, green building techniques seek to conserve natural resources, increase energy efficiency, and improve indoor air quality in all types of new construction.

Conclusion

NCZO provides no guaranteed path for preservation of an historic resource without the use of a Conditional Use Permit.

The county already has one discretionary review and that is the Cultural Heritage Board. One more level of discretionary approval does constitute historic preservation.

Historic Preservation vs NCZO

NCZO provides no guaranteed path for preservation of an historic resource without the use of a Conditional Use Permit.

CHB ordinance 4225 allows changes to the use without any mention of conditions other than conditions cited by the Cultural Heritage Board.

The NCZO is in direct violation of state law regarding the protection of historic resources. **PRC Section 5028**

Reconstruction

County Ordinance 4225

"Reconstruction" (treatment)—The act or process of reproducing through construction the exact form and detail of a vanished building, structure, or object, or any part thereof, as it appeared at a specified period of time.

Using the NCZO how could a vanished historic building ever be reconstructed without change of use?

How would any owner be motivated to replace a vanished building without benefit?

The Project as Approved 06/19

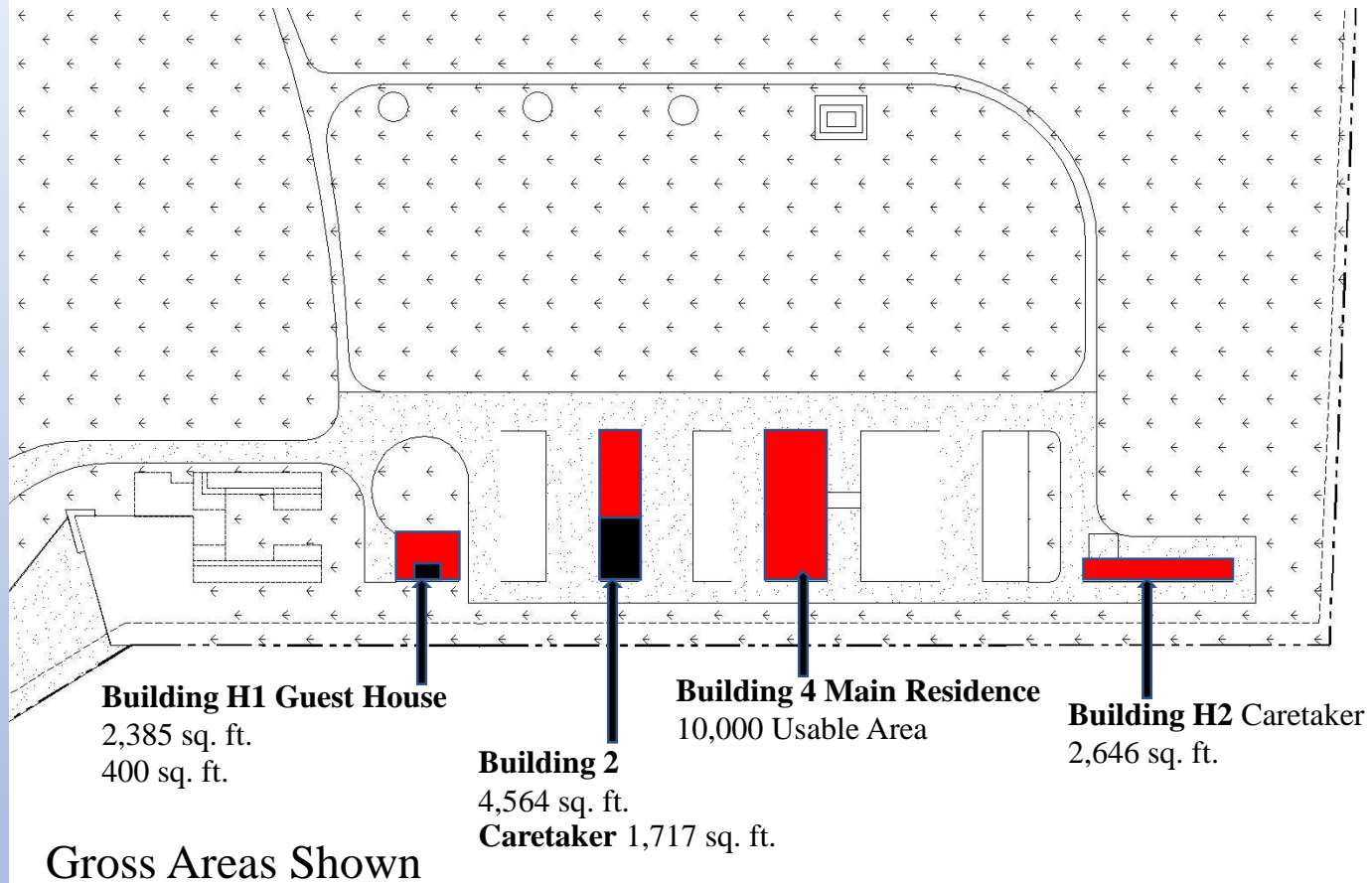
One Main Residence – Allowed Area = Unlimited – Proposed 9,500 sq. ft. Net

One Guest House – Allowed Area = 1,800 sq. ft. Net – Existing 2,200 sq. ft. Net

One Caretaker Residence per 40 acres under crop – Existing site 98 acres – Two Existing:

Building 2 Caretaker – Allowed Area = 1,800 sq. ft. Net – Existing 1,900 sq. ft. Net

Building H2 Caretaker – Allowed Area = 1,800 sq. ft. Net – Existing 2,400 sq. ft. Net



Enlarged Site Plan

Building 4



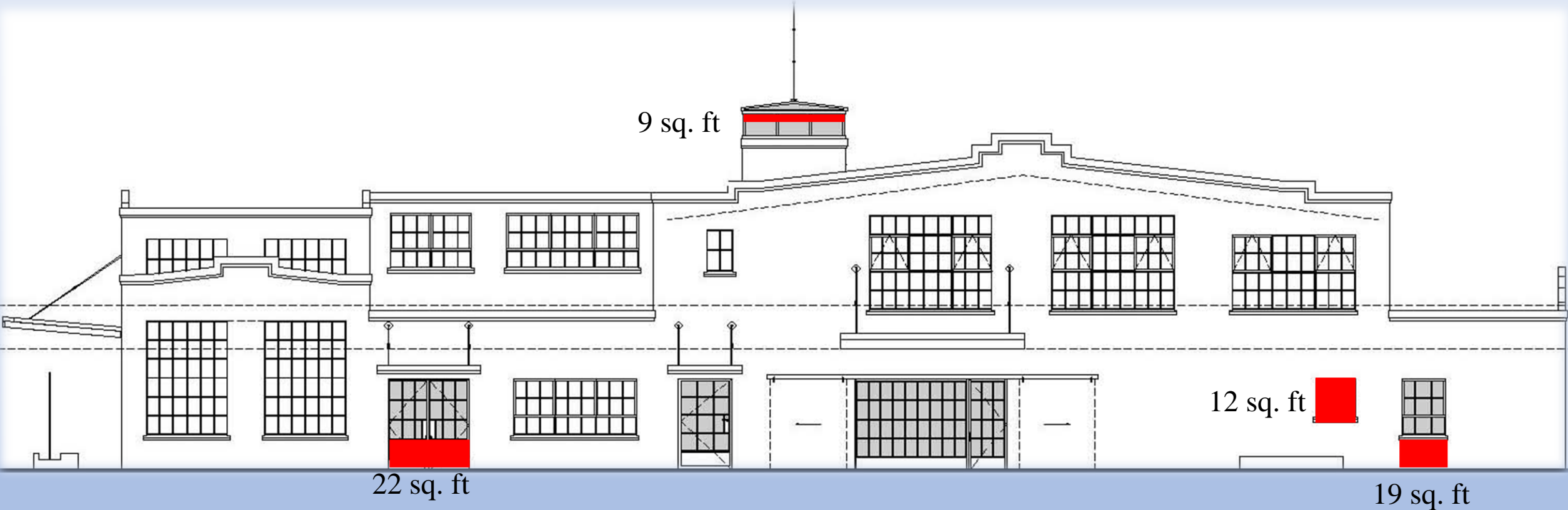
West Elevation

Building 4



East Elevation

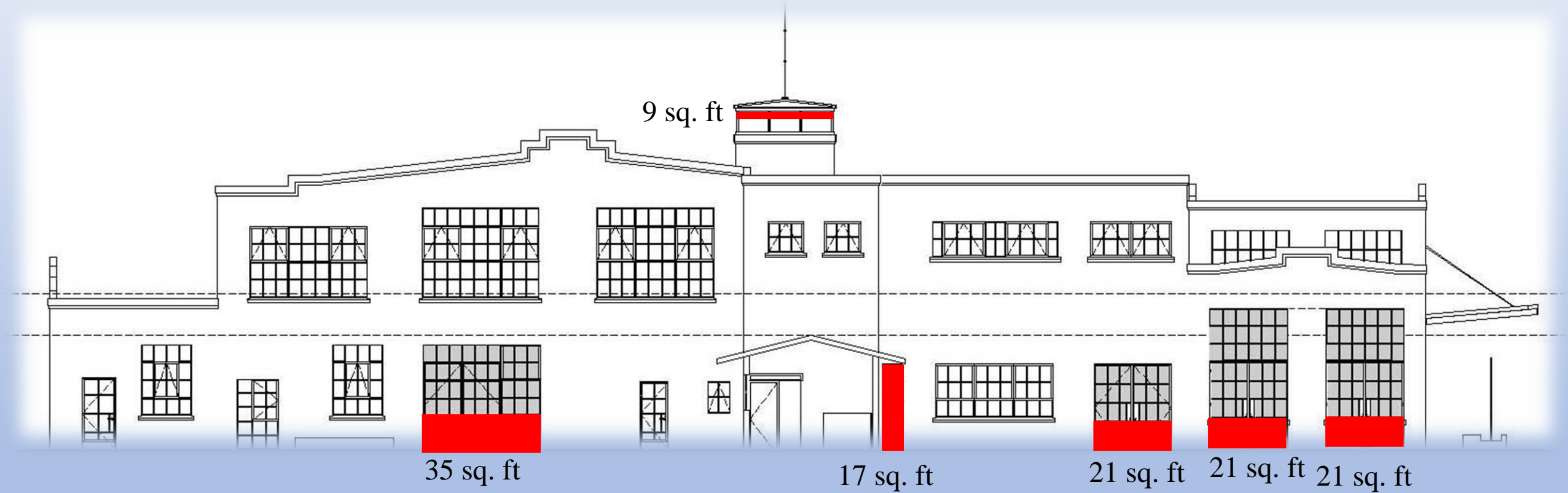
Building 4



South Elevation

Building 4

Fenestration Calculation
 $204/11,106 = 1.8\%$



North Elevation

Ventura County Ordinance

Ordinance 4225 is not Silent

Therefore the Non Coastal Ordinance (NCO) Division 8, Chapter 1 would not apply to listed historic sites

1. Section 8113-6.1.1 states if more than 50% of a building is removed the building loses the Use or Occupancy.
 - a. Even if the Owner would have applied for a building permit, more than 50% of the building was involuntarily damaged due to 70 plus years of deferred maintenance. Hence, no permit would have been issued. This section of the ordinance does allow continued use if the building was involuntarily damaged as in decayed wood caused by 70 years of deferred maintenance. The use of this language would be more appropriate and consistent with historic preservation and the Cultural Heritage Ordinance.
2. Section 8107-37.6 allows for reconstruction of Cultural Heritage Sites. Therefore, this section is more consistent with the Cultural Heritage Ordinance 4225.

Zoning Clearance is an Entitlement

Sec. 8111-1.1.1 - Zoning Clearance: Purpose Of

A Zoning Clearance certifies that a proposed use of land or structures, or construction or demolition of structures, is consistent with the provisions of this Chapter and any applicable conditions of any previously issued entitlement, and the use or structure may be inaugurated. Where no other Planning Division issued entitlement is required, a Zoning Clearance also serves as an entitlement granted for as long as the subject use or structure is in compliance with the applicable requirements of this Chapter. More than one Zoning Clearance may be required and issued for the same property and one Zoning Clearance may be issued for multiple purposes.

a. Zoning Clearance: Applicability Of - A Zoning Clearance is required prior to any of the following actions occurring. To be valid, it must specify for which of the following purposes it is being issued:

(4) Maintenance, alteration, demolition, improvement, reconstruction and the like of any Cultural Heritage Site enumerated in Sec. 8107-32.2; or any site which is potentially eligible to become a designated Cultural Heritage Site as described in the Ventura County Cultural Heritage Ordinance. A Certificate of Appropriateness issued pursuant to the Cultural Heritage Ordinance shall function as a Zoning Clearance for minor work done to a Cultural Heritage Site. Such work includes building exterior surface modifications, re-roofing, installation of new windows and the like for which a zoning clearance is not required for non-coastal cultural heritage sites.

Amortization in the VCNCO for Cultural Heritage sites

1. If the buildings on an historic recourse requiring amortization as in Section 8113-5.2 and at the end of 60 years the historic buildings are required to be into conformance unless it can meet 8113-5.4. What happens if the standards in section 8113-5.4 cannot be met? Is the building destroyed? This is the problem with conditions with regards to the preservation of historic resources. The Federal and State do not allow destruction of Indian remains because they are an important cultural resource protected by law, just like historic buildings.

Zoning Clearance

Sec. 8111-1.1.1 - Zoning Clearance: Purpose Of

A Zoning Clearance certifies that a proposed use of land or structures, or construction or demolition of structures, is consistent with the provisions of this Chapter and any applicable conditions of any previously issued entitlement, and the use or structure may be inaugurated. Where no other Planning Division issued entitlement is required, a Zoning Clearance also serves as an entitlement granted for as long as the subject use or structure is in compliance with the applicable requirements of this Chapter. More than one Zoning Clearance may be required and issued for the same property and one Zoning Clearance may be issued for multiple purposes.

(4) Maintenance, alteration, demolition, improvement, reconstruction and the like of any Cultural Heritage Site enumerated in Sec. 8107-32.2; or any site which is potentially eligible to become a designated Cultural Heritage Site as described in the Ventura County Cultural Heritage Ordinance. A Certificate of Appropriateness issued pursuant to the Cultural Heritage Ordinance shall function as a Zoning Clearance for minor work done to a Cultural Heritage Site. Such work includes building exterior surface modifications, re-roofing, installation of new windows and the like for which a zoning clearance is not required for non-coastal cultural heritage sites.

CHB Hearing 1

Transcript:

[Member Schafer]

The most important part of all of Judy's. 523 forms is this really boring one at the very end with no photographs. That is the district record. So I want to state on the record that I think everything is a district in the way that [inaudible] has told me. And the way I remember how to operate under a district is the district is the property. So we're not looking at any one building we are always looking at how it affects the district. It's definitely a district and my opinion is it's probably a national register eligible district and I think before any work is done if there is a condition or if conditions are to be put on this historic American building survey photography should be done because what I did was basically a quick record of what needs to be captured before it changes. I think. There's a lot of value showing it as is and putting that in the Library of Congress before it changes. And I think there can be varied changes that so I'm not opposed to that. I also can't imagine this doesn't need a discretionary permit at some point at the end of this and if it does the whole of the action becomes discretionary.

[Denise Thomas] Correct.

[Member Schafer] And it's so I think [inaudible].

CHB Hearing 1

Transcript:

[Denise Thomas]

So here's Denise Thomas planning in response to that comment. So essentially what they've done is they're coming in for a piece of an overall project. And the way that CEQA is interpreted is the whole of the action once a discretionary permit is required the whole of the action becomes important and you have to evaluate for environmental impact reasons the whole of the action. And right now they're in for a certificate of appropriateness. But if at the end of it say for instance some sort of discretionary permit is required a CUP or some sort of a permit that requires the planning director approval Planning Commission approval or for a supervisor approval then this is subject to CEQA. And then you will have to do a CEQA determination whether or not the impacts of what they want to do will adversely impact the resource. We seem to be in front of that because right now you're only getting a piece of it. They want a COA to do the interior remodel and to change out these doors and windows. If at the end of this it's determined that for them to have those caretaker units that they want or for them to be able to change the site they need some sort of a discretionary permit. Then it changes what your review is. And you could have approved the COA prior to doing any kind of CEQA analysis and so it's the cart. It could be construed as the cart before the horse. It's unclear at this stage what. Which one is going to come first because the owner could say I just want to do this renovation and stop. Well if they only want to do this renovation and stop you're only reviewing this is a COA. But if they want to do something more than this renovation like make those two caretaker units and they exceed what the ministerial limits are in our code then all of a sudden it's a different review for you. And so you do have the ability to place conditions on the COA. That's the good news. So in the event that a discretionary permit is required you know you could trigger your COA approval possibly. But at this stage what's in front of you right now is not a CEQA analysis it's a certificate of appropriateness for these renovations. And that's what you are charged with reviewing.

CHB Hearing 1

Transcript:

[Member Schafer]

So the second part of that is I'm saying. [inaudible] As well as I can't see them doing major structural repairs under the secretary of interior standards because they would require either the historic building code Or new code. New codes going to destroy more things that are there. Historic Building Code is only applicable To certified buildings. **So It's not certified.**

[Denise Thomas] No it's not.

[Member Schafer] So that means that, No bueno there.

Transcript:

[Denise Thomas]

You could condition it. If the applicant certification or being designated as a county landmark or national or state landmark is within the board's purview. And it's also the applicants choice. So the applicant can come voluntarily and say we want a landmark. This is a district. And then that could get them the historic building code would kick in. And this is a shameless plug but that's the topic that you're going to be discussing when we do our training our CLG training is going to be on this historic building code. They could do that and that would back them in. Could back them into the historic building code. They choose not to. The board has the ability to designate a district over the objections of the applicant as long as the applicant is given advance notice. We have never done that because we'd like to work with property owners as opposed to setting up an adversarial situation. But it is possible. So That's my input

CHB Ordinance

"State Historic Building Code". The State Historical Building Code is contained in Part 8 of Title 24 (State Building Standards Code) and applies to all qualified historical structures, districts, and sites designated under federal, state, or local authority. It provides alternatives to the Uniform Building Code in cases consistent with building regulations for the rehabilitation, preservation, restoration or relocation of qualified historic structures designated as historic buildings.

NONCONFORMITIES AND SUBSTANDARD LOTS

Sec. 8113-0 - Purpose

The purpose of this Article is to provide for the continuation, alteration, conversion or termination of certain classes of lawful, nonconforming uses and structures (other than signs and billboards) under certain conditions, and to regulate substandard lots. These provisions apply to uses and structures which deviate from the regulations of this Chapter.

Sec. 8113-10.3 - Where the Only Change is in the Type of Permit Required

If the adoption of this Chapter, or any amendment to this Chapter, results only in a requirement for a different permit for the same existing use or structure, the use or structure shall be governed by the following provisions:

c. Any change to a use or structure which requires a Planned Development Permit or a Conditional Use Permit, but would be exempt from CEQA, not have any adverse impact on adjacent land uses, and would not conflict with the findings otherwise required pursuant to Sections 8111-1.2.1.1 through 1.2.1.6, may be acted upon by the Planning Director or designee through a Zoning Clearance. Such changes may include, but are not limited to the following:

- (1) A change in use where the new use requires the same or lesser type of permit as the existing use, provided that any resulting increase in parking space requirements will be accommodated on-site or off-site as described in Section 8108-3.3.1.
- (4) Internal remodeling or minor architectural changes or embellishments involving no change in basic architectural style.

Building 4



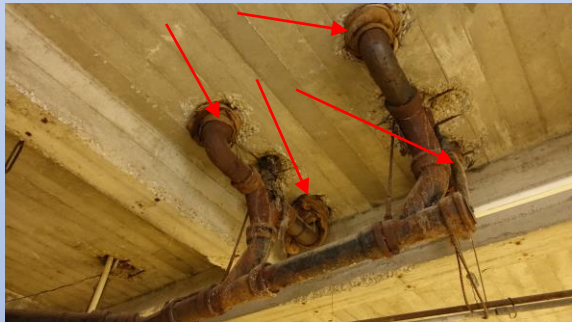
Bedroom



Kitchen



Living



FINDINGS ONE

Assessor Records 1956

NAME Houston-Hearless, Div. of Collier of America Inc.															COMMERCIAL BUILDING RECORD															PARCEL 64-100-11									
LOT 1st 1b BLK CODE 83-04															ADDRESS Willoughby Road															SHEET 6 OF 13 SHEETS									
SUB A Satcoy (Also Tract Sub B) MAP 3A															DESCRIPTION OF BUILDING																								
CLASS & SHAPE		CONSTRUCTION			STRUCTURAL			EXTERIOR			FRONT			LIGHTING			AIR CONDITION			ROOM AND FINISH DETAIL																			
		Light			Frame F L R B			X Flat					Wiring	Heating	Cooling	ROOMS	FLOORS				FLOOR FINISH				TRIM	INTERIOR FINISH													
		Sub-Standard						Unfinished	Recessed	K.I.	X Conduit	Forced	Clean	B	1	2	3	Type	Top	Material	Grade		Walls	Ceilings															
ARCHITECTURE		Standard	X	Concrete B"			S.C. Brick	Transom	Bx.	Cable	Gravity	Humid.	Stair							Tile	G		Tile-Corner	GEN'L SCALING DIMENSIONS															
		Heavy		Brick			Br.						Fixtures	Wall Unit	All																								
	1 1/2 Stories	Special	X	Reinforced			Terra Cotta	Plate Glass in	Few	Cheap	Floor Unit																												
USE TYPE			X	Pilasters	X X X	Stucco	Sheet Glass in	X Avg.	Med.	Zone Unit	Lobby																												
Apartment	FOUNDATION			Ch. Bond Beam	X X X	Steel Sash	Metal Wood	Many	X Good	Central	Hall																												
Garage	X Concrete			Curtain Walls			Bulkhead:				Lavatory																												
Hotel		X	Partitions:			ROOF				PLUMBING	Steam	Living																											
Loft	X Reinforced		Reinforced		Flat	X L-Gab		Poor	X Good	Hot Water	Dining																												
Market			Party Wall		Trusses		Back Trim.				Bed																												
Office	Light X Heavy				X CONC					Fixtures	Oil Burner	Bath																											
Store		X Conc Floor	HEAVY					Water Heater		M-B.T.U.	Kitchen																												
Theatre			Wood Floor		Composition		Lighting	Gas	Electric																														
Creamery			Sub Floor		Title	Trim	Drop Ceiling	Water Softener																															
CONSTRUCTION RECORD				EFFEC.	APPR.	NORMAL % GOOD				RATING (E,G,A,F,P)						BATH & LAVATORY DETAIL																							
Permit		Amount	Date	YEAR	YEAR	Age	Remaining Life	Table	% Cond	Arch. Attr.	Func. Plan	Can-form	Storage Space	Workmanship	Fl.	No.	FINISH		FIXTURES				SHOWER																
No.	For																Floors	Walls	Wa. Lo.	Tub	Dr.	Type	Grade	S.F.	Q.T.D.	Finish													
			1926	26	1926	30	30	OR 60	78	G	G	G			G	1	TILE	GEN'L TIL	2	1		O	A																
																1			2	1																			
															SPECIAL FEATURES																								
															Refrigeration: Built-in Beds:																								
685-8															Elevators:																								

Building 4

Billiwhack Ranch Preservation Project



Zoning Clearance Application

County of Ventura • Resources Management Agency • Planning Division
800 S. Victoria Ave., Ventura, CA 93009 • (805)654-2488 • www.vcrma.org/divisions/planning

Applicant Provided Information

Owner's Name: Billiwhack Ranch, LLC

Phone: 323.663.9898 Cell: 213.308.0014 Email: rick@racdb.com

Owner's Address: 3048 North Coolidge Avenue, Los Angeles, CA Zip 90039

Applicant's Name: Everett Jay Woody or Gil Garcia

Phone: Cell: 805.452.2999 Email: ejw@adcarch.com

Applicant's Address: 122 E. Arrellaga Street, Santa Barbara, CA Zip 93101

Site Address: 2275 Aliso Canyon Road

Cross Streets: Foothill Road & Aliso Canyon Road

Assessor Parcel No(s): 064-0-130-125 and 064-0-130-145

Proposed Use/Structure 1: Main Residence (Building 4)

Proposed Use/Structure 2: Guest House (Building H1)

Proposed Use/Structure 3: Caretaker Dwellings (Building 2 and Building H2)

No. of Existing Bedrooms: 12 Proposed Additional Bedrooms: 15

No. of Existing Covered Parking Spaces (carport/garage): 1

No. of Existing Uncovered Parking Spaces Marked: 0

No. of Protected Trees (see Sec. 8107.25) within 50' of the limits of the construction area: 0

Written Homeowner Association approval: (attached if applicable) ☒ N/A

Certificate of Appropriateness for designated Historic Landmarks or Sites of Merit: (attached if applicable) ☐ N/A

County of Ventura
Board of Supervisors Hearing
Exhibit 2 - Zoning Clearance
Application No. ZC19-0684

Page 2, Zoning Clearance Application Form

For Office Use

Applicant Name: Everett Woody, Angeli de Covolo, Inc.

Date Received:

Lot Size: Irregular sq. ft. 97.73 acres

Violation: Legal Lot Status:

Zoning: AE-40 Overlay Zone: None

General Plan Land Use Designation: None

Area Plan Land Use Designation: Agriculture

Sq. ft. of Gross Floor Area Ministerially Allowed for Structure: All structures completed 1926

On site hazards: None

DEVELOPMENT DATA TABLE
Applicant Provides Information

Existing Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Main Residence (Building 4)	7,413	17,310
Orchard	82.5 acres	82.5 acres
TOTALS	7,207	17,310

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Guest House (Building H1)	2,352	2,352
Caretaker Dwelling (Building 2)	4,564	4,564
Caretaker Dwelling (Building H2)	2,646	2,646
3 Grain Silos	1,629	1,629
Hammer Mill (H/M)	1,775	3,550
TOTALS	12,966	14,741

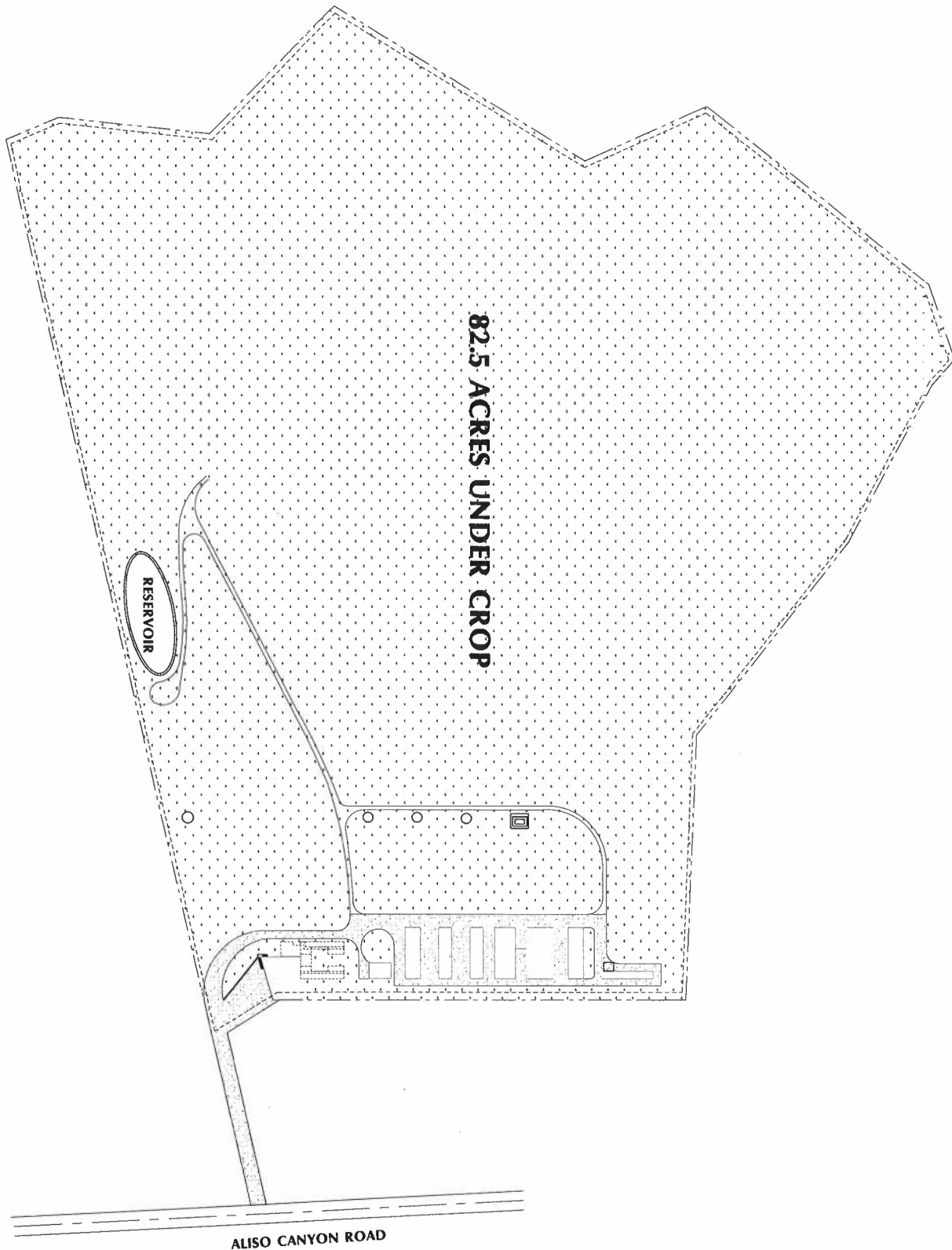
Proposed Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
TOTALS		

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Storage and Maintenance (Building 1A)	10,914	10,914
Bee Keeper (Building 1)	5,341	5,341
Equipment Storage (Building 3)	4,564	4,564
Ranch Maintenance (Building 5)	9,350	9,350
Ranch Equipment Storage (Building 6)	5,341	5,341
TOTALS	35,510	35,510

Angeli de Covolo, Inc.
122 E. Arreaga Street
Santa Barbara, California 93101
805 452 2999

PROJECT DATA

- 



☐ KEY NOTES ☐

GENERAL NOTES

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93100
BILLIWHACK RANCH RENOVATION

NO.	REVISION	DATE
1		
2		
3		
4		



Angel de Covelo, Inc.
122 E. Arreola Street
Santa Barbara, California 93101
805 452 2959

SITE PLAN
1"=100'

A-2

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,804 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT GRAIN SILO

EXISTING EDISON POWER POLE

RAISED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

AREA OF WORK

AREA OF WORK

AREA OF WORK

ENLARGED SITE PLAN

KEY NOTES

EXISTING BUILDING FLOOR AREAS

STORAGE AND MAINTENANCE BUILDING (1A)	10,914 SQUARE FEET GROSS
GUEST HOUSE BUILDING (H1)	2,385 SQUARE FEET GROSS
BEE KEEPER BUILDING (1)	5,341 SQUARE FEET GROSS
CARETAKER DWELLING BUILDING (2)	4,564 SQUARE FEET GROSS
EQUIPMENT STORAGE BUILDING (3)	4,564 SQUARE FEET GROSS
TWO STORY MAIN RESIDENCE (4)	17,310 SQUARE FEET GROSS
RANCH MAINTENANCE BUILDING (5)	9,350 SQUARE FEET GROSS
RANCH EQUIPMENT STORAGE BUILDING (6)	5,341 SQUARE FEET GROSS
CARETAKER DWELLING (H2)	2,646 SQUARE FEET GROSS
HAMMER MILL BARN	3,550 SQUARE FEET GROSS
THREE GRAIN SILOS TOTAL	1,629 SQUARE FEET GROSS
TOTAL	67,561 SQUARE FEET GROSS

SITE STATISTICS

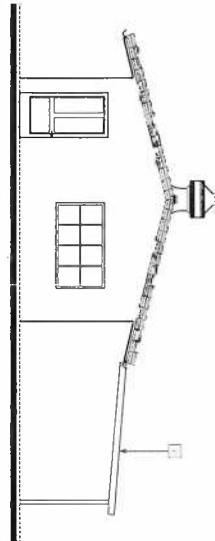
TOTAL BUILDING COVERAGE	55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA	607,912 SQUARE FOOT GROSS
AREA UNDER CROP	3,593,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA	4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES

BUILDING DENSITY CALCULATIONS

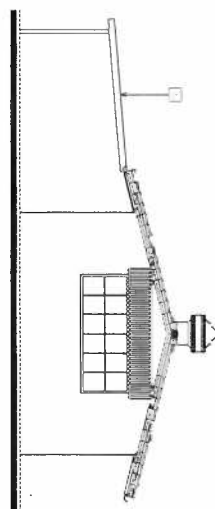
TOTAL BUILDING COVERAGE	55,683 SQUARE FOOT GROSS
TOTAL SITE AREA	4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.31 LESS THAN 5% ALLOWED.	

GENERAL NOTES

1. VERIFY ALL PROPERTY LINES VERIFY ANY DISCREPANCY CHANGES WITH THE ARCHITECT PRIOR TO CONSTRUCTION
2. ALL ITEMS NOT REFERRED TO AS EXISTING ARE TO BE REFERRED TO AS NEW.



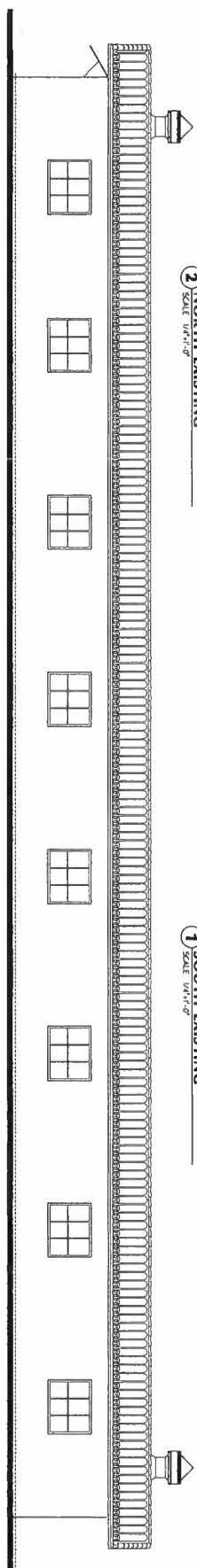
2 NORTH EXISTING
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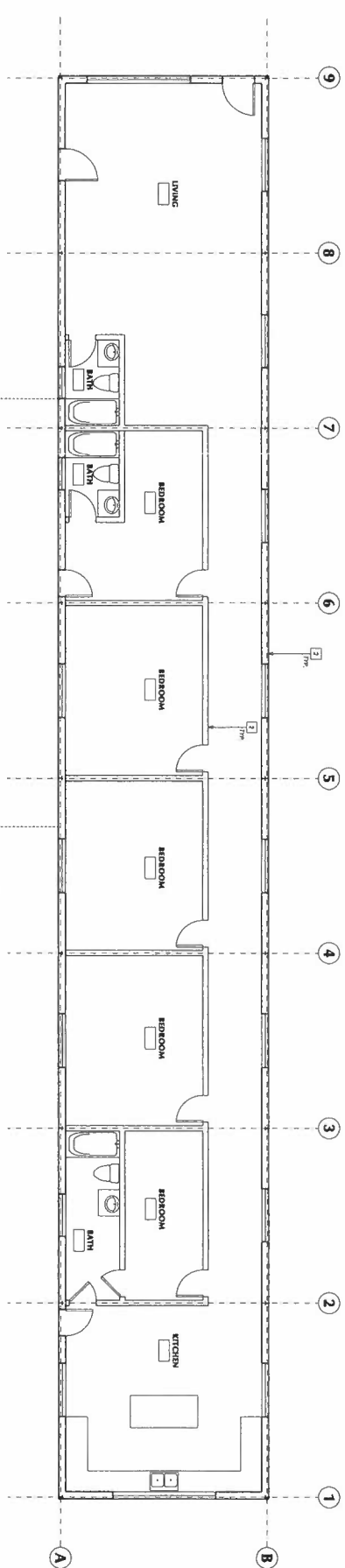
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SCALE 1/4"=1'-0"

GENERAL NOTES

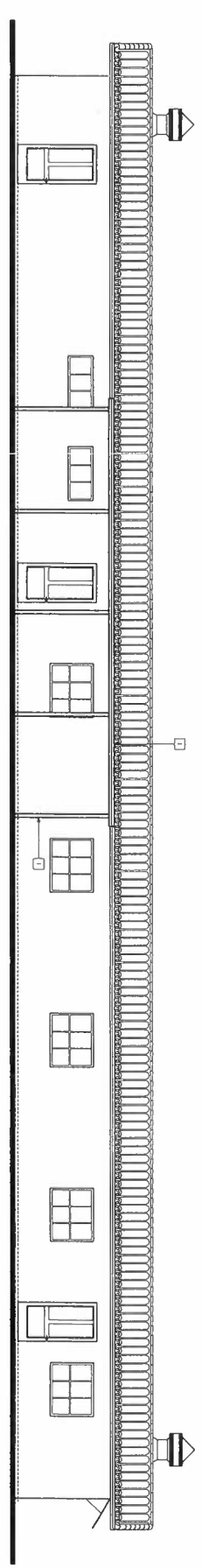
- KEY NOTES
- 1. EXISTING 100 SQUARE FOOT ALUMINUM CANOPY AND BEAM STRUCTURE.
 - 2. NEW SLATE GROUND FLOOR TO MATCH EXISTING EXTERIOR.



3 EAST EXISTING
SCALE 1/4"=1'-0"



BUILDING H2 EXISTING FLOOR PLAN
SCALE 1/4"=1'-0"



4 WEST EXISTING
SCALE 1/4"=1'-0"

A-4

SHEET CONTENTS

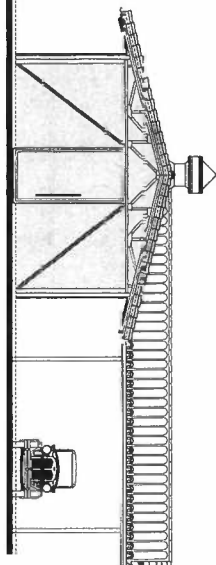
1	EXISTING FLOOR PLAN ELEVATION
---	-------------------------------

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION

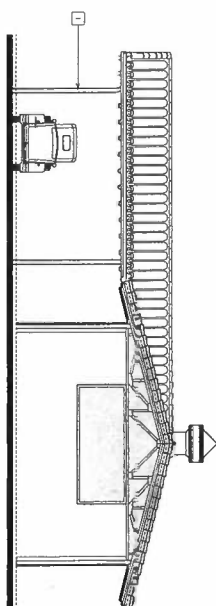
NO.	REVISION	DATE



Angeli de Covclo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805.452.2011



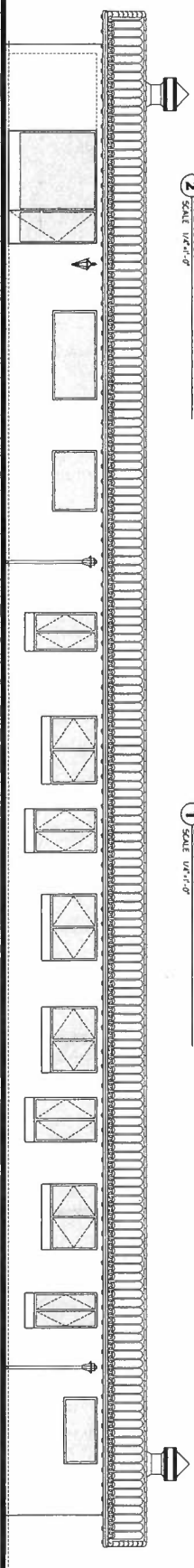
2 NORTH
SCALE 1/4"=1'-0"



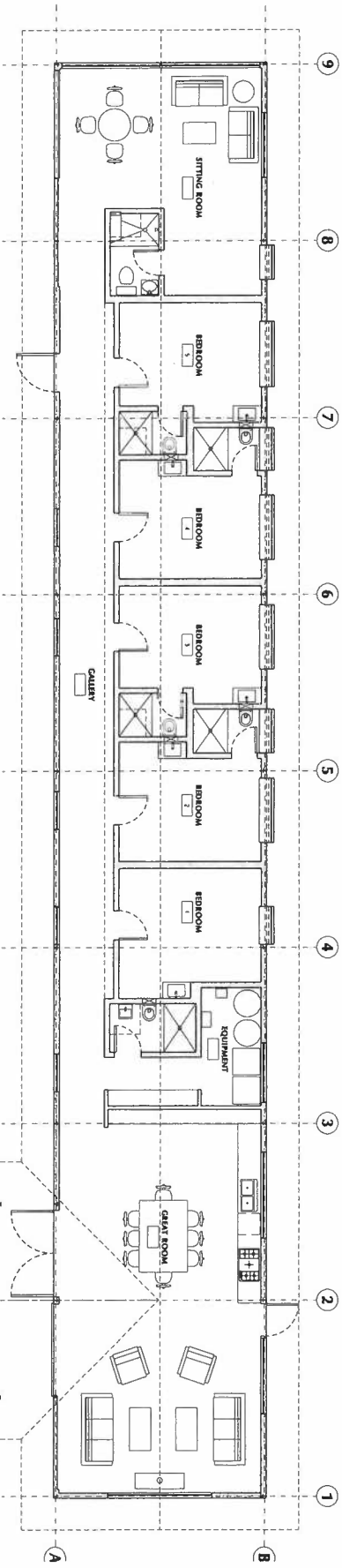
1 SOUTH
SCALE 1/4"=1'-0"

GENERAL NOTES

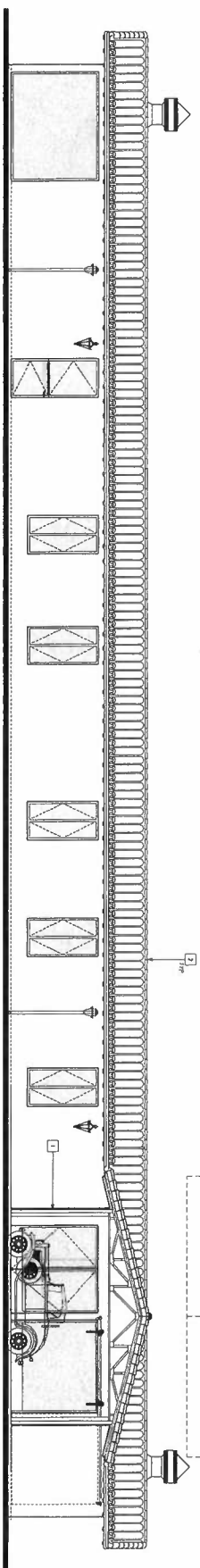
- KEY NOTES
- 1. REMOVED GARAGE: TRUCKS TO PARKING LOT
 - 2. EXISTING T&E ROOM SHALL BE RE-INSTALLED



3 EAST
SCALE 1/4"=1'-0"



BUILDING H2 FLOOR PLAN
SCALE 1/4"=1'-0"



4 WEST
SCALE 1/4"=1'-0"

A-5

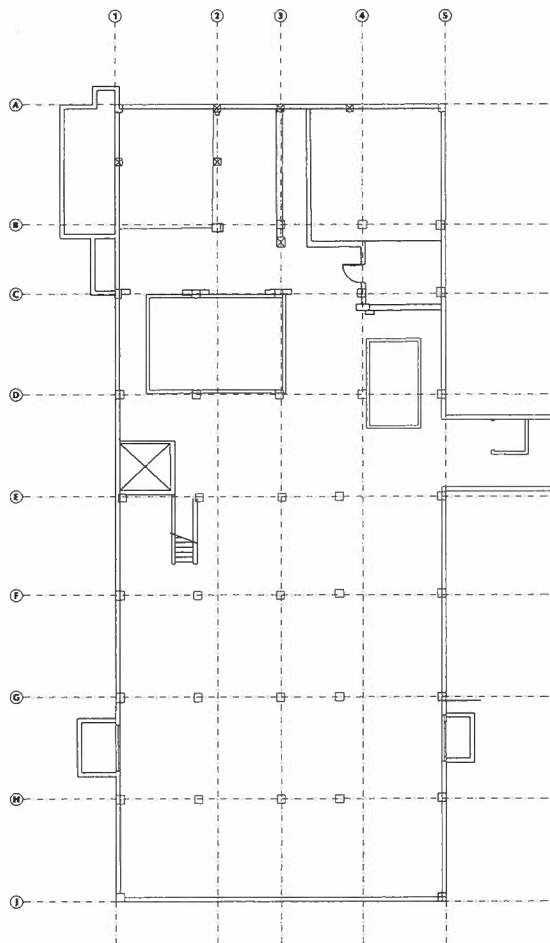
SHEET	CONTENTS
1	BUILDING H2 FLOOR PLAN AND ELEVATIONS
2	BILLWACK RANCH RENOVATION

BILLWACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWACK RANCH RENOVATION

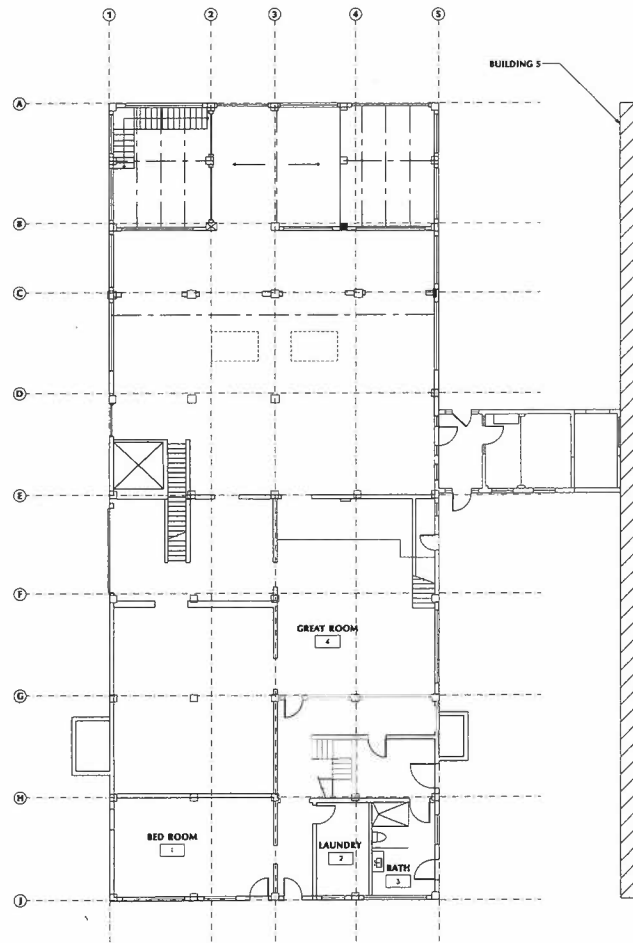
NO.	REVISION	DATE



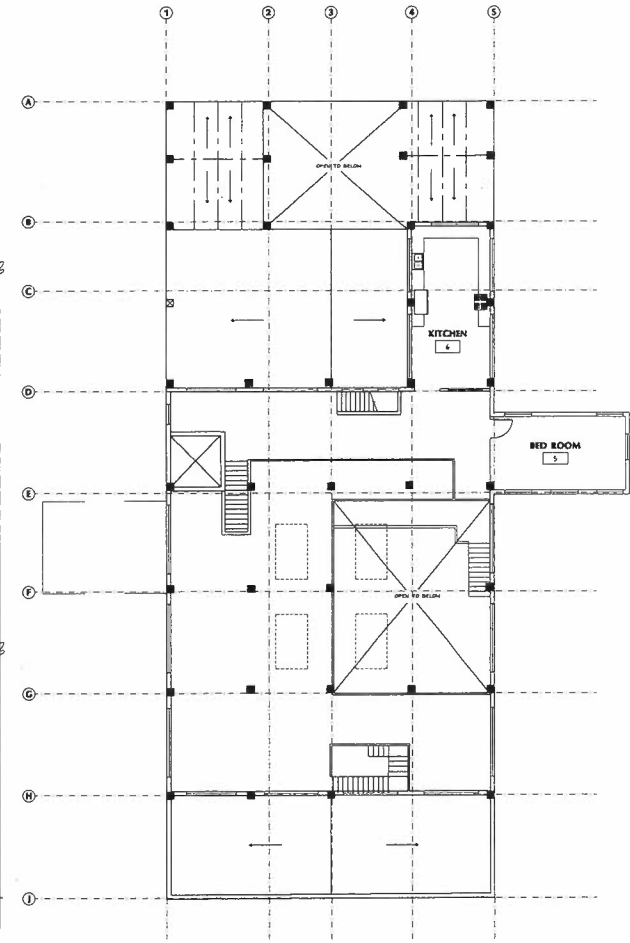
Angeli de Covolo, Inc.
122 E. Arcadia Street
Santa Barbara, California 93101
805 452 2099



BASEMENT FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



2ND LEVEL FLOOR PLAN BUILDING 4

□ KEY NOTES □

GENERAL NOTES

DATE	
NO. REVISIONS	

BILLIWHACK RANCH RENOVATION
BILLIWHACK RANCH
122 E. ARROYO STREET
SANTA BARBARA, CA 93101

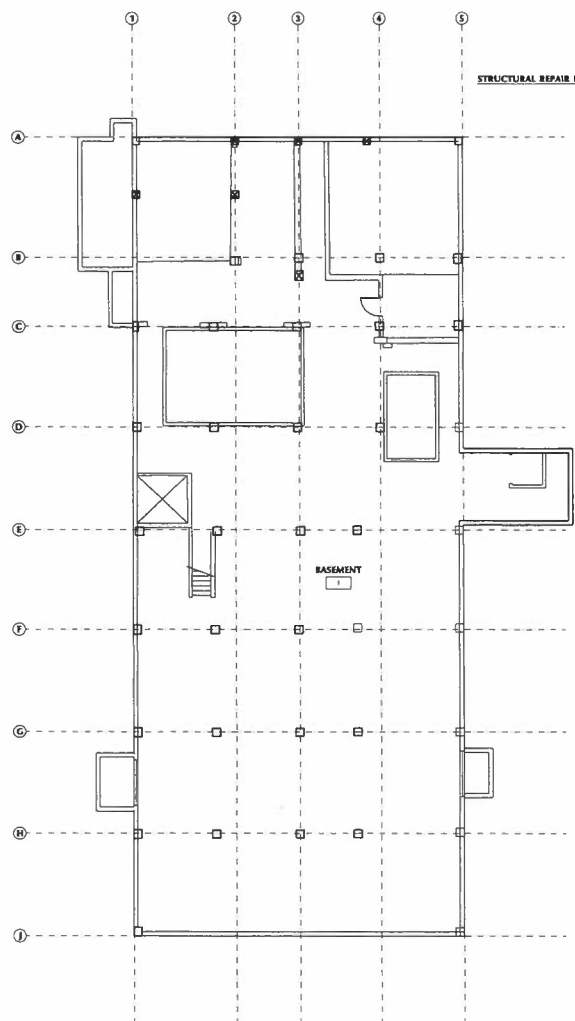
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BUILDING 4
EXISTING FLOOR PLANS

PROJECT NO.	7275
DATE	06.11.2014
DRAWN BY	

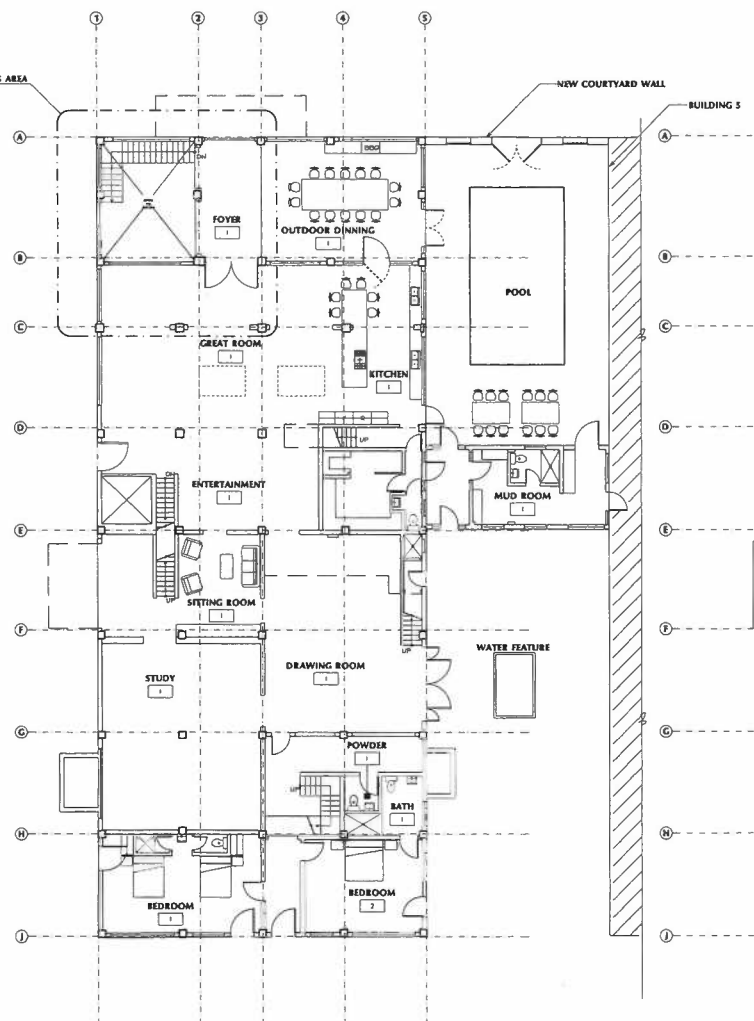
KEY NOTES

GENERAL NOTES

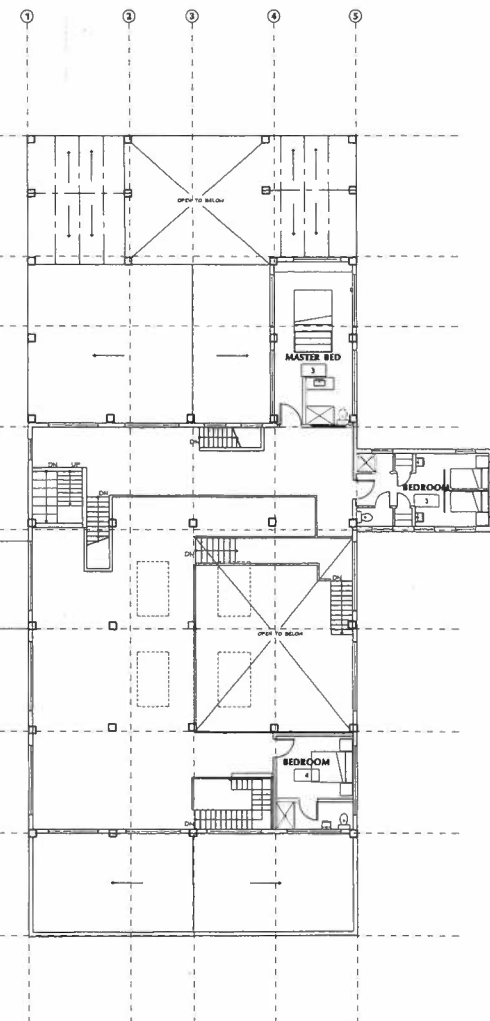
1. EXISTING WINDOW AND DOOR SYSTEMS WILL BE RESTORED.
2. EXISTING WINDOW AND DOOR SYSTEMS THAT CANNOT BE RESTORED SHALL BE REPLACED TO MATCH EXISTING.



BASEMENT FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



2ND LEVEL FLOOR PLAN BUILDING 4

DATE

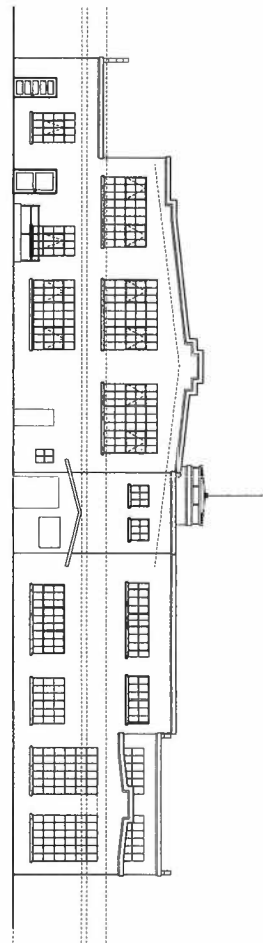
BILLWHACK RANCH
2775 ALISO CANYON ROAD
SANTA ANA, CA 92705
BILLWHACK RANCH RENOVATION

SHEET CONTENTS
BUILDING 4
PROPOSED FLOOR PLANS

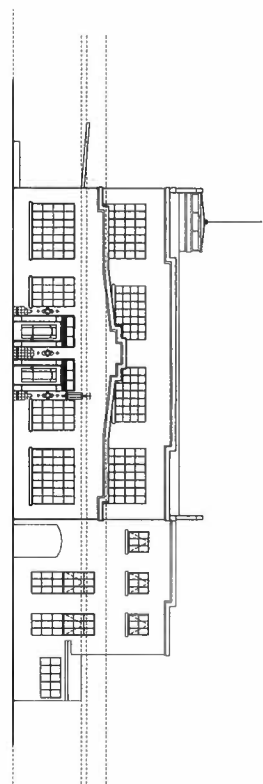
PROJECT NO.	
DESIGNER NO.	
TITLE NO.	7275
DATE	06.11.2019

☐ KEY NOTES ☐

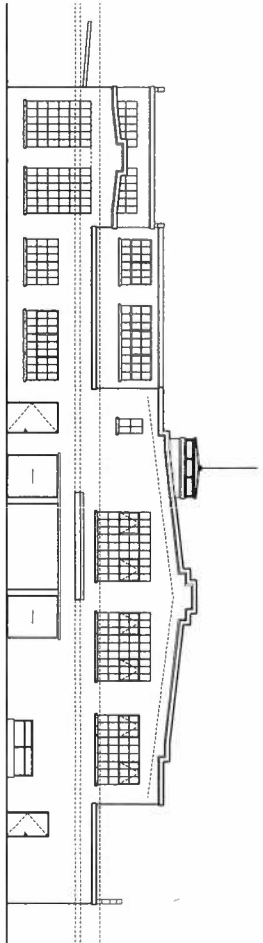
GENERAL NOTES



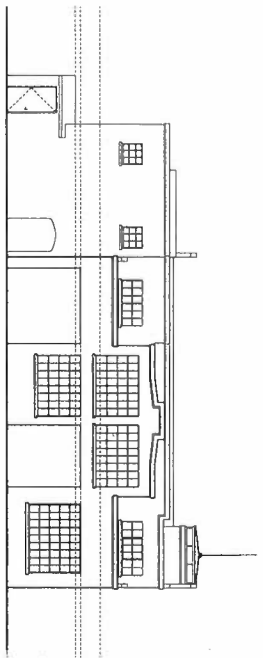
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1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



Angeli de Cowclo, Inc.
122 E. Arrington Street
Santa Barbara, California 93104
805 452 2939

NO.	REVISION	DATE

SHEET CONTENTS
BUILDING 4
EXISTING ELEVATIONS

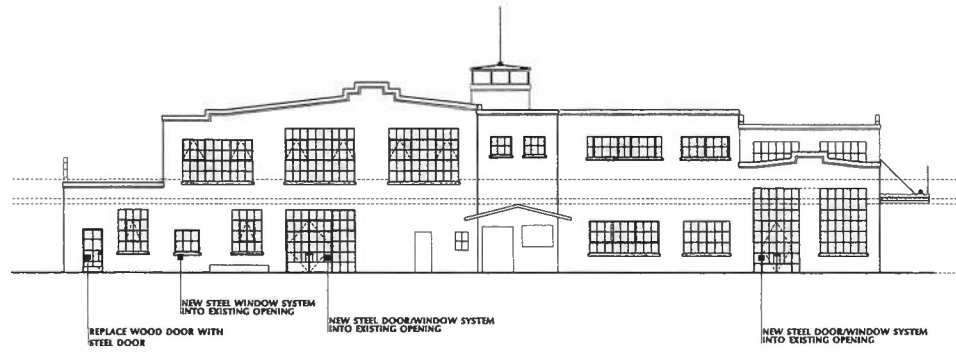
BILLWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWHACK RANCH RENOVATION

A-8

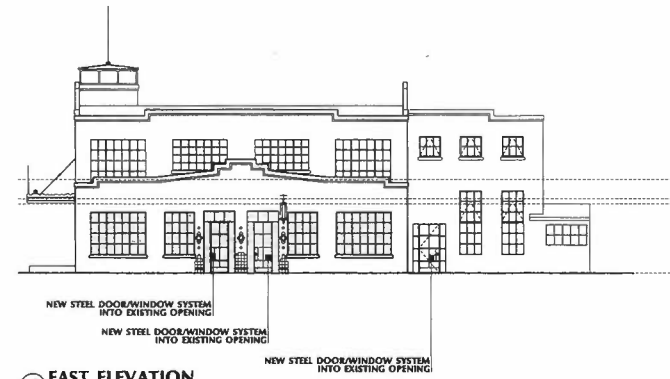
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GENERAL NOTES

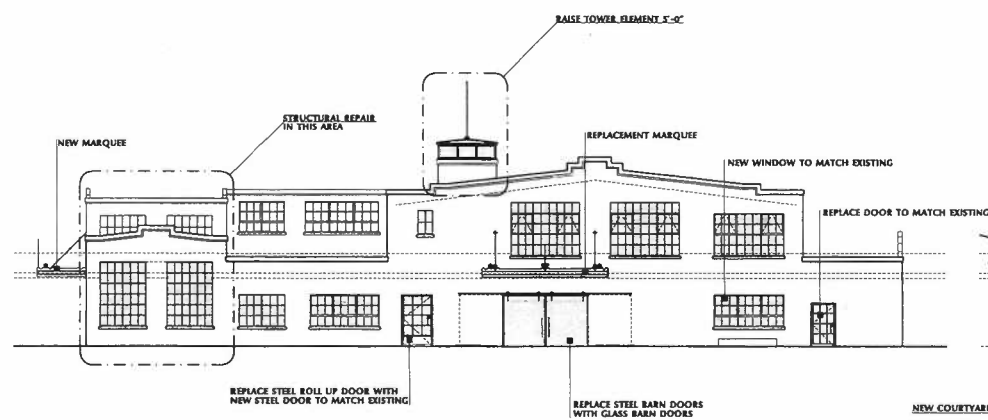
1. EXISTING WINDOW AND DOOR SYSTEMS WILL BE RESTORED
2. EXISTING WINDOW AND DOOR SYSTEMS THAT CANNOT BE RESTORED SHALL BE REPLACED TO MATCH EXISTING



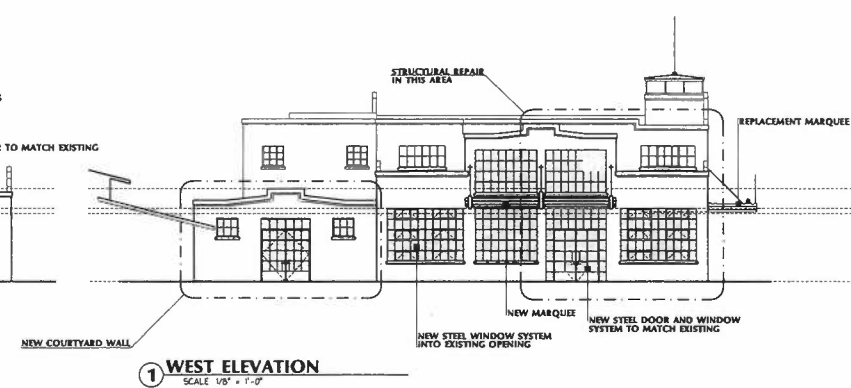
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SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"

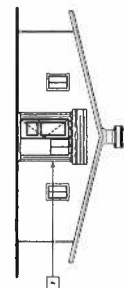


1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

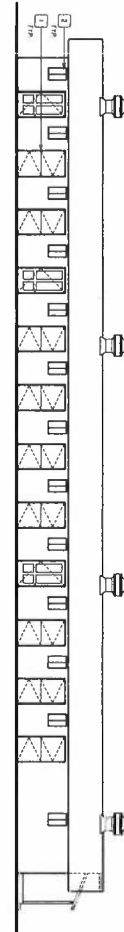


1 WEST ELEVATION
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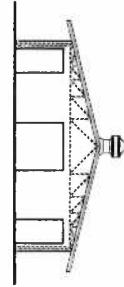
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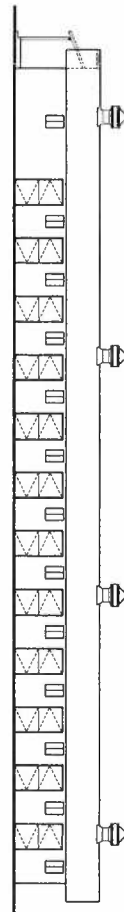
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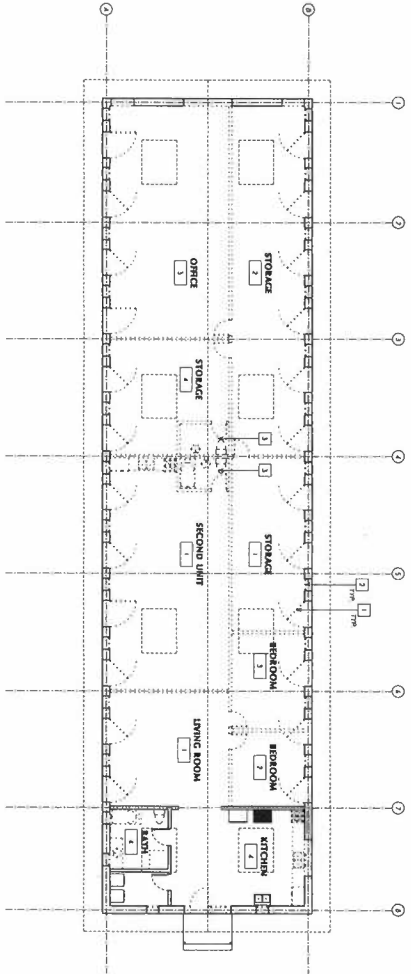
1 SOUTH
SCALE 1/8" = 1'-0"



3 WEST
SCALE 1/8" = 1'-0"



4 NORTH
SCALE 1/8" = 1'-0"



EXISTING FLOOR PLAN
1/8" = 1'-0"



- KEY NOTES**
- 1. REMOVE EXISTING STEEL, OUTSIDE DOORS.
 - 2. REMOVE ALL WINDOWS.
 - 3. REMOVE ALL BATH AND KITCHEN FIXTURES.
 - 4. REMOVE PORCH AND SHED ROOF.

GENERAL NOTES

- 1. WALLS TO REMAIN
- 2. WALLS TO BE REMOVED

A-10

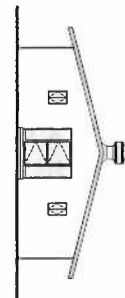
SHEET CONTENTS
BUILDING 2
EXISTING FLOOR PLANS
AND ELEVATIONS

BILLWACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWACK RANCH RENOVATION

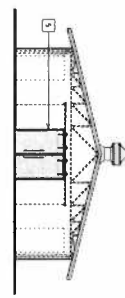
NO.	REVISION	DATE



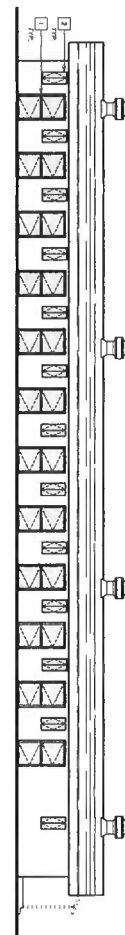
Angeli de Cervo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 452 2139



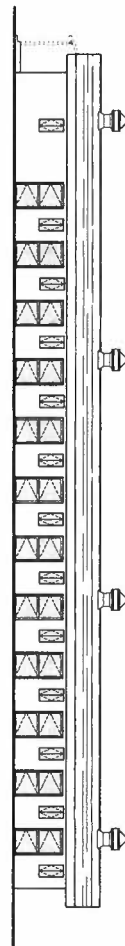
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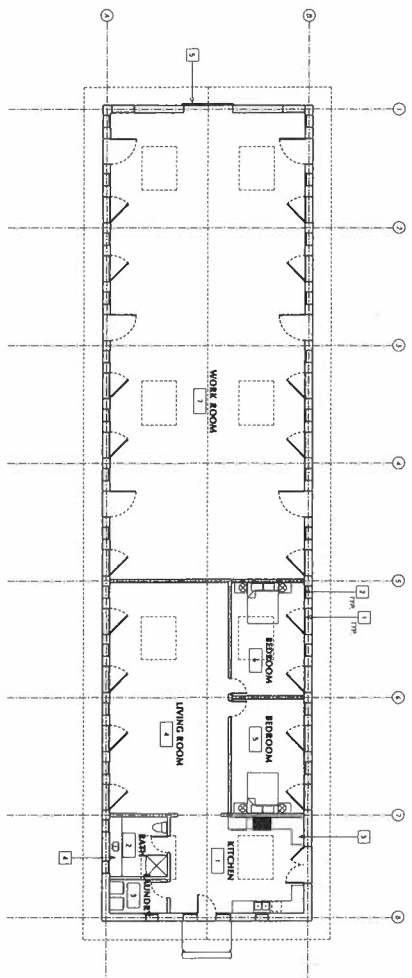
3 WEST
SCALE 1/8"=1'-0"



1 SOUTH
SCALE 1/8"=1'-0"



4 NORTH
SCALE 1/8"=1'-0"



PROPOSED FLOOR PLAN
1/8"=1'-0"

- KEY NOTES**
- 1. NEW GLASS ENTRY DOORS, INSTALLED IN EXISTING OPENINGS.
 - 2. NEW STEEL FRAME WINDOWS INSTALLED IN EXISTING OPENINGS.
 - 3. NEW KITCHEN CABINETS AND FIXTURES.
 - 4. BATH REWORK.
 - 5. NEW STAIRS TO 2ND FLOOR (NOT SHOWN).

GENERAL NOTES

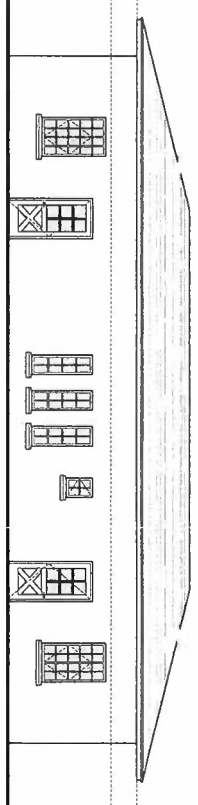
- 1. WALLS TO REMAIN.
- 2. WALLS TO BE REWORKED.
- 3. NEW WALLS.
- 4. SPONGE TEXTURE PLASTER OVER ENTIRE BUILDING.



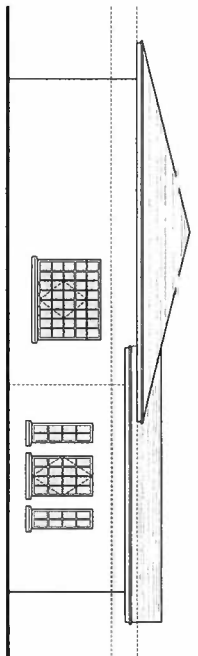
Angeli de Covolo, Inc.
122 E. Arredaga Street
Santa Barbara, California 93101
805 452 2399

NO.	REVISION	DATE

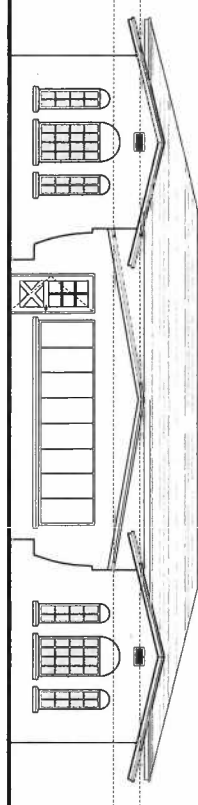
KEY NOTES



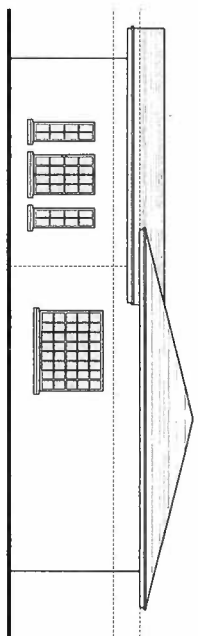
2 WEST
SCALE 1/8" = 1'-0"



1 SOUTH
SCALE 1/8" = 1'-0"



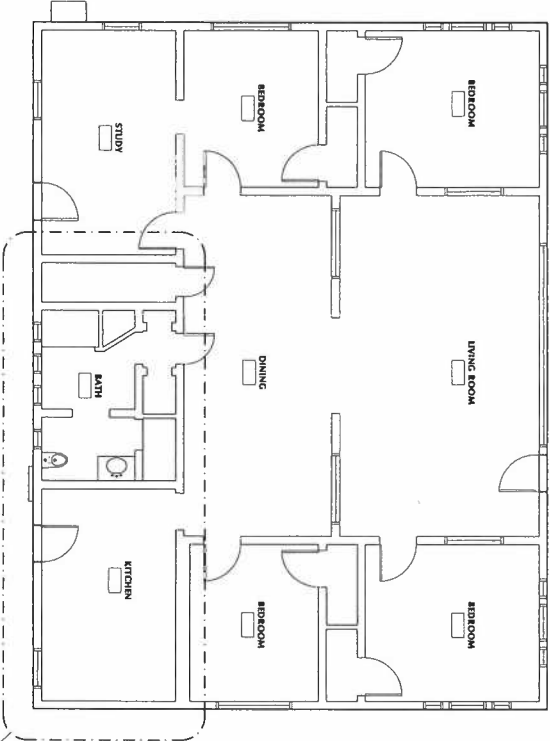
3 EAST
SCALE 1/8" = 1'-0"



4 NORTH
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. KITCHEN AND BATH REMODEL, NO OTHER CHANGES



FLOOR PLAN
SCALE 1/8" = 1'-0"

AREA OF REMODEL

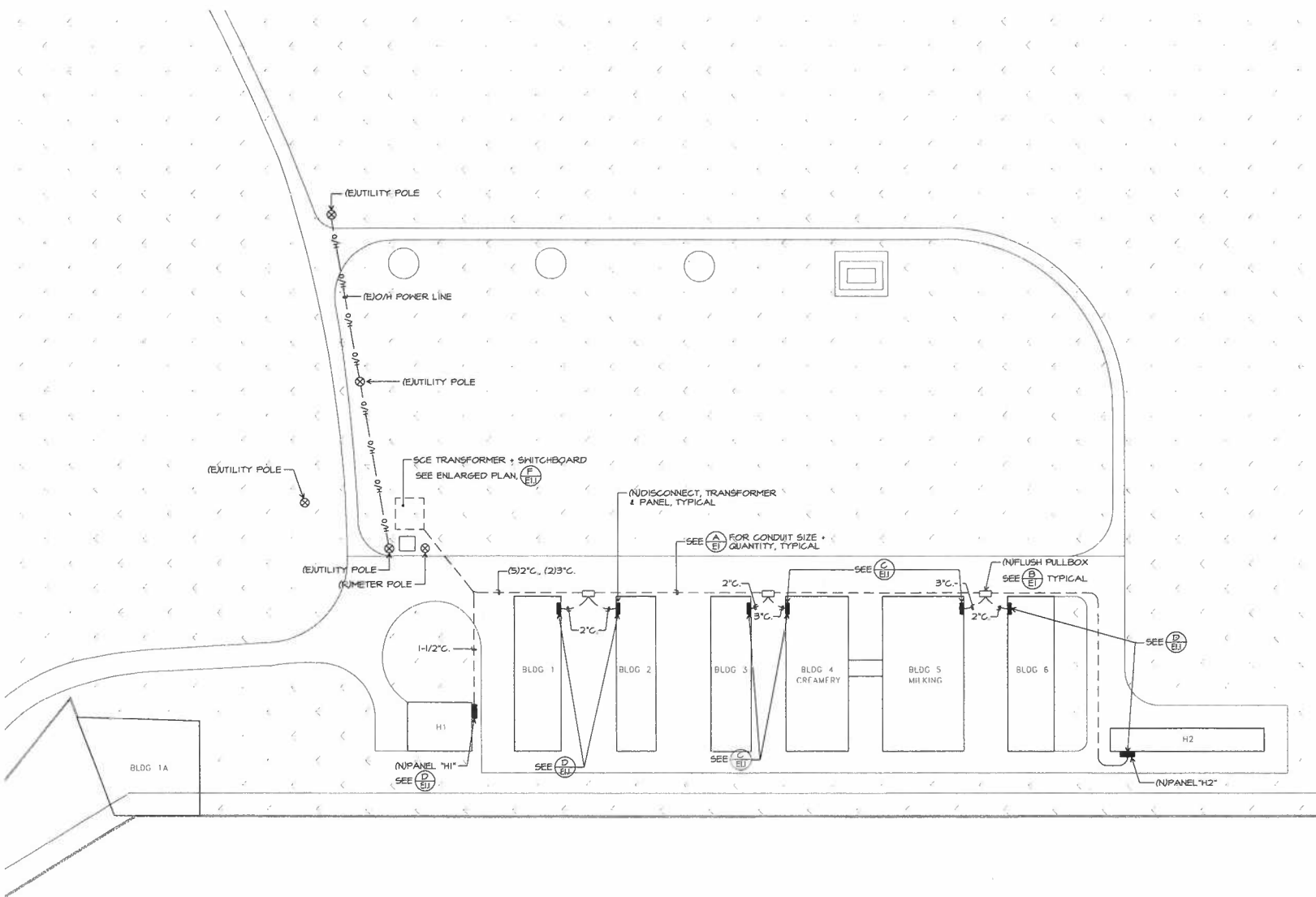


Angeli de Covclo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93104
805 452 2939

NO.	REVISION	DATE

SHEET CONTENTS	
BUILDING H	EXISTING AND PROPOSED FLOOR PLANS AND ELEVATIONS
BILLIWHACK RANCH	2775 ALISO CANYON ROAD SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION	

A-12



ELECTRICAL SITE PLAN

SCALE: 1" = 40'-0" 0 5 10

REVISIONS	BY



BILLINBACK RANCH ELECTRICAL SERVICE
22715 ALISO CANYON ROAD
SANTA PAULA, CA 93060

ELECTRICAL
SITE PLAN

DATE	05-28-11
SCALE	AS NOTED
DRAWN	MS/JR
JOB	19162
SHEET	E-2
OF	SHEETS



Zoning Clearance Application

County of Ventura • Resources Management Agency • Planning Division
800 S. Victoria Ave., Ventura, CA 93009 • (805)654-2488 • www.vcrma.org/divisions/planning

Applicant Provided Information

Owner's Name: Billiwhack Ranch, LLC

Phone: 323.663.9898 Cell: 213.308.0014 Email: rick@racdb.com

Owner's Address: 3048 North Coolidge Avenue, Los Angeles, CA Zip 90039

Applicant's Name: Everett Jay Woody or Gil Garcia

Phone: Cell: 805.452.2999 Email: ejw@adcarch.com

Applicant's Address: 122 E. Arrellaga Street, Santa Barbara, CA Zip 93101

Site Address: 2275 Aliso Canyon Road

Cross Streets: Foothill Road & Aliso Canyon Road

Assessor Parcel No(s): 064-0-130-125 and 064-0-130-145

Proposed Use/Structure 1: Main Residence (Building 4)

Proposed Use/Structure 2:

Proposed Use/Structure 3:

No. of Existing Bedrooms: 2 Proposed Additional Bedrooms: 0

No. of Existing Covered Parking Spaces (carport/garage): 0

No. of Existing Uncovered Parking Spaces Marked: 0

No. of Protected Trees (see Sec. 8107.25) within 50' of the limits of the construction area: 0

Written Homeowner Association approval: (attached if applicable) ☒ N/A

Certificate of Appropriateness for designated Historic Landmarks or Sites of Merit: (attached if applicable) ☐ N/A

County of Ventura
Board of Supervisors Hearing
Exhibit 3 - Zoning Clearance
Application No. ZC19-1390

Page 2, Zoning Clearance Application Form

For Office Use

Applicant Name: Everett Woody, Angeli de Covolo, Inc.

Date Received:

Lot Size: Irregular sq. ft. 97.73 acres

Violation:

Legal Lot Status:

Zoning: AE-40

Overlay Zone: None

General Plan Land Use Designation: None

Area Plan Land Use Designation: Agriculture

Sq. ft. of Gross Floor Area Ministerially Allowed for Structure: All structures completed 1926

On site hazards: None

DEVELOPMENT DATA TABLE
Applicant Provides Information

Existing Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Main Residence (Building 4)	7,413	17,939
TOTALS	7,413	17,939

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Guest House (Building H1)	2,352	2,352
Caretaker Dwelling (Building 2)	4,564	4,564
Caretaker Dwelling (Building H2)	2,646	2,646
3 Grain Silos	1,629	1,629
Hammer Mill (H/M)	1,775	3,550
TOTALS	12,966	14,741

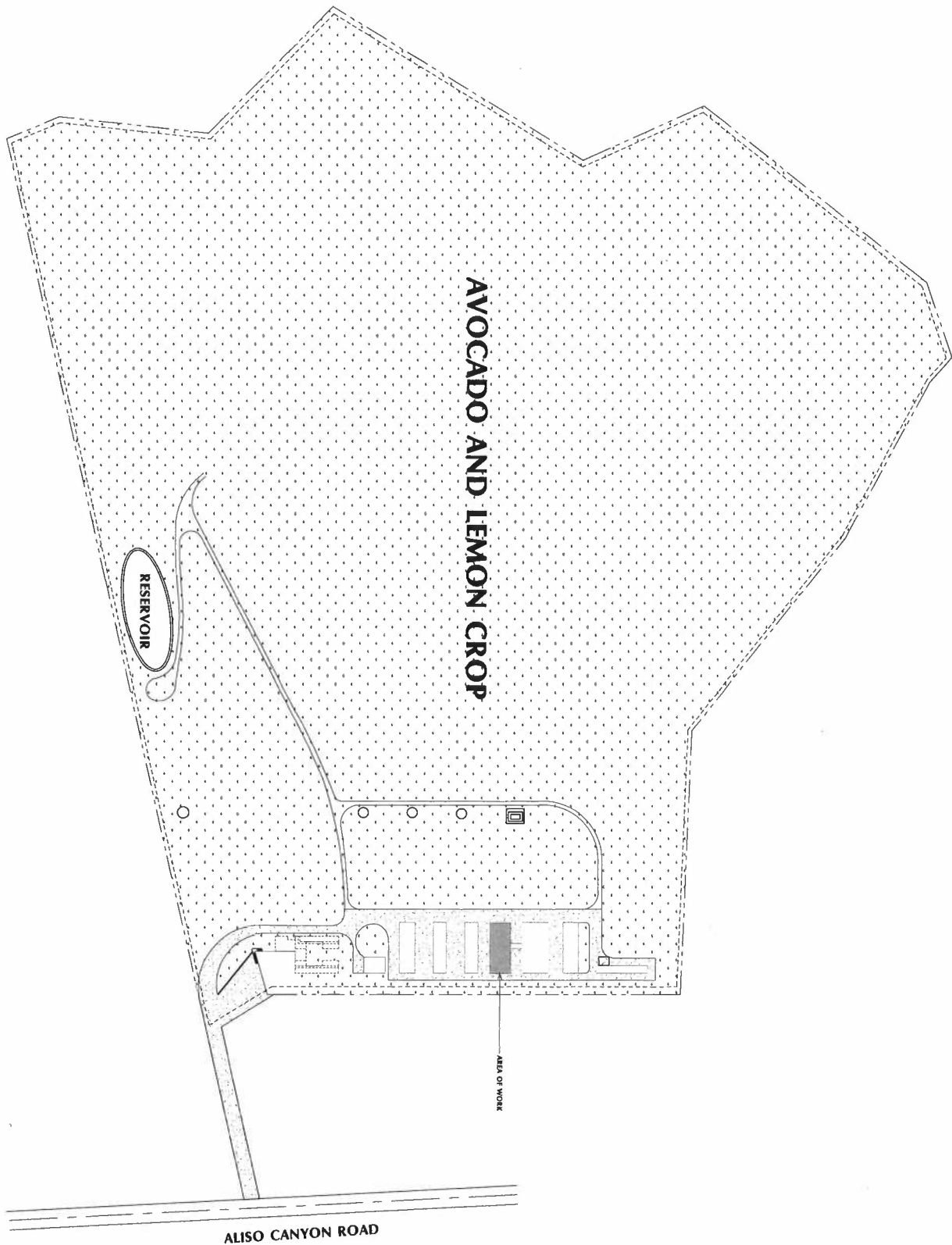
Proposed Principal Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
TOTALS		

Existing Detached Accessory Structures and/or Uses	Footprint in Sq. Ft.	Gross Floor Area all floors & Levels
Storage and Maintenance (Building 1A)	10,914	10,914
Bee Keeper (Building 1)	5,341	5,341
Equipment Storage (Building 3)	4,564	4,564
Ranch Maintenance (Building 5)	9,350	9,350
Ranch Equipment Storage (Building 6)	5,341	5,341
TOTALS	35,510	35,510

BILLIWHACK RANCH MAIN RESIDENCE REMODEL

PROJECT NOTES	SHEET INDEX	PROJECT TEAM	PROJECT DATA
<p>1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWING.</p> <p>2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.</p> <p>3. PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR ALL PLANNING/PERMITTING AND BUILDING PERMIT FEES.</p> <p>4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE JURISDICTION BUILDING CODE, A.S.P.F. SPECIFICATIONS, AND ALL OTHER APPLICABLE REQUIREMENTS, ORDERS, ORDINANCES AND REGULATIONS. WHERE CONFLICTS BETWEEN BUILDING CODES AND SPECIFICATIONS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.</p> <p>5. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.</p> <p>6. THE CONTRACTORS SHALL ARRANGE FOR ALL TESTING AND INSPECTIONS REQUIRED BY APPLICABLE CODES, ORDINANCES AND DIRECTIVES OF THE GOVERNING BUILDING OFFICIAL. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING AND INSPECTIONS IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN TESTS AND INSPECTIONS INDICATE NON-CONFORMANCE.</p> <p>7. THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFIED THEREIN.</p> <p>8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS DISCOVERED WHILE BIDDING. CLARIFICATION SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.</p> <p>9. THE CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE UNLESS NOTED OR SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PLANS, METHODS AND PROCEDURES.</p> <p>10. APPLICABLE TRADES SHALL USE A COMMON DATUM SHALL TO BE DESIGNATED BY THE CONSTRUCTION SUPERVISOR FOR ALL CRITICAL MEASUREMENTS.</p> <p>11. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.</p> <p>12. MATERIAL AND PAINT COALORS TO BE SELECTED BY ARCHITECT PRIOR TO FABRICATION.</p> <p>13. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. WHERE UTILITIES ARE DISCOVERED OTHER THAN THOSE KNOWN AND SHOWN, IMMEDIATELY NOTIFY THE OWNER, AND ENTER INTO NEGOTIATION FOR THE PERFORMANCE OF THE REQUIRED WORK, WHICH SHALL BE OVER AND ABOVE THE AMOUNT OF THE BID PROPOSAL. ANY REQUIRED REWORKING OF EXISTING UTILITY SERVICE SHALL BE APPROVED BY THE LOCAL UTILITY COMPANY PRIOR TO COMMENCING THAT WORK.</p> <p>14. EXAMINE THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF THE EXISTING ELEMENTS TO REMAIN. WHERE QUESTIONS OR DISCREPANCIES ARISE, CONSULT THE ARCHITECT ABOUT THE EXTENT AND/OR INTENT OF THE REQUIRED CORRECTION BEFORE COMMENCING WORK.</p> <p>15. ALL DIMENSIONS ARE TO FACE OF PLUMBING, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.</p> <p>16. UNLESS OTHERWISE SPECIFIED HEREIN, THE CONTRACTORS, UPON COMPLETION OF THE ENTIRE WORK DESCRIBED BY THE CONTRACT, SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE STATING THAT ALL WORK PERFORMED AS PART OF THE CONTRACT IS FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, AND THAT DURING SAID ONE YEAR PERIOD, ALL DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE REPAIRED AND/OR REPLACED IN PLACE INCLUDING ANY WORK OF STUDIES WHICH HAS BEEN DAMAGED BY SUCH DEFECTIVE WORKMANSHIP AND/OR MATERIALS AND BY THE REPAIR AND/OR REPLACEMENT OF SUCH WORKMANSHIP AND/OR MATERIALS, AT NO ADDITIONAL COST TO THE OWNER.</p> <p>17. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND RUBBISH RESULTING FROM THEIR PORTION OF THE WORK SPECIFIED HEREIN AND DEPOSIT IT IN AN ON-SITE CONTAINER, PROVIDED BY THE CONTRACTOR.</p> <p>18. WHEREVER EXISTING WORK IS DAMAGED BY REMOVAL OF ADJACENT WORK OR ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIALS TO MATCH EXISTING AS APPROVED BY THE ARCHITECT.</p> <p>19. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT.</p> <p>20. EACH CONTRACTOR SHALL MAINTAIN GENERAL LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT WITH MINIMUM POLICY LIMITS OF \$500,000 FOR EACH PERSON AND \$500,000 FOR EACH ACCIDENT. MAINTAIN PROPERTY DAMAGE INSURANCE MINIMUM LIMITS OF \$500,000 FOR EACH ACCIDENT. THE OWNER SHALL BE WAIVED AS ADDITIONAL INSURANCE AS REQUIRED'S LIABILITY INSURANCE. EACH CONTRACTOR SHALL MAINTAIN WORKERS COMPENSATION FOR INSURANCE IN FULL COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND ANY AGREEMENTS INHERED. THE OWNER SHALL PROVIDE FIRE AND THEADOLPH INSURANCE AT HIS OWN EXPENSE. THE GENERAL CONTRACTOR AND TRADING CONTRACTOR SHALL BE WAIVED AS ADDITIONAL INSURANCE AS REQUIRED'S THE INSURANCE POLICY.</p> <p>21. ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.</p> <p>22. CONTRACTOR IS TO PROVIDE (A) THREE COPIES OF SHOP DRAWINGS FOR ALL WOODWORK, COUNTERTOPS, CABINETS, SPECIALTIES, AND METALWORK AND ALL MECHANICAL AND ELECTRICAL LAYOUTS AND DETAILS FOR ARCHITECTS APPROVAL.</p> <p>23. SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ALLOWED ONLY IF SUCH ITEMS ARE SUBMITTED TO THE ARCHITECT IN A WRITTEN FORMER IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN WRITING. ALL SUBSTITUTIONS MUST BE AT LEAST OF EQUAL QUALITY, DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION OF ANY ITEM FOR THIS PROJECT. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY SUBSTITUTION.</p> <p>24. CATALOG CUTS OF ALL LIGHT FIXTURES, ACCESSORIES AND EQUIPMENT REQUIRED SHALL BE SUBMITTED IN TRIPLICATE TO THE ARCHITECT FOR APPROVAL.</p> <p>25. TAKE PRECAUTION TO PROVIDE NECESSARY ARRANGEMENTS AND/OR SHIELDING DURING THE COURSE OF OPERATION. IF AT ANY TIME THE SAFETY OF THE ADJACENT STRUCTURE OR PERSONNEL WOULD APPEAR TO BE COMPROMISED, CEASE OPERATION AND NOTIFY OWNER. DO NOT RESUME OPERATION UNTIL SAFE CONDITIONS HAVE BEEN REESTABLISHED AND PERMISSION BY THE OWNER HAS BEEN GRANTED TO RESUME OPERATION.</p> <p>26. ALL ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.</p> <p>27. ALL ADAPTIVE RECONFIGURATION IS CONSIDERED A PART OF THIS DOCUMENT.</p> <p>28. REFER TO ADDITIONAL GENERAL AND SPECIFIC NOTES CONTAINED IN THE VARIOUS CONSULTANT SECTIONS OF THESE DRAWINGS.</p> <p>29. CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL FOR LOADING SPACES, CONSTRUCTION SHEDS, BUILDING MATERIALS STORAGE AND EQUIPMENT ON SITE.</p>	<p>A-1 PROJECT INFORMATION AND SHEET INDEX</p> <p>A-2 EXISTING SITE PLAN</p> <p>A-3 EXISTING ENLARGED SITE PLAN</p> <p>A-4 EXISTING FLOOR PLANS</p> <p>A-5 PROPOSED BASEMENT FLOOR PLAN</p> <p>A-6 PROPOSED GROUND LEVEL FLOOR PLAN</p> <p>A-7 PROPOSED UPPER LEVEL FLOOR PLAN</p> <p>A-8 PROPOSED ROOF PLAN</p> <p>A-9 EXISTING ELEVATIONS</p> <p>A-10 DETAILS</p> <p>A-11 BUILDING SECTION</p> <p>A-12 BUILDING SECTIONS</p> <p>S1.1 STRUCTURAL PLAN, DETAILS AND CALCULATIONS</p> <p>E-1 SITE ELECTRICAL DETAILS</p> <p>E-1.1 SITE ELECTRICAL TRENCH DETAILS</p> <p>E-2 ELECTRICAL PLAN</p> <p>4E-1 SYMBOLS AND DETAILS</p> <p>4E-2 BUILDING 4 COMPLIANCE FORMS AND SCHEDULES</p> <p>4E-3 BUILDING 4 LIGHTING PLAN</p> <p>4E-4 BUILDING 4 POWER PLAN</p> <p>4E-5 BUILDING 4 ROOF PLAN</p> <p>4E-6 BUILDING 4 ELECTRICAL DETAILS</p> <p>P1.0 PLUMBING NOTES</p> <p>P2.0 PLUMBING BASEMENT PLAN</p> <p>P2.1 PLUMBING GROUND FLOOR PLAN</p> <p>P2.2 PLUMBING UPPER FLOOR PLAN</p> <p>P2.3 PLUMBING ROOF PLAN</p> <p>P3.1 DETAILS</p> <p>P3.2 PLUMBING ISOMETRIC DIAGRAMS</p> <p>M1.0 MECHANICAL NOTES</p> <p>M1.1 MECHANICAL EQUIPMENT SCHEDULES</p> <p>M1.2 MECHANICAL EQUIPMENT DIAGRAMS</p> <p>M1.3 MECHANICAL EQUIPMENT DETAILS</p> <p>M2.0 MECHANICAL BASEMENT PLAN</p> <p>M2.1 MECHANICAL GROUND FLOOR PLAN</p> <p>M2.2 MECHANICAL UPPER FLOOR PLAN</p> <p>M2.3 MECHANICAL ROOF PLAN</p>	<p>DESIGN CONSULTANTS: EVERETT WOODY AND GIL GARCIA 122 E. ARELLAGA STREET SANTA BARBARA, CA 93101 805 452 2999</p> <p>GEOTECHNICAL ENGINEER: MARK WORKMAN WORKMAN ENGINEERING P.O. BOX 391, OJAI, CA. 93024 805 302 9381</p> <p>STRUCTURAL ENGINEER: JOHN DELTMAN 3025 LONG VALLEY ROAD SANTA TNEZ CA 93460 805 688-6677</p> <p>ELECTRICAL ENGINEER: JOHN MELONEY 156 WEST ALAMAR AVENUE, SUITE B SANTA BARBARA CA 93105 (805) 564-9216</p> <p>PLUMBING ENGINEER: JOHN GRINDSALD, A G MECHANICAL ENGINEERS 629 STATE STREET SANTA BARBARA CA 93101 (805) 966-0844</p> <p>MECHANICAL ENGINEER: WAYNE ADAMS, A G MECHANICAL ENGINEERS 629 STATE STREET SANTA BARBARA CA 93101 (805) 966-0844</p> <p>GENERAL CONTRACTOR: N.M. CONSTRUCTION NATE WHITSON 3279 BREAKER DRIVE, VENTURA, CA. 93003 805 479 7905</p>	<p>OWNER: BILLIWHACK RANCH, LLC 3048 N COOLIDGE AVENUE LOS ANGELES, CA 90037 PHONE 213-308-0015</p> <p>APN: 064-0-130-125 AND 064-0-130-145 ZONE: AE-40 SITE AREA: 98 ACRES GENERAL PLAN DESIGNATION: YES HIGH FIRE AREA: 35'-0" PRINCIPAL 25'-0" OTHERS FRONT YARD SETBACK: 20'-0" FROM PROPERTY LINE REAR YARD SETBACK: 15'-0" SIDE YARD SETBACK: 10'-0"</p> <p>BUILDING TYPE: R-3 CONSTRUCTION TYPE: TYPE V-NON ROOF TYPE: CLASS 'A' BUILDING HEIGHT: 40'-0" ABOVE EXISTING GRADE BUILDING SQUARE FOOTAGE: UNLIMITED</p> <p>THIS PROJECT WILL COMPLY WITH: CBC 2016 CRC 2016 CALIFORNIA RESIDENTIAL CODE CHBC 2016 CALIFORNIA HISTORICAL BUILDING CODE CEBC 2016 CALIFORNIA EXISTING BUILDING CODE CGBSC GREEN CODE CALIFORNIA ENERGY CODE 2013 CFC 2016 CEC 2013 CEC 2016 CFC 2016</p> <p>ALL FINISH COLORS AND MATERIALS TO MATCH EXISTING.</p>
		<p>BUILDING DENSITY CALCULATIONS</p> <p>TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED</p>	<p>FINISHES</p>
		<p>SITE STATISTICS</p> <p>TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS AREA UNDER CROP 3,593,700 SQUARE FOOT GROSS OR 82.50 ACRES TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES</p>	<p>SCOPE OF WORK</p> <p>1. BUILDING 4 INTERIOR REMODEL OF AN EXISTING 17,939 SQUARE FOOT FIVE (5) BEDROOM FOUR (4) BATH AND THREE (3) HALF BATH MAIN RESIDENCE. YEAR BUILT CIRCA 1926.</p> <p>2. ALL SUPPLY AND WASTE PLUMBING SHALL BE REPLACED.</p> <p>3. RADIANT FLOOR HEATING ON GROUND AND UPPER LEVEL FLOOR.</p> <p>4. HEAT RECOVERY HVAC SYSTEM.</p> <p>5. NEW CLASS 'A' ROOF THE EXISTING CONCRETE ROOF UNDER SEPARATE PERMIT.</p> <p>6. NEW ELECTRICAL SERVICE, LIGHTING, RECEPTACLES.</p> <p>7. STRUCTURAL DETAILS AND CALCULATIONS FOR NEW OPENINGS IN CONCRETE WALLS.</p>
		<p>EXISTING BUILDING FLOOR AREAS</p> <p>STORAGE AND MAINTENANCE BUILDING (1A) 10,914 SQUARE FEET GROSS GUEST HOUSE BUILDING (H1) 2,352 SQUARE FEET GROSS BEE KEEPER BUILDING (1) 5,341 SQUARE FOOT GROSS CARETAKER DWELLING BUILDING (2) 4,564 SQUARE FOOT GROSS EQUIPMENT STORAGE BUILDING (3) 4,564 SQUARE FOOT GROSS TWO STORY MAIN RESIDENCE (4) 17,939 SQUARE FOOT GROSS RANCH MAINTENANCE BUILDING (5) 9,350 SQUARE FOOT GROSS EQUIPMENT STORAGE BUILDING (6) 5,341 SQUARE FOOT GROSS CARETAKER DWELLING (H2) 2,646 SQUARE FOOT GROSS HAMMER MILL BARN 3,550 SQUARE FOOT GROSS THREE GRAIN SILOS TOTAL 1,629 SQUARE FOOT GROSS TOTAL 68,223 SQUARE FOOT GROSS</p>	<p>VICINITY MAP</p>





SITE PLAN



GENERAL NOTES

KEY NOTES

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH FAMILY RESIDENCE

NO.	REVISION	DATE
1		
2		
3		
4		
5		



Angeli de Covolo, Inc.
122 E. Arreaga Street
Santa Barbara, California 93101
805 452 2159

A-2

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

ENLARGED SITE PLAN



KEY NOTES

GENERAL CONTRACTOR:

N.M. CONSTRUCTION
NATE WHITSON
3279 BREAKER DRIVE, VENTURA, CA 93003
805 479 7405

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED.

SITE STATISTICS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS
AREA UNDER CROP 3,593,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES

ALISO CANYON ROAD

GENERAL NOTES

Angeli de Covolo, Inc.
122 E. Corral Mesa Street
Santa Barbara, California 93101
805 452 2799

DATE	REVISION

BILLHACK RANCH
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93060
BILLHACK RANCH FAMILY RESIDENCE

SMART CONCEPT
ENLARGED EXISTING
SITE PLAN

DATE	DESCRIPTION

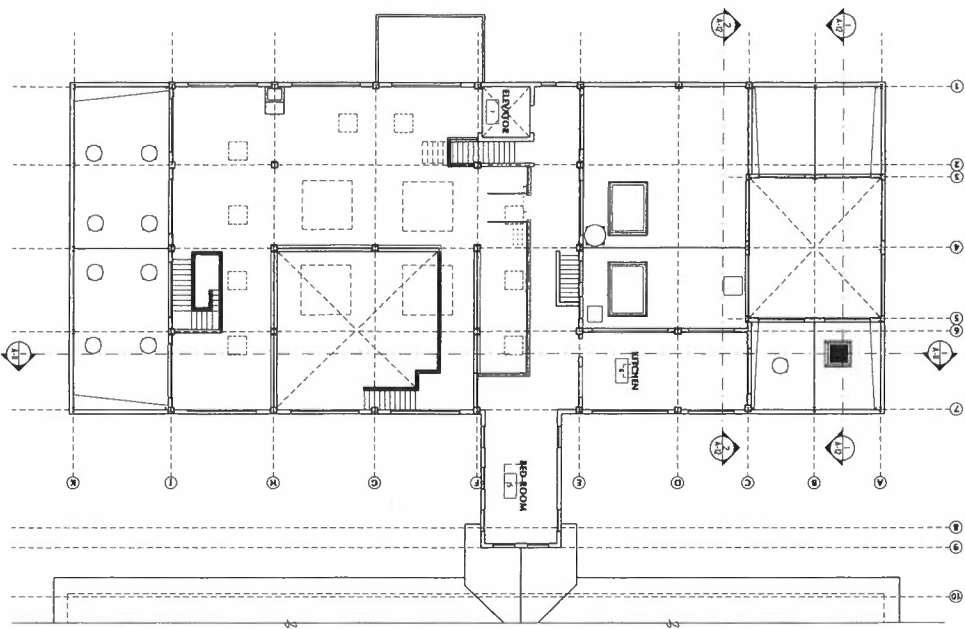
A-3

KEY NOTES

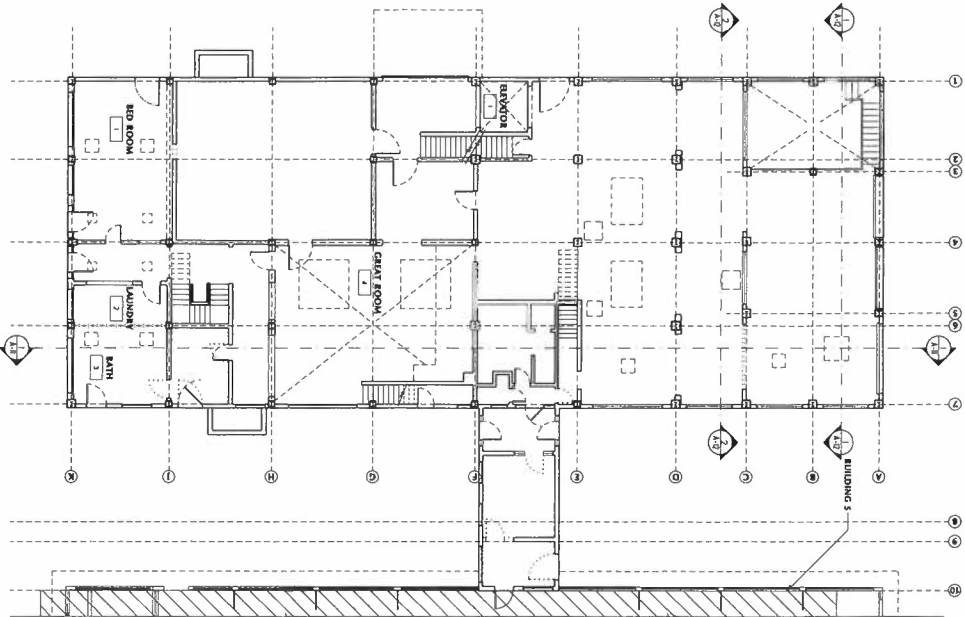
GENERAL NOTES



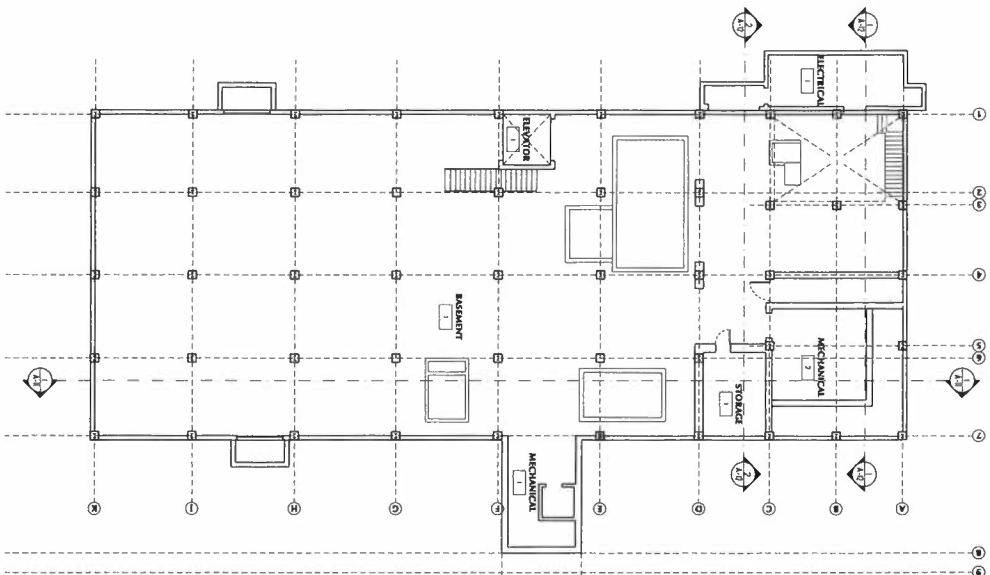
Angeli de Covolo, Inc.
122 E. Arrastra Street
Santa Barbara, California 93101
805 452 2599



2ND LEVEL FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



BASEMENT FLOOR PLAN BUILDING 4

SHEET CONTENTS
BUILDING 4
EXISTING FLOOR PLANS

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH FAMILY RESIDENCE

NO.	REVISION	DATE

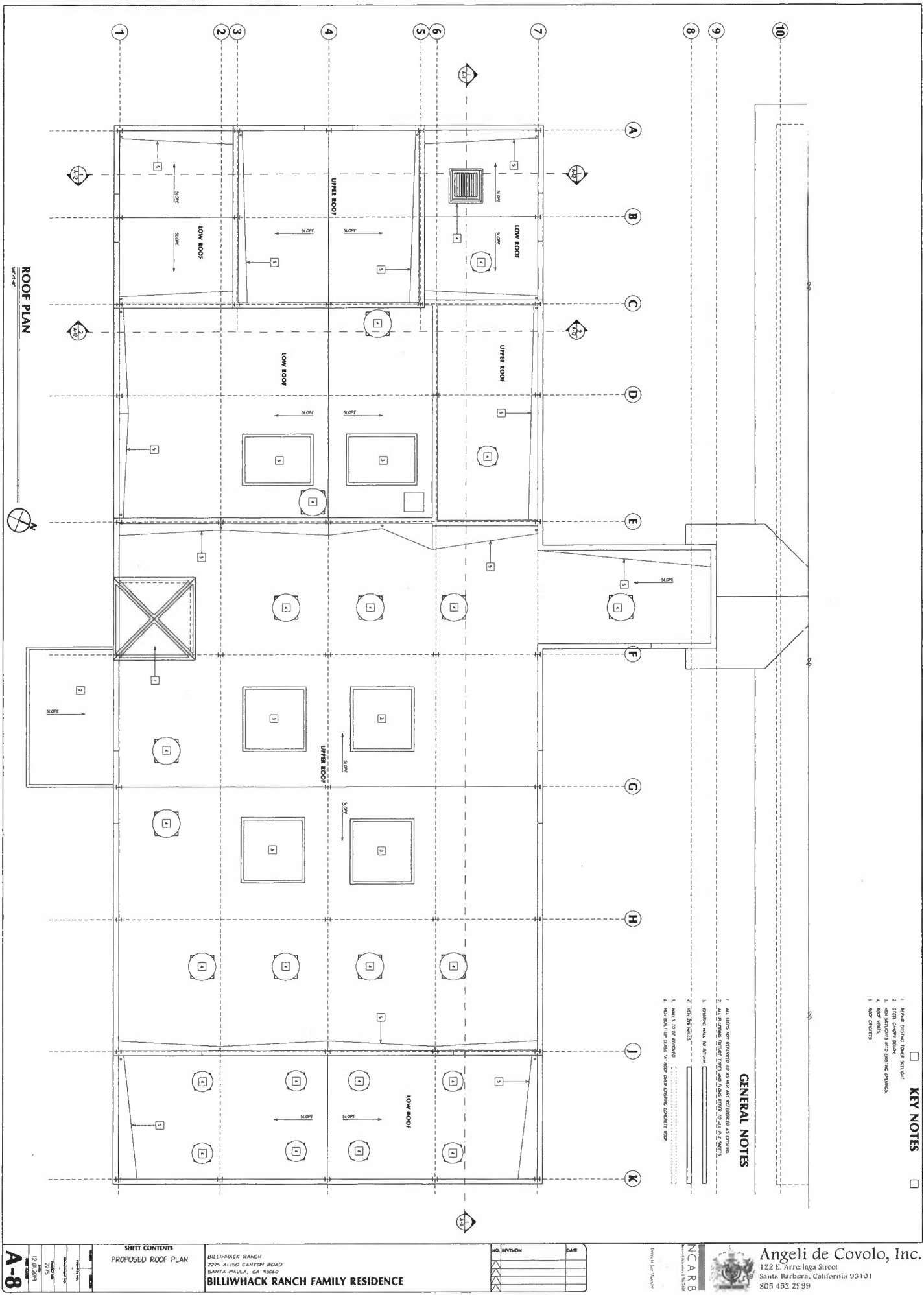
A-4

12/07/2014

12/07/2014

12/07/2014





- KEY NOTES**
- 1. EXISTING ROOF STRUCTURE
 - 2. STEEL GABLET BLOCK
 - 3. NEW STRUCTURE WITH EXISTING CHIMNEYS
 - 4. ROOF FINISH
 - 5. ROOF DRAIN

GENERAL NOTES

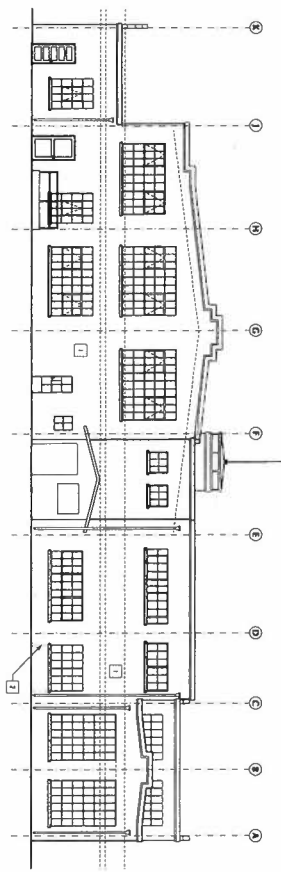
- 1. ALL UTILITY ARE REFERRED TO AS ANY ARE REFERRED TO AS EXISTING.
- 2. ALL MATERIALS, FINISHES, TYPES AND ALLOYS REFERRED TO ARE TO BE SPECIFIED.
- 3. EXISTING WALLS TO REMAIN.
- 4. WALLS TO BE REMOVED.
- 5. NEW WALLS TO BE CONCRETE.
- 6. NEW ROOF TO BE ASBESTOS FREE.

KEY NOTES

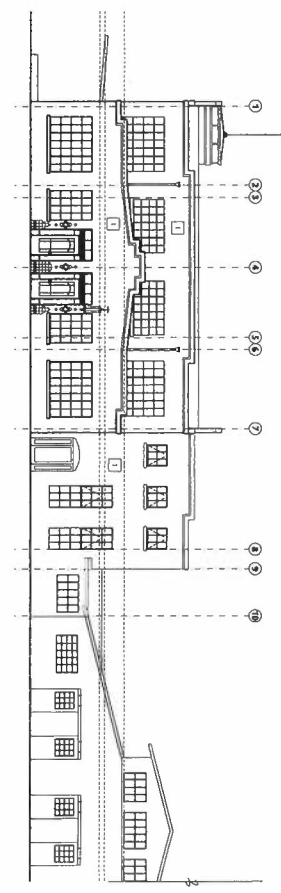
- 1. EXISTING AND PROPOSED ELEVATIONS SHALL BE SHOWN ON SEPARATE ELEVATION SHEETS AND NOT ON THE SAME SHEET.
- 2. DIMENSIONS SHALL BE SHOWN IN THIS LOCATION.

GENERAL NOTES

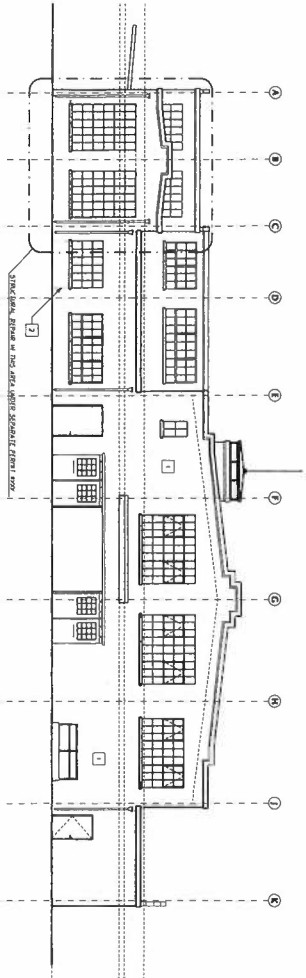
- 1. ALL ITEMS NOT ATTACHED TO AS SHOWN ARE ATTACHED TO EXISTING.



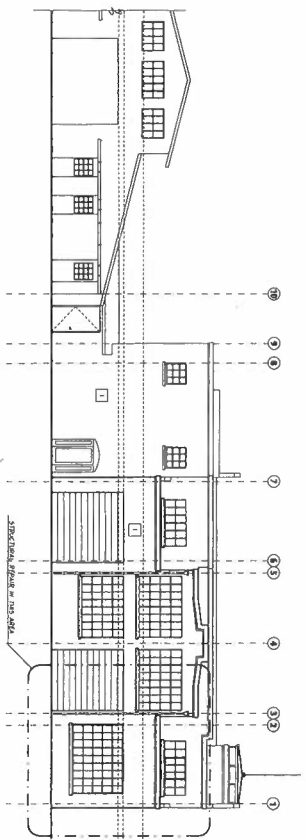
2 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

SHEET CONTENTS

BUILDING 4
EXISTING ELEVATIONS

BILLWACK RANCH
275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWACK RANCH FAMILY RESIDENCE

A-9

DATE: 12/20/2011

SCALE: 1/8" = 1'-0"

PROJECT: BILLWACK RANCH

CLIENT: BILLWACK RANCH

DESIGNER: ANGELI DE COVOLO, INC.

ARCHITECT: ANGELI DE COVOLO, INC.

ENGINEER: ANGELI DE COVOLO, INC.

LANDSCAPE ARCHITECT: ANGELI DE COVOLO, INC.

INTERIOR DESIGNER: ANGELI DE COVOLO, INC.

PAINTER: ANGELI DE COVOLO, INC.

PLUMBER: ANGELI DE COVOLO, INC.

ELECTRICIAN: ANGELI DE COVOLO, INC.

MECHANICAL: ANGELI DE COVOLO, INC.

ROOFING: ANGELI DE COVOLO, INC.

CONCRETE: ANGELI DE COVOLO, INC.

WALLS: ANGELI DE COVOLO, INC.

FLOORING: ANGELI DE COVOLO, INC.

CEILING: ANGELI DE COVOLO, INC.

DOORS: ANGELI DE COVOLO, INC.

WINDOWS: ANGELI DE COVOLO, INC.

STAIRS: ANGELI DE COVOLO, INC.

ELEVATION: ANGELI DE COVOLO, INC.

SECTION: ANGELI DE COVOLO, INC.

FOUNDATION: ANGELI DE COVOLO, INC.

STRUCTURE: ANGELI DE COVOLO, INC.

MECHANICAL: ANGELI DE COVOLO, INC.

ELECTRICAL: ANGELI DE COVOLO, INC.

PLUMBING: ANGELI DE COVOLO, INC.

LANDSCAPE: ANGELI DE COVOLO, INC.

INTERIOR: ANGELI DE COVOLO, INC.

PAINTING: ANGELI DE COVOLO, INC.

CONCRETE: ANGELI DE COVOLO, INC.

WALLS: ANGELI DE COVOLO, INC.

FLOORING: ANGELI DE COVOLO, INC.

CEILING: ANGELI DE COVOLO, INC.

DOORS: ANGELI DE COVOLO, INC.

WINDOWS: ANGELI DE COVOLO, INC.

STAIRS: ANGELI DE COVOLO, INC.

ELEVATION: ANGELI DE COVOLO, INC.

SECTION: ANGELI DE COVOLO, INC.

FOUNDATION: ANGELI DE COVOLO, INC.

STRUCTURE: ANGELI DE COVOLO, INC.



Angeli de Covolo, Inc.
122 E. Arco3aga Street
Santa Barbara, California 93101
805 452 2193/9



COUNTY OF VENTURA

Resource Management Agency Code Compliance Division

800 South Victoria Avenue
Ventura, CA 93009
(805) 654-2463, (805) 654-5177 FAX

NOTICE OF VIOLATION AND NOTICE OF IMPENDING CIVIL ADMINISTRATIVE PENALTIES

June 25, 2019

Please Reply To: Amanda Ahrens
(805) 654-2800
amanda.ahrens@ventura.org

BILLIWHACK RANCH LLC
3048 N COOLIDGE AV
LOS ANGELES, CA 90039

Violation No.: CV19-0100
Property Address: 2275 ALISO CYN RD SANTA PAULA, CA 93060
Assessor's Parcel No.: 064-0-130-145

Dear Property Owner,

The Code Compliance Division has confirmed that violation(s) of the Ventura County Building Code and/or Zoning Ordinance exist on the subject property. These violation(s) were brought to your attention in an earlier Courtesy Notice dated 3/25/2019. The violation(s) must be corrected or abated within 30 days. If not, additional enforcement will be taken.

VIOLATIONS:

Following are the activities, uses, or structures which constitute violation(s) of the Ventura County Building Code and/or Zoning Ordinance identified by section number, the actions that must be taken to correct the violation(s), and the range of applicable daily civil administrative penalties.

Violation 1. Non-permitted modifications to the following structures:

- a) Caretaker dwelling (H2) - removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slab. The amount of work completed has exceeded the threshold of 50% of the walls and 50% of the floors. The legal non-conforming use of the structure as a caretaker dwelling has been lost.
- b) Two-story main residence (4) - removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).
- c) Caretaker dwelling (2) - non-permitted conversion of storage building to a caretaker dwelling unit and office.
- d) Pool area adjacent to ranch maintenance and storage building (1A) - large concrete pool/structure, empty and with no barrier.

The above are in violation of:

- Non-Coastal Zoning Ordinance section(s) 8101-3 General Prohibitions, 8105-1.3 & 8105-4 Residential Permitted Uses

County of Ventura
Board of Supervisors Hearing
Exhibit 4 - Notice of Violation,
CV19-0100

- Ventura County Building Code section(s) 105.3 Failure to file application for permits, 105.1 Failure to obtain permits, 110.1 Failure to have work inspected.

Abatement of the above violations may be achieved by:

- 1) providing a formal determination of the lots' legal status from the County Surveyor Division-Public Works.
- 2) providing a copy of the assessor building history records to the Code Compliance and Planning Division. These forms are essential to confirming existing uses of structures on the property.
- 3) obtaining approval from the Cultural Heritage Board. A Historical Site of Merit exists on this parcel. Please contact the Cultural Heritage Planner at (805) 654-5042.
- 4) obtaining permits and clearances in accordance with the adopted codes and ordinances from the Planning Division and the Building & Safety Department.
- 5) requesting inspections to verify compliance.

Daily Civil Administrative Penalties may range between \$50.00 to \$100.00.

The above violations were confirmed on 05/24/2019.

EACH DAY THAT A VIOLATION EXISTS CONSTITUTES A NEW VIOLATION

Until the violation(s) are corrected, Code Compliance Division staff time spent in confirming the violations(s) and securing abatement of the violation(s) will be charged to you (ref. CZO § 8183-5.4; NCZO § 8114-3.4). These costs include all time spent for meetings, site visits, telephone calls, correspondence, etc. that relate to this violation case. You will be charged for staff time at the current hourly rate. Late charges and interest at 2% of the amount of the unpaid bills compounded monthly will also be assessed. Unpaid charges will become the responsibility of subsequent property owners if you do not pay the bills.

ENFORCEMENT ACTIONS

If the violation(s) are not corrected by 7/28/2019, the following enforcement actions may apply:

A. NO NEW PERMITS

No new Planning or Building permits will be issued on the subject site except to correct a violation.

B. RECORDATION OF NOTICE OF NONCOMPLIANCE

A Notice of Noncompliance will be recorded against the property that gives record notice to all, including lenders, potential purchasers, and subsequent owners, that violation(s) of the Ventura County Building Code and/or Zoning Ordinance exist on the property. The Notice of Noncompliance will not be released until the violation(s) are corrected and all fees and charges are paid, including reimbursement for staff time.

C. IMPOSITION OF CIVIL PENALTIES AND RECORDATION OF LIEN

You will receive a Notice of Imposition of Civil Administrative Penalties advising you of the amount of the daily monetary penalties that have been imposed against your property (ref. CZO § 8183-5.7; NCZO § 8114-3.7; VCBC § 114.5). The penalties shall accrue **DAILY** until each respective violation is corrected and confirmed by a County Code Compliance staff inspection. The amount of the daily penalty shall constitute a Lien against the property.

D. CRIMINAL PROSECUTION

Each violation of the Ventura County Building Code and/or Zoning Ordinance is a misdemeanor or an infraction. You may be prosecuted by the District Attorney and subject to criminal punishment. As explained above, each day that a violation exists is a new violation.

APPEAL OF DETERMINATION OF VIOLATION

If you do not believe a violation exists and wish to appeal this determination and stay further enforcement actions while the appeal is pending, you must submit your appeal to the Director of the Planning Division for Zoning Ordinance violations by 7/8/2019. There is a deposit associated with submitting an appeal (ref. CZO § 8181-9; NCZO § 8111-7).

If you wish to appeal a building code violation, you must submit that appeal to the Building Official by 7/28/2019. There is a fee associated with filing an appeal (ref. VCBC § 113).

If you need additional time beyond the specified deadline to abate the violations, we can discuss the possibility of a Compliance Agreement. There will be a charge to prepare it plus costs to administer the Agreement through the abatement of the violation(s). This is an agreement between you and the County wherein you agree to abate the violations in a specific manner and time frame. The County is under no obligation to enter into such an agreement, even if you so request.

PERMITS TO ABATE VIOLATIONS

Abatement can be achieved by obtaining the required permits and clearances from the Planning Division and the Building & Safety Department in accordance with the adopted codes and ordinances and requesting inspections to verify compliance. Approvals from other agencies such as Fire, Environmental Health, Integrated Waste Management, and Public Works may be required.

Clearances, permits, and approvals must be obtained prior to commencing work. Permits to abate violations for land use and building violations will include additional late filing fees, penalty fees, and/or investigation fees in accordance with the applicable Zoning Ordinances and Building Codes.

IMPORTANT: It is your responsibility to inform Code Compliance when your violation(s) have been corrected. Until we hear from you that the violation(s) are corrected and this can be confirmed to our satisfaction, the violation(s) are presumed to remain and enforcement actions against you will continue.

The Code Compliance Division wants to work with you to avoid the consequences listed above. I urge you to contact me immediately at the above number so we can discuss how this issue can be resolved. If you wish to discuss this matter in person, please make an appointment using the contact information above. Reference the case number, CV19-0100, in all verbal and written inquiries or replies. You may request copies of the pertinent materials regarding this code enforcement matter or consult the Planning Division website, <http://www.vcrma.org/divisions/planning> or the Building and Safety Division website, <http://www.vcrma.org/divisions/building-and-safety>.

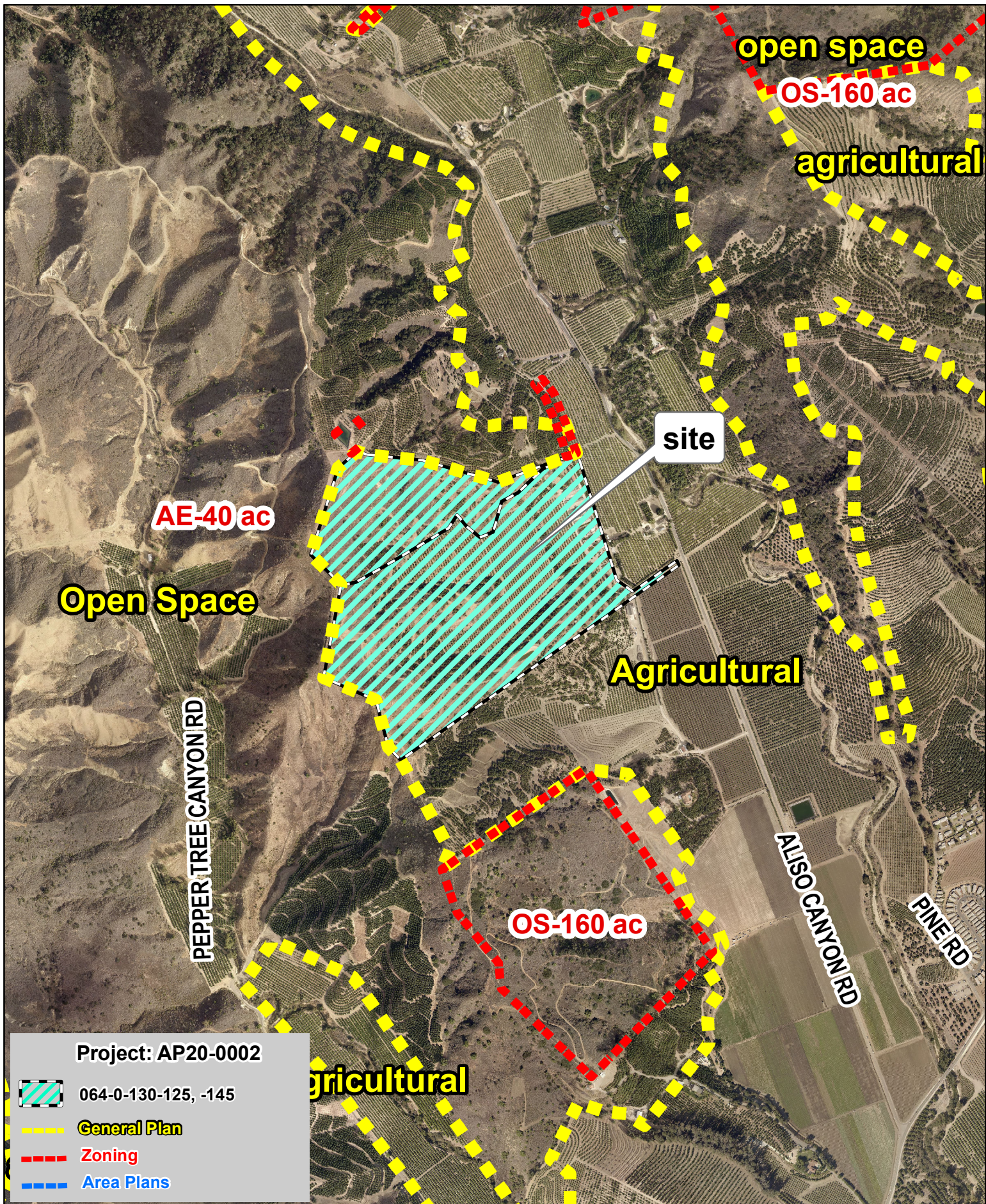
Si usted no lee o entiende ingles, favor de llamar a Marco Perez al teléfono (805) 654-2463 tocante a este asunto. Dele el numero de su caso que se encuentra a la derecha en la parte de arriba de esta carta.

Sincerely,

Amanda Ahrens
Code Compliance Officer

Attachments: Courtesy Notice(s)
Civil Administrative Penalties Program Flyer

cc: File
Complainant



Ventura County
Resource Management Agency
Information Systems GIS Services
Map created on 08-03-2020
Source: Pictometry: Nov 2018



County of Ventura
Board of Supervisors Hearing
Exhibit 5 - General Plan,
Location and Zoning Map

05000 200 Feet

Disclaimer: this map was created by the Ventura County Resource Management Agency Information Systems GIS, which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance therein



DISTRICT RECORD

Primary # _____

HRI # _____

Trinomial _____

Page 1 of 11

NRHP Status Code

3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

D1. Historic Name: *Billiwhack Stock Farm & Dairy*

D2. Common Name: *Billiwhack Ranch*

D3. Detailed Description (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.):

The former stock farm/dairy complex is composed of silos, dairy barns, milking barns, creamery and employee houses. Two roads lead up the gently sloping hillside to a large terraced area containing the once-operating dairy buildings. Today these buildings function as offices and storage for the citrus operation on the surrounding 70 acre parcel. All of the buildings are built of reinforced concrete and are tile lined. Located in a long row, on the east side of the road, from south to north, are three dairy barns, a creamery building (milk processing), a milking barn, and second dairy barn. To the east of this barn is a milker's dormitory. West of the buildings, against the hillside, are three large hollow clay tile silos and a concrete building that housed a hammer mill. In the center of this large flat area originally stood a large number of open-sided livestock feeding sheds, measuring approximately 20 by 60 feet. A two-story dormitory for the employees has also been demolished and only the underground parking area remains. A small office building is located adjacent to the parking area.

D4. Boundary Description (Describe limits of district and attach map showing boundary and district elements.):

The Billiwhack Ranch is bounded on the east by ranch property and Aliso Canyon Road and by agricultural lands on the north, west and south.

D5. Boundary Justification:

The boundary of the nominated property is the present 70 acres owned by the Held Family, and another parcel that includes the original dairy manager's residence. This site includes all of the original dairy buildings and structures and the acreage of the original Billiwhack property.

D6. Significance: Theme *agriculture*

Area *Santa Clara Valley*

Period of Significance *1925-1943*

Applicable Criteria *A & C*

Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built by August Rubel between 1925 and 1934. A number of smaller family dairies were established in the area between 1920 and 1950, including the Orr Family's Orange Grove Dairy and the Golden State Dairy operated by the Lindsey Family, and later by the Pinkerton family. However, no other dairy compared in size to the Billiwhack Stock Farm & Dairy and its "state of the art" buildings. [Continued]

D7. References (Give full citations including the names and addresses of any informants, where possible.):

Sheridan, History of Ventura County, Vol.II, 1926, p. 484.

Interview with Craig Held, 11/10/95

Ventura County Star Free Press, 7/18/36; 6/17/76

Oxnard Daily Courier, 6/15/26; 6/14/34

D8. Evaluator: *Judy Triem*

Date: *11/15/95*

Affiliation and Address: *627 E. Pleasant Street, Santa Paula, CA 93060*

County of Ventura
Board of Supervisors Hearing
Exhibit 6 - Historic Resources Survey
District Record for Property dated 1995

CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 2 of 11 Resource Name or #: (Assigned by recorder) Billiwhack Stock Farm & Dairy

Recorded by: Judy Triem/San Buenaventura Research Assoc.

Date 11/3/95

☒ Continuation ☐ Update

D.6 (Significance)

A native of Zurich, Switzerland, August Rubel arrived in Ventura County in 1922, after graduation from Harvard at the age of twenty-three. He and his wife Mary Colgate McIsaac purchased approximately 240 acres of land in Aliso Canyon with the intent of establishing a dairy. Rubel hired Oxnard contractor Adolph Schroeder to construct the dairy buildings. The designer is unknown.

From the start, Rubel envisioned a "state of the art" dairy, including the most advanced buildings and techniques available, and had also purchased the finest holstein herd he could afford. The herd included "Prince Aggie," a prize bull from Thomas Bard's Berylwood Ranch near Port Hueneme. Prince Aggie was an undefeated California champion and "the highest yearly record butter bull in the world for his seven nearest dams."

In 1926 Prince Aggie died unexpectedly at the height of his career. The loss proved disastrous for Rubel, who sold the dairy in 1928 to Ben and Sam Fratkin, operators of the Valley Dairy Company of Los Angeles and El Monte, one of the largest dairy producing companies in the Los Angeles area. The unfinished buildings were not completed until 1934. Billiwhack operated as a dairy from 1934 until about 1943. In 1969 it was purchased by its present owners and is now a citrus ranch. The former dairy buildings are used for storage and various other agricultural related uses.

State of California —The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # _____

HRI # _____

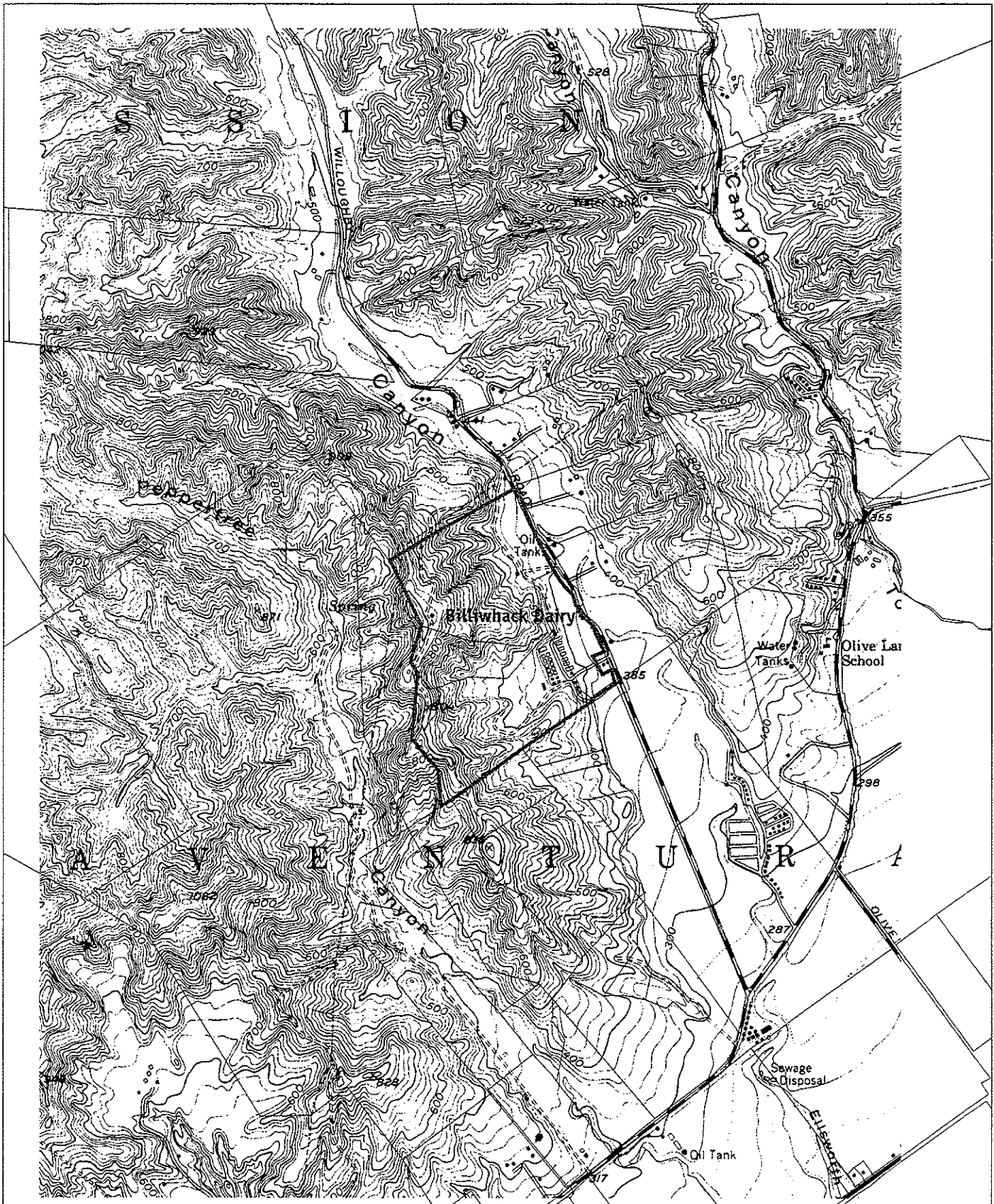
Trinomial _____

Page 3 of 11

*Resource Name (assigned by recorder) Billiwhack Stock Farm & Dairy

Drawn By: Saticoy USGS 7.5 minute quad, 1951, with assessor parcel overlay.

*Date: 7/17/96



PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 4 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Cow stables*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

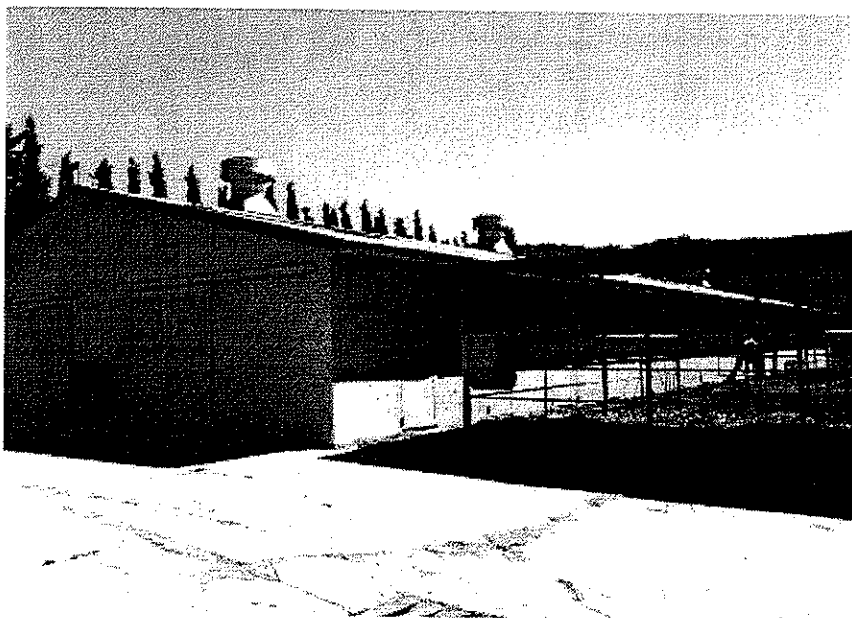
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Four identical buildings were used to house the dairy herd. These long narrow buildings, constructed of concrete, have low gable roofs with overhanging eaves. The low concrete ceilings are supported with metal trusses. The floors have a patterned tile with drains. Each animal had its own stall with a small window and door leading to the corrals. The corrals have been removed, except for one at the north end between the milking barn and the feed shed. Two sets of double doors on tracks are located at each end of the building. Three of the sheds remain fairly unaltered, but in the process of converting one shed to an office, some doors and windows were enclosed.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Cow stable, southwest elevation, 7/07/95 #1020

P6. Date Constructed/Age and Sources:
☐ Prehistoric ☒ Historic ☐ Both

1924-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)
Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 5 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Creamery building*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This is the most elaborately designed of the dairy buildings due to the use of tile and stenciling. The poured-in-place concrete building has an irregular plan with a series of interconnecting wings of both one and two stories. A small hipped roof tower topped with a pole is located in the center of the two-story portion of the building. The flat roofs on each section have raised parapets with decorative raised stepped parapets along some of the elevations, especially the eastern elevation, adjacent to the original access road. Tilework set in geometric patterns are located at either side of the two entrances. Decorative classical designs are found above the pilasters on either side of the door. Above the door are three small transom windows. The building has numerous steel multi-paned windows with concrete sills varying in size from four to sixteen panes. The walls at the western end of the building have been damaged from water leakage. Several windows have been broken and some openings are boarded up. This building is in poor condition. The interior is unique because of the stenciled ceiling, skylights and the heavy use of tile both on walls and floors. The second floor is a mezzanine.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Creamery, east elevation, 7/07/95#1018

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D
Other Listings
Review Code _____ Reviewer _____ Date _____

Page 6 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milk barn*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The milk barn has a two-story center section with a low pitched gable roof and overhanging eaves. Rows of multi-paned windows run along the entire length and width of the concrete building. A long, sloping shed roof extends from each side creating the one story section. Several multi-paned doors on tracks are located across the west end of the building. Groups of windows are also found on the one story portion of the building. The building has retained its design integrity, but is in only fair condition.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Milk barn, southwest elevation, 7/07/95, #1021

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

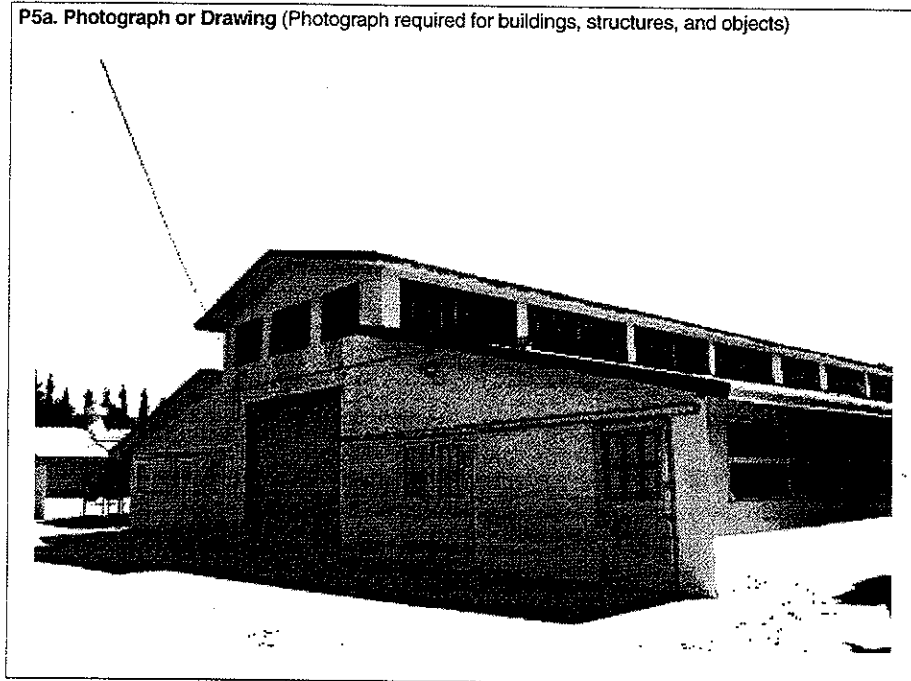
P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)

Intensive



P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 7 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Hammermill*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This unusual building is constructed of concrete and built into the hillside, virtually in the manner of a bunker. The front or eastern elevation is divided into three bays with large multi-paned windows divided by concrete posts that have two windows in the center forming an H-shape. Concrete steps ascend on either side of the building and the top has a flat projecting roof. This building housed the hammermill, a special type of mill that separated silage from grain. This silage was then stored in the adjacent silos.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Hammermill, east elevation, 7/07/95, #1010

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 8 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milker's Dormitory*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This long, narrow building is one-story in height with a low-pitched gable roof covered with clay tile. The wide eaves are open. The wide windows have wood sashes and wood casings. The building is covered with smooth stucco finish. A shed roof extends from the west side of the building to form a carport. This building once served as a dormitory for the milkers who worked at the dairy. It now serves as a single family residence.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Milker's dormitory, southwest elevation, 7/07/97, #1019

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

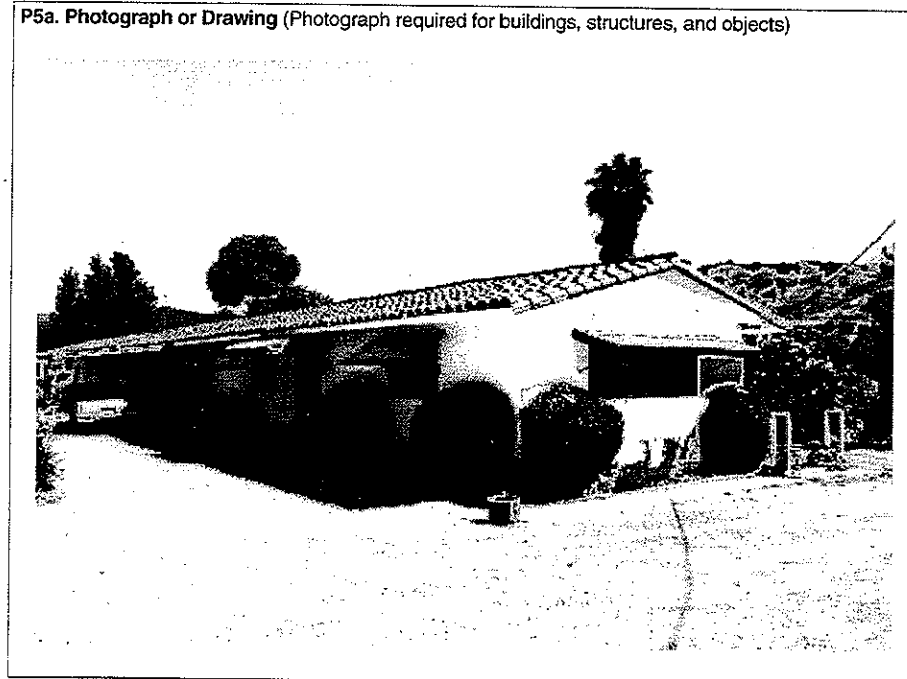
P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive



P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 9 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Silos*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Three identical silos are located immediately to the south of the hammermill building. The silos are round in plan, are built of hollow clay tile blocks, and are between thirty to forty feet in height. They were used to store the silage produced by the hammermill. The silage was then transferred to the feed sheds that once stood in the large open area just east of the silos. This area is now planted in citrus.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☐ Building ☒ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Silos, east elevation, 7/07/95, #1009

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive



P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 10 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Manager's Residence*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2847 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-13*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This English Tudor style residence with an irregular plan has a main one and one-half story portion with a wing extending on the northeast side. Covered with slate, the steep pitched hip roof is broken by a hipped dormer window centered over the front porch and a tall corbelled brick chimney to the north. The eaves are open and very shallow with exposed rafter tails. A pergola with a turned balustrade extends across the front of the porch. The front door has two windows in the upper portion with two panels in the lower half. Multi-paned wood casement and fixed windows are located throughout the house except for the front wing whose windows are fixed. This wing was originally the garage. The upstairs dormer was also added later. The house is covered with stucco siding and wide shiplap and rests on a concrete perimeter foundation. It is in excellent condition.

The house is located at the end of a long dirt road that curves to the north at the top of the low hill and enters the formally landscaped setting with a large yard area with many shrubs and ornamental trees. A stucco wall with decorative tile and wrought iron inserts extends across the edge of the hill adjacent to the driveway. The lot is narrow with the hillside closing near the rear of the house. At the rear is a small one-story building, known as the "poker room" built into the hillside during the 1940s. A new garage has been added at the end of the driveway. The 90 acre ranch is planted in citrus trees.

P3b. Resource Attributes: (List attributes and codes) *HP2 - Single Family Property* *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Residence, east elevation, 7/07/95; #1024

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1926-E

P7. Owner and Address

*Jim Williams
2847 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/5/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☒ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____

HRI # _____

Page 11 of 11

NRHP Status Code

3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

B1. Historic Name: *Billiwhack Dairy-manager's residence*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *same*

B5. Architectural Style: *English tudor*

B6. Construction History: (Construction date, alterations, and date of alterations)

1926 - main house; game room- 1940s

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date :

Original Location:

B8. Related Features: *garage, small game room*

B9a. Architect: *Roy Wilson*

b. Builder: *unknown*

B10. Significance: Theme: *Agriculture*

Area: *West Santa Clara Valley*

Period of Significance: *1925-1943*

Property Type: *ranch buildings*

Applicable Criteria: *A, C*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

This house is significant for its association with the Billiwhack Dairy. It was built by August Rubel to house the manager of the dairy. It was designed by local architect Roy Wilson. The Billiwhack Stock Farm and Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built between 1925 and 1934 by August Rubel. The house and grounds have retained a great deal of their original integrity of design and setting.

B11. Additional Resource Attributes: (List attributes and codes)

HP2 - Single Family Property

HP33 - Farm/ranch

B12. References:

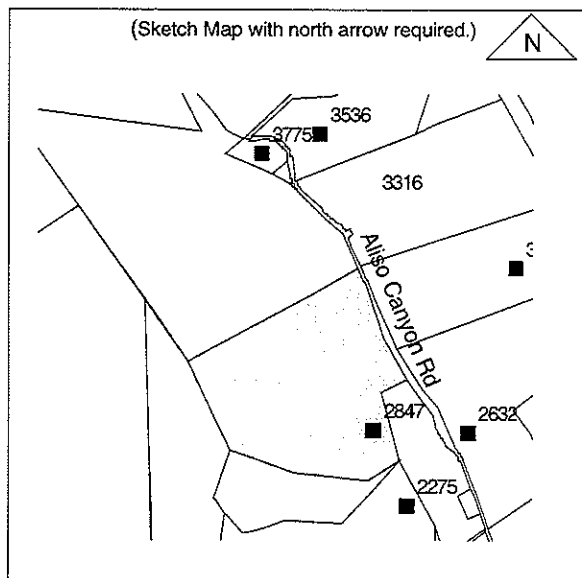
Interview with Jim Williams, 4/21/95

B13. Remarks:

B14. Evaluator: *Judy Triem*

Date of Evaluation: *11/15/95*

(This space reserved for official comments.)





Creamery Building (Building 4)



Building 1



Grain Silos

5/24/19



Milker's Dormitory (Building H2)

5/24/19



Agricultural Building (one of several)



Milking Barn

Zoning Clearance Correction Notice

Applicant Name: Everett Woody

General Plan: Agricultural

Applicant Phone: 805-452-2999

Area Plan Designation: N/A

Address: 2275 ALISO CYN RD

Legal Lot Status: PMW/Merger

Parcel: 0640130145

Lot area acres: 97.89

Zoning Clearance: ZC19-0684

Submittal Date: 06/19/2019

Zoning: AE-40 ac

Correction Notice Date: 07/09/2019

Project Description:

Zoning clearance to partially abate violation CV19-0100:

Rehabilitation/reconstruction of existing structures found on a single discreet legal lot with APN #s 0640130145 & 0640130125 and a reference address of 2275 Aliso Canyon Rd, Santa Paula. This property contains a AE-40 ac zoning and Agricultural land-use designation and measures 97.89 acres in total. A historic site of merit exists on this lot.

Correction Notice:

Submitted materials:

1. Historic reference report
2. Site Plan
3. Floor plan & Elevations for Building "H2," "2," "H1," and "4"
4. Photograph indicating extent of damage to building H2

The submitted photograph does not provide sufficient information to defend the applicants request for continuation of a non-conforming use within subject structure "H2" (as referenced in the violation). Submitted site plan indicates there are multiple buildings with various uses. Submit a floor and elevation plan for each structure. Caretaker units are ministerial permits referenced in VCNCZO Sec. 8107-26, please provide information on exact areas "under crop" and how standards are met for caretaker units.

County of Ventura
Board of Supervisors Hearing
Exhibit 8 - July 9, 2019
Correction Notice #1 for
ZC19-0684



Ventura County Cultural Heritage Board Minutes

August 12, 2019 at 1:15 p.m.– Item 3b

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **11:00 A.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 2275 ALISO CANYON ROAD, SANTA PAULA, CA 93060 (BILLIWHACK RANCH)**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

A quorum could not be established, meeting was not called to order. The tour was still given to Staff and CHB members present however, CHB members present were instructed that they could not have any discussion or ask questions.

3. **1:15 P.M. CONVENE THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 800 S. VICTORIA AVENUE, VENTURA, CA 93009 (VENTURA COUNTY GOVERNMENT CENTER, ADMINISTRATION BUILDING, ATLANTIC CONFERENCE ROOM, SECOND FLOOR).**

4. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Gary Blum, John Kulwiec, Ricki Mikkelsen and Stephen Schafer.

CHB Members Absent:

Miguel Fernandez, Phil Englander, Darwin McCredie

Staff Present:

Denice Thomas, Cultural Heritage Program Manager

Ashley Cook, Cultural Heritage Planner.

5. **APPROVAL OF AGENDA**

- 6.a. **Vote to approve the July 12, 2019 Agenda**

CHB Member Mikkelsen made a motion to approve the agenda. CHB Member Kulwiec seconded the motion. Motion Passed; 4-0.

7. **PUBLIC COMMENTS**

8. **CONTINUED ITEMS**

None.

9. **NEW BUSINESS**

- 9.a. **Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060**

County of Ventura
Board of Supervisors Hearing
Exhibit 9 - August 12, 2019
Cultural Heritage Board Meeting
Minutes

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No. CH19-0021)

Disclosures:

CHB Member Schafer disclosed that he was in attendance at the tour earlier in the day. CHB Member Kulwiec disclosed that he was also in attendance at the tour earlier in the day as well.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos as well as the history of the site. He answered questions from the CHB members.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

1. **CONDUCT** public hearing, **RECEIVE** oral and written testimony, and **CONSIDER** the County Planning staff report and all exhibits and attachments hereto; and,
2. **MAKE** the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.
3. Based on the preceding evidence and analysis, **APPROVE** a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Photo Presentation by CHB Member Schafer

CHB Member Schafer presented the photos taken during the tour earlier that day at the project site.

Deliberation and Recommendation:

CHB Member Schafer asked the applicant questions regarding the significance of some the character defining features. CHB Member Schafer had concerns with removing the original Dutch doors on Building 2 as they could be considered character defining features. CHB Member Schafer agreed with Staff that the tower element should not be raised as this could create conjectural feature. CHB Member Schafer mentioned that without

having a Historic Resource Report, it is hard to make a recommendation on the plans. He would like to see a list of character defining features. This helps the CHB determine if the proposed plans affect the character defining features of the property and more information is needed to make a determination. CHB member Schafer recommended that the applicant apply for landmark status and that would allow them to use the Historic Building Code. CHB member Schafer also pointed out a few discrepancies in the plans that the applicant needs to resolve, such as the missing window on the North Elevation of Building H1 and the wrong window sizes/types shown in the existing plans on Building 2.

CHB Member Kulwicz had concerns regarding the structural integrity of the retaining wall located on the property line. He recommended that the wall be inspected by a structural engineer.

All CHB member seemed to concur that further information and analysis was needed to make a determination on the project.

CHB Member Schafer made a motion to table the item until the applicant can provided a Historic Resources Report, by a qualified architectural historian, that includes analysis of the project as a district, analysis of the project according to the Secretary of the Interior Standards and includes a list of character defining features. CHB Member Kulwicz seconded the motion. Motion Passed; 4-0.

The applicant addressed the board about the stabilization of the Building 4 as it needs to be shored up, stabilized and repaired to prevent further damage. The applicant asked if he would have to return to the CHB separately for this part of the project.

CHB Staff recommended that if the Board agreed, the COA for the stabilization and structural repair of the failing portion of Building 4 could be approved administratively pending the concurrence of the Chair and the member that represented the district. The CHB agreed and CHB Member made a motion to allow for the COA administratively with concurrence of the Chair and District representative per staff's suggestion. CHB member Kulwicz seconded the motion. Motion Passed; 4-0.

10. REPORTS

10.a. Board Member Reports:

CHB Member Kulwicz was happy to reported on the Spirit of Santa Paula and that the warming shelter project is moving forward, and the kitchen equipment

is be installed. They hope to open for the winter and are making great progress.

CHB Member Blum updated the CHB on the status of the Carnegie Museum in Oxnard.

CHB Member Mikkelsen reported that there was a meeting that took place in Thousand Oaks regarding the Timber School. However, she was not able to attend and will give updates at the next meeting.

CHB Member Schafer reported that the City of Ventura has put out an RFP for a city-wide survey of historic resources, he is concerned that proposal will come in over budget. He is also going to be speaking on a CFP webinar titled "Case Example in Contextual Infill".

10.b. CHB Program Updates from Staff:

Denice Thomas: None

Ashley Cook: None

11. NEXT MEETING

Ashley Cook announced the next regularly scheduled meeting is August 26, 2019.

12. ADJOURNMENT

At 3:02 p.m., the Cultural Heritage Board concurred to adjourn.



Gary Blum, Chair

ATTEST:

 Dillen Murray for

Denice Thomas, Cultural Heritage Program Manager

Zoning Clearance Correction Notice

Applicant Name: Everett Woody

General Plan: Agricultural

Applicant Phone: 805-452-2999

Area Plan Designation: N/A

Address: 2275 ALISO CYN RD

Legal Lot Status: PMW/Merger

Parcel: 0640130145

Lot area acres: 97.89

Zoning Clearance: ZC19-0684

Submittal Date: 06/19/2019

Zoning: AE-40 ac

Correction Notice Date: 08/13/2019

Project Description:

Zoning clearance to partially abate violation CV19-0100:

Rehabilitation/reconstruction of existing structures found on a single discreet legal lot with APN #s 0640130145 & 0640130125 and a reference address of 2275 Aliso Canyon Rd, Santa Paula. This property is located in Agricultural land-use designation, contains AE-40 ac zoning, and measures 97.89 acres in total. A historic site of merit exists on this lot. This project has been reviewed by the Ventura County Cultural Heritage Board and is referenced in project record CH19-0021.

Building H2: Conversion of the existing 2,646 sq. ft. caretaker dwelling to habitable area not to be used for human habitation and authorization for construction of a new 360 sq. ft. attached carport. This zoning clearance authorizes a 36 sq. ft. half-bathroom. The request includes installation of one bar sink in the wet bar area. The wet bar area shall be distinct from a kitchen. The bar sink shall contain sink basin interior dimensions less than or equal to 12" wide by 12" long and 9" deep and plumbing greater than 1 and ¼ inches in diameter connected to the bar sink drain. Demolition of all plumbing fixtures related to existing showers and kitchens. This structure does not meet the definition of dwelling and shall not contain a kitchen in any capacity. Pursuant to NCZO Sec. 8102-1, a kitchen is defined as any room, in an approved dwelling, all or part of which is designed, built, equipped, maintained, used, or intended to be used as a place for the preparation and cooking of food, and contains more than one of the following: (a) a counter sink with interior dimensions larger than 12" wide by 12" long and 9" deep; (b) a stove, hotplate, or conventional or microwave oven; (c) a refrigerator of more than four cubic feet capacity. The demolition of walls and floor of the existing caretaker dwelling encountered during inspection of CV19-0000 has exceeded the allowed 50% removal referenced in NCZO Sec. 8113-6.1.1 and in doing so has relinquished its non-conforming use. (See Exhibit A)

Pool Area: Demolition/removal of pool in pool area. This removal shall be completed to the satisfaction of the Ventura County Building & Safety Division.

Building 2: Interior remodel to include demolition of existing walls and removal of a non-permitted dwelling. The internal remodel will result in the creation of a new 1,848 sq. ft. caretaker dwelling unit with an attached 2,716 sq. ft. agricultural-related workshop.

Main residence: Interior remodel to include demolition of all kitchen-related fixtures so that the structure contains one dwelling and has internal access between all bedrooms and core rooms. This zoning clearance authorizes structural repairs to the southwestern-most corner of the structure. These structural repairs shall not exceed the 50% outlined in NCZO Sec. 8113-6.1.1. An affidavit has been signed to this effect.

Correction Notice:

Provide existing floor plans for the 3,550 sq. ft. "Existing Barn"

Provide exhibit indicating that the property meets ministerial standards to qualify for one caretaker unit as referenced in NCZO Sec. 8107-26. A caretaker is defined as: A dwelling unit occupied by a caretaker, and his or her family, employed full time and working on the same lot on which the dwelling unit is located or on other land that is under the same ownership or lease as the subject lot. Please provide verification of caretaker employment. *Employment Verification Declaration for Farmworker/Animal Caretaker Dwelling form attached*

Please update plans to reflect comments addressed in CHB hearing scheduled on August 12, 2019 in relation to "existing conditions." (i.e. Windows and Doors)

Please sign the attached Non-conforming affidavit

Please sign the attached Accessory Dwelling Unit affidavit



ANNUAL VERIFICATION OF FARMWORKER OR ANIMAL CARETAKER EMPLOYMENT

County of Ventura • Resource Management Agency • Planning
Division 800 South Victoria Avenue, Ventura, CA 93009 • (805) 654-2488

This employment verification is required in accordance with the conditions of the Conditional Use Permit (CUP) or Zoning Clearance issued for a farmworker or animal caretaker dwelling on the subject site and pursuant to the Ventura County Non-Coastal Zoning Ordinance (NCZO), Section 8107-26.4, which states (in pertinent part) that the owner of the property, or his/her designated agent, must **submit an annual verification report by May 15th of each year** to the Planning Director, demonstrating that the farmworker(s) and/or animal caretaker(s) residing in the farmworker and/or animal caretaker dwelling unit(s) meet(s) the employment criteria established in Section 8107-26.3 of the NCZO.

Pursuant to Section 8107-26.3 of the NCZO, farmworker and animal caretaker dwelling units shall only be rented or provided under the terms of employment to persons who are employed full time (minimum 32 hours per week) as farmworkers or animal caretakers by the property owner or lessee of the lot upon which the dwelling unit sits, or on other land in Ventura County that is under the same ownership or lease as the property with the dwelling unit. Additionally, a farmworker or animal caretaker who has been renting or occupying a farmworker or animal caretaker dwelling unit and who subsequently retires or becomes disabled, may continue to reside in the dwelling unit.

Please complete all required information and questions below. **Submit to:** Anthony Ciuffetelli via e-mail at anthony.ciuffetelli@ventura.org. This form may also be printed and mailed to: Ventura County Planning Division L#1740, Condition Compliance Program, 800 S. Victoria Ave., Ventura, CA 93009 (prior to May 15th each year). If you have any questions, please call (805) 654-2443.

Note: All information provided on this declaration is subject to audit by the Planning Division.

I certify or declare under penalty of perjury under the laws of the State of California that all information hereon, including any accompanying statements or documents, is true, correct and complete to the best of my knowledge and belief.

Print Name _____

Signature of Owner/Designated Agent _____

Date _____

Reporting Calendar Year: _____ Date: _____

Property Owner/Designated Agent Name: _____ Phone No.: _____

E-mail Address: _____

Assessor's Parcel Number: _____ -0- _____ - _____

Address: _____

CUP No.: _____ - OR - Zoning Clearance No.: _____

Is each farmworker/animal caretaker dwelling unit occupied by at least one person employed by the property owner for at least 32 hours per week on the subject site and/or on other land in Ventura County that is owned by the same property owner? YES ☐ NO ☐

If you answered "No" above, is the farmworker/animal caretaker dwelling unit occupied by a farmworker/animal caretaker who was previously employed by you, but subsequently retired or became disabled? YES ☐ NO ☐

Dwelling #1:

Occupant Name: _____ Occupant's Signature: _____

Date: _____

Address: _____

Phone#: _____

How many family members live in this dwelling, not including the farmworker/animal caretaker? _____

If you charge rent for this dwelling, please indicate the monthly rent amount. \$ _____
(If you do not receive rent, please insert N/A.)

Dwelling #2: (if applicable)

Occupant Name: _____ Occupant's Signature: _____

Date: _____

Address: _____

Phone#: _____

How many family members live in this dwelling, not including the farmworker/animal caretaker? _____

If you charge rent for this dwelling, please indicate the monthly rent amount. \$ _____
(If you do not receive rent, please insert N/A.)

Dwelling #3: (if applicable)

Occupant Name: _____ Occupant's Signature: _____

Date: _____

Address: _____

Phone#: _____

How many family members live in this dwelling, not including the farmworker/animal caretaker? _____

If you charge rent for this dwelling, please indicate the monthly rent amount. \$ _____
(If you do not receive rent, please insert N/A.)

NOTE: IF YOU HAVE MORE THAN THREE FARMWORKER/ANIMAL CARETAKER DWELLING UNITS, PLEASE PROVIDE THE REQUIRED INFORMATION ON A SEPARATE SHEET.

ADVISORY NOTICE REGARDING REMODELING OF STRUCTURES

INTRODUCTION

The Coastal and Non-coastal Zoning Ordinances allow for the issuance of zoning clearances for new structures and additions/remodels/partial demolition of existing structures. When a Zoning Clearance has been issued for an addition/remodel/partial demolition of an existing structure, but more than 50% of its roof or floor is removed for any reason, the Zoning Clearance will be voided and a new one will have to be issued for "new" construction. So, even if the Building and Safety Division, one's contractor or architect says the walls, roof and/or floors of a structure must be removed because they are unsound; the 50% rule is still applied.

When the above situation involves "non-conforming" structures, they can lose their "grandfathered" rights. Nonconforming structures are those that were legally constructed initially (or prior to the requirement to obtain permits as of March 1947) but do not meet current standards. Such structures are considered "grandfathered" if they were lawfully created. Structures commonly become non-conforming due to the following: Insufficient setbacks from property lines; Lack of required two-car covered parking; Being too tall; Being used for a purpose that is no longer permitted in the zone such as second or third dwelling on the site or a residence in a commercial zone; or because new or different permits are required presently.

Non-conforming structures can be altered or remodeled and retain their non-conforming status so long as less than 50% of a non-conforming structure's roof or floor is removed or destroyed. If this 50% figure is exceeded, then the entire structure must meet the current code requirements (see attached code sections). The fact that a structure is declared unsound by the Building and Safety Division and the owner is ordered to correct the situation does not mean Planning will authorize the re-construction of the building. Unsound and deteriorated buildings that do not meet current Zoning standards are not intended to be re-built.

CASE EXAMPLES

The remodel of a building in poor condition will frequently result in direction from one's contractor or architect to remove many of its key elements, if not everything down to the foundation to address existing deteriorated conditions in the building. Sometimes the Building and Safety Division will order unsafe building conditions corrected. In the eyes of the Building and Safety Division, this is no longer a "remodel", but effectively new construction that is handled differently and charged higher permit fees than a remodel. Planning views the removal of more than 50% of the roof or floor of a building as new construction and not a remodel. A

new Zoning Clearance is required along with a re-review of the building plans and its intended use.

Sometimes the internal remodel of a structure to convert it from a shop to a recreation room leads to the removal of more than 50% of the building's roof or floor because the building is not in good condition. When the owner comes back to Planning for a new Zoning Clearance for "new" construction, they may discover that a Conditional Use Permit (CUP) is required because the total square footage of existing and proposed accessory buildings exceeds 2000 sq. ft.

Some individuals have obtained approval to remodel their homes that are built too close to property lines. The plans submitted showed that more than 50% of the house would remain. Later they decided they would rather have new construction on the same "foot print" plus the requested addition. They removed all but one wall of the original house believing that they had preserved the "non-conforming" right to exceed the current setback standards. When the extent of the demolition was discovered by the building inspector, the project was stopped and the owners were forced to redesign the houses to meet current standards.

In other instances owners honestly assumed that the existing house (or more than 50% of it) could be retained along with its non-conforming features, e.g. a one-car garage. When the contractors discovered that the original house was not structurally sound and building inspectors ordered the unsound portions corrected, more than 50% of the roof or floor was removed along with its non-conforming status. New building plans were prepared for the new construction that was required and a new two car carport had to be added to the site.

Some property owners have assumed that they can incrementally remove more than 50% of an existing structure and still retain its non-conforming features. This is not true. Records are kept of the successive "improvements" to the original non-conforming structure, so once more than a cumulative 50% of the original structure has been removed, the non-conforming status of the property is lost.

CAVEATS

Property owners and their architects/agents are strongly advised to discuss the non-conforming use regulations of the Zoning Ordinance with the Public Counter Planning staff before commencing their projects. They are also advised to have frank and open discussions about the proposed project and to accurately and consistently depict the project on all plans submitted to the Planning and Building & Safety Divisions. Owners should independently assess the structural integrity of buildings to be remodeled and determine if they can be ultimately retained, or whether significant portions of the structures will have to be removed.

This assessment is very critical because if one incorrectly assumes that more than 50% of its floor or roof can be retained, new plans and new Zoning Clearance must be obtained from the Planning Division. If the structure in question is non-conforming and more than 50% of its roof or floor are removed then the entire building must conform to current standards. The re-engineering of a building and the securing of new permits in the middle of the construction process will be very costly and time consuming.

POLICY

In accordance with the attached Zoning Ordinance sections, where more than 50% of the roof or floor of a structure is removed, the construction project will be issued a stop work order and the entire project must obtain new Planning (and Building & Safety) permits before work can resume. Where the structure is "non-conforming" it must meet current standards.

I have read and understand the above and I hereby acknowledge the requirements for remodeling, adding onto, or partially demolishing structures, particularly nonconforming structures.

Property Owner's Signature

Date

Architect or Designer's Signature

Date



Accessory Dwelling Unit Owner-Occupant and Rental Term Affidavit

County of Ventura • Resource Management Agency • Planning Division
800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478 • vcrma.org/planning/

At the time of application for an accessory dwelling unit, the owner of the property must agree to reside in either the principal or accessory dwelling unit on the project site, pursuant to the Non-Coastal Zoning Ordinance Section 8107-1.7.2(r) and Coastal Zoning Ordinance Section 8175-5.1.1.2(n). Additionally, if the accessory dwelling unit is to be rented out at any time, it shall be on rental terms of no less than 30 consecutive days, pursuant to Non-Coastal Zoning Ordinance Section 8107-1.7.2(p) and Coastal Zoning Ordinance Section 8175-5.1.1.2(m).

The owner of the property must sign this affidavit and show valid California identification (and other supporting documents, if requested) to a Ventura County Planning Division staff member, confirming that he/she is the property owner. If there are multiple owners of the property, all property owners must sign the affidavit or provide a document (e.g., Power of Attorney, Articles of Incorporation, Trustee, etc.) which gives the applicant the authority to sign on behalf of all the owners of the property. If an agent other than the property owner(s) submits the affidavit, the affidavit must be signed by the owner(s) and notarized. The notarized affidavit must include the current legal notary language, as well as the signature and seal of the Notary Public.

Owner/Occupant Name¹: _____

Property Address: _____

Assessor's Parcel Number (APN): _____

I affirm under penalty of perjury that the foregoing is true and correct:

☐ I am the owner and occupant (or will be once construction is completed) of the primary or accessory dwelling unit referenced above.

☐ The accessory dwelling unit, as referenced by the zoning clearance number below, will be rented out for a term of no less than 30 consecutive days.

Print Name: _____ Date: _____

Owner-Occupant Signature _____

TO BE COMPLETED BY STAFF:

Accessory Dwelling Unit Zoning Clearance No.: _____

¹If there are multiple owners of the property, please submit multiple signed copies of the affidavit or a document which gives the applicant the authority to sign on behalf of all the owners of the property (e.g., Power of Attorney, Articles of Incorporation, Trustee, etc.)



County of Ventura Planning Division

800 S. Victoria Avenue, Ventura, Ca. 93009-1740 • (805) 654-2488 • vcrma.org/divisions/planning

Construction/Demolition ZC19-0896

Assessor's Parcel No.: 0640130145

Date Issued: 08/29/2019
Date Expires: 2/29/2020
Fee: \$334.00
Issued By: A Paniagua

All Associated APNs: 0640130145

Property Owner:
BILLIWHACK RANCH LLC

Applicant:
Everett Woody

Mailing Address:
3048 N COOLIDGE AV
LOS ANGELES, CA 90039

Mailing Address:
122 E. Arrellaga Street
Santa Barbara, CA 93101

Telephone:

Telephone: 323-663-9898

ZONING CLEARANCE TYPE: Construction/Demolition

Site Address: 2275 ALISO CYN, SANTA PAULA 93060

Parent Case No.:

Lot Area Sq Ft: 3167683.1999999997

Lot Area Acres: 72.72

Legal Lot Status: PMW/Merger

Map & Lot No: PMW 715

PROJECT DESCRIPTION: Zoning clearance to partially abate violation CV19-0100:

Minor structural repair & rehabilitation of an approximately 520 sq. ft. area found in the ground floor of an existing structure referenced on the submitted plans as "Building #4." The proposed scope entails:

1. Removal of the existing concrete within the floor, walls and roof (including parapet).
2. Sandblasting the exposed steel to a clean bright finish.
3. Repair or replacement of substandard structures found in the exposed steel frame pursuant to recommendations of engineer of record.

All proposed repaired concrete work shall match the existing concrete and shall be considered an "in-kind" replacement. The property's reference address, 2275 Aliso Canyon Rd, is a portion of the unincorporated area near Santa Paula and contains a Historic Site of Merit. An administrative certificate of appropriateness (ACOA) was approved by the Planning Division and can be referenced in record CH19-0027.

The existing structure was constructed in 1926 as a creamery made of heavy steel-reinforced concrete construction. All building materials, colors and architectural elements shall match the existing. This zoning clearance does not speak to, approve, nor deny any proposed use found on the submitted site plan or within the structure.

APPLICABLE ZONING:

Area Plan:
General Plan:

Zoning:
Area Plan Designation:

County of Ventura
Board of Supervisors Hearing
Exhibit 11 - Zoning Clearance
Application No. ZC19-0896

BUILDING COVERAGE ALLOWANCE:**Maximum Building Coverage:**

<u>Building Coverage</u>	<u>Existing</u>	<u>Proposed</u>	<u>Combined</u>
Prin. Structure(s) sf.			
Accessory Structure(s) sf.			
Total sf.			
% of Bldg. Coverage			

SQUARE FOOTAGE:

<u>Building Coverage</u>	<u>Existing</u>	<u>Proposed</u>	<u>Combined</u>
Principal Dwelling			
Accessory Structure DU			
Accessory 2nd DU			
Principal Structure AG			
Acc Structure AG			
Other Principal Structure			
Other Acc. Structure			

Does the cumulative GFA of any of the structures exceed
the maximum ministerial allowance?

DEVELOPMENT STANDARDS

Structure No. 1 Proposed Principal Remodel of Creamery

Category: 8105-4-Agriculture and Agricultural Operations

Sub Category: N/A

Specific Use: N/A

Max Height:

Structure 50 Years and Older: Yes

CHB Review Required: Yes

Setbacks From Lot Line Or Road Easement

Allowed Intrusions Notes: Building 4 on submitted site plan

Repair of 520 sq. ft. area

BELOW ARE SETBACK EXCEPTIONS THAT MAY APPLY**Allowed Intrusions into Setbacks:**

Stairways & balconies, open & unenclosed:	2.5' front, 4' rear
Porches & Landings, uncovered/unenclosed, at or below 1st floor:	6' front, 3' rear and side
Chimneys/fireplaces, masonry:	2' into all setbacks; keep min. 3' side setback
Architectural Features (e.g. eaves, cornices, canopies, etc.):	2.5' front, 2' side, 4' rear; keep min 2' side/rear setback

Are There Setback Exceptions?

Setback Exceptions:

Required Setbacks Between:

Habitable Structures:	10'
Habitable & Non-habitable Structures:	6'
Non-habitable Structures:	6'
Setbacks Between:	

FEES:

Total Fees: 334.00

ATTACHMENT(S):

Y	Plot/Site Plan	Y	Floor Plans
N	Ordinance Standards	N	Permit Conditions
N	Compliance Agreement	Y	Elevations
N	Declaration	N	Removal Notice and Caveats
N	Cross Sections	N	Arborist Report
N	HOA Approval	N	Affidavit

OTHER: CH19-0027 Approval

NOTES:

1. This Zoning Clearance becomes valid once the fees are paid.
2. This Zoning Clearance will be nullified pursuant to the Zoning Ordinance if the information provided by the applicant was not full, true and correct; it was issued erroneously; or it does not comply with the terms and conditions of the permit originally granting the use.
3. This Zoning Clearance expires within 180 days of its issuance date unless a Building Permit is issued. Once a building permit is issued, construction must commence within 180 days. This Zoning Clearance expires if construction does not commence within 180 days of issuance of a building permit.
4. The property owner is responsible for identifying all property lines and ensuring that all the requirements of this permit are complied with.
5. That authorizations by other County Departments that exceed the allowable limits noted herein do not excuse the property owner from complying with the provisions of this permit. (The stricter provisions apply).
6. The proposed project will not result in the removal of more than 50% of the roof or floor area of a non-conforming structure.
7. By May 15th of each year the property owner shall submit a "verification report" and applicable fees demonstrating to the Planning Director's satisfaction that the farmworker/animal caretaker meets the Zoning Ordinances' applicable employment criteria.
8. If the parcel numbers cited in this permit are within the boundary of a Homeowner's Association, additional review and approval of the project may be required by the HOA's Conditions, Covenants & Restrictions (CC&R's). HOA review and approval is the responsibility of the property owner.
9. If the project site(s) cited in this permit are located within the Dark Sky Overlay Zone, all new outdoor lighting shall be installed to be consistent with standards outlined in Sec. 8109-4.7 of the Non-Coastal Zoning Ordinance.

BY SIGNING BELOW I CERTIFY THE FOLLOWING:

- I am the owner of the subject property or I am the authorized agent of the property owner and have his/her permission to obtain this permit.
- I have noted on the attached plot plan all of the following applicable attributes: existing and proposed structures, Protected Trees (Oaks, Sycamores, and any 30+" diameter trees), marshes, wetlands, streams, rivers, landslides, edges and toes of slopes, abandoned or active oil wells, septic systems and leach fields. I have illustrated all roads, public and private easements, and utilities on the attached plot plan/site plan accurately and accept responsibility for any encumbrances, restrictions, or agreements on the subject property.
- I have illustrated all roads, public and private easements, and utilities on the attached plot plan/site plan accurately and accept responsibility for any encumbrances, restrictions, or agreements on the subject property.
- The information provided in this Zoning Clearance and attached plot/site plans, floor plans and elevations are full, true and correct.
- I have been informed that I am responsible for contacting the applicable Homeowners Association or Property Owners Association to ensure compliance with the CC&R's.
- I have reviewed, read and understand the terms, notes and conditions of this permit and as depicted in related attachments, and agree to abide by them and all other provisions of the Ventura County Zoning Ordinance. I further understand that the permit can be nullified for cause as noted above.



Applicant Signature

ZONING CLEARANCE NO. ZC19-0896

APN: 0640130145

FOR OFFICIAL USE ONLY

ISSUED BY: A Paniagua

DATE ISSUED: 08/29/2019

A Paniagua

Signature

BILLIWHACK RANCH STRUCTURAL REPAIR BUILDING 4

PROJECT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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SHEET INDEX

- A-1 PROJECT INFORMATION AND SHEET INDEX
- A-2 EXISTING SITE PLAN
- A-3 EXISTING ENLARGED SITE PLAN
- A-4 EXISTING FLOOR PLANS BUILDING 4 MAIN RESIDENCE
- A-5 EXISTING ELEVATIONS BUILDING 4 MAIN RESIDENCE

PROJECT TEAM

DESIGN CONSULTANTS:

EVERETT WOODY AND GIL GARCIA
121 E. ARRELLAGA STREET
SANTA BARBARA, CA 93101
805-357-7494

STRUCTURAL ENGINEER:

JOHN OELTMAN
3025 LONG VALLEY ROAD
SANTA YNEZ, CA 93402
805-358-6677

GENERAL CONTRACTOR:

HJM CONSTRUCTION
11416 VENTURA
3779 BREAKER DRIVE, VENTURA, CA 93003
805-479-7405

PROJECT DATA

OWNER:

BILLIWHACK RANCH, LLC
3048 N. COOLIDGE AVENUE
LOS ANGELES, CA 90039
PHONE 213-305-0015

APN:

064-010-025 AND 064-010-026
SITE AREA
GENERAL PLAN DESIGNATION
HIGH FIRE AREA
MAXIMUM BUILDING HEIGHT
FRONT YARD SETBACK
REAR YARD SETBACK
SIDE YARD SETBACK

FINISHES

ALL FINISH COLORS AND MATERIALS TO MATCH EXISTING.

EXISTING BUILDING FLOOR AREAS

STORAGE AND MAINTENANCE BUILDING (14)	10,914 SQUARE FEET GROSS
GUEST HOUSE BUILDING (14)	2,352 SQUARE FEET GROSS
BEE KEEPER BUILDING (1)	5,341 SQUARE FOOT GROSS
CARETAKER DWELLING BUILDING (7)	4,564 SQUARE FOOT GROSS
EQUIPMENT STORAGE BUILDING (3)	4,564 SQUARE FOOT GROSS
TWO STORY MAIN RESIDENCE (4)	17,909 SQUARE FOOT GROSS
RANCH MAINTENANCE BUILDING (5)	9,350 SQUARE FOOT GROSS
RANCH EQUIPMENT STORAGE BUILDING (4)	5,341 SQUARE FOOT GROSS
CARETAKER DWELLING (142)	2,446 SQUARE FOOT GROSS
HAMPTER MILL BARN	3,550 SQUARE FOOT GROSS
THREE GRAIN SILOS TOTAL	1,679 SQUARE FOOT GROSS
TOTAL	68,723 SQUARE FOOT GROSS

SITE STATISTICS

TOTAL BUILDING COVERAGE	55,463 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 60'x90'	5,400 SQUARE FOOT GROSS
AREA UNDER CROP	3,543,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA	4,257,329 SQUARE FOOT GROSS OR 97.348 ACRES

SCOPE OF WORK

BUILDING 4 STRUCTURAL REPAIR OF 411 EXISTING 11,909 SQUARE FOOT FIVE (5) BEDROOM MAIN RESIDENCE. TEAR OUT 1" CRACK. 100%
ALL BUILDING MATERIALS, COLORS AND ARCHITECTURAL ELEMENTS SHALL MATCH EXISTING.

CODE INFORMATION

BUILDING TYPE R-3
CONSTRUCTION TYPE TYPE V-H-01
ROOF TYPE CLASS 'A'
BUILDING HEIGHT 47'-0" ABOVE EXISTING GRADE
BUILDING SQUARE FOOTAGE UNLIMITED
THIS PROJECT WILL COMPLY WITH
CBC 2019
CBC 2019 CALIFORNIA RESIDENTIAL CODE
CBC 2019 CALIFORNIA HISTORICAL BUILDING CODE
CBC 2019 GREEN CODE
CALIFORNIA ENERGY CODE 2019
CFC 2019
CFC 2019
CFC 2019

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE	55,463 SQUARE FOOT GROSS
TOTAL SITE AREA	4,257,329 SQUARE FOOT GROSS OR 97.348 ACRES
BUILDING AREA 55,463/SITE AREA 4,257,329	1.31 LESS THAN 5% ALLOWED

VICINITY MAP



CULTURAL HERITAGE BOARD CERTIFICATION OF APPROVAL

Permit No. CH-19-0007

Exhibit No.

Date Approved 8/18/19

Approval Body

- ☐ Exempt
- ☒ Admin
- ☐ CHB

Authorized Signature Date 8/28/19

COUNTY OF VENTURA

PLANNING DIVISION

APPROVED

Date 8/29/19

Permit No. 2019-0396

APPROVED

Planner Authorizing

Print Name



DATE	10/1/19
BY	APPAHANA

BILLIWHACK RANCH BUILDING & STRUCTURAL REPAIR
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93108
805-452-2999

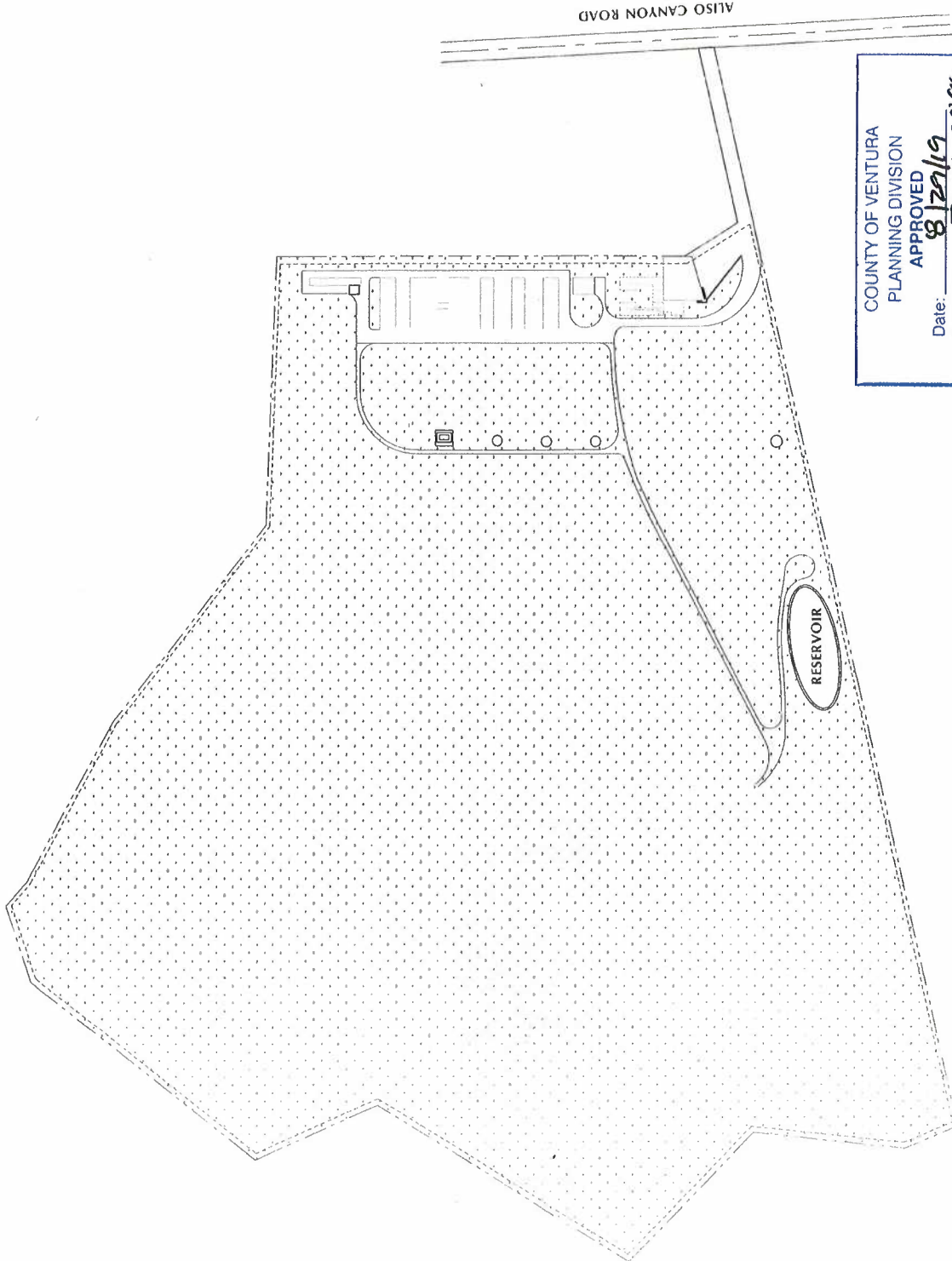
EXISTING SITE PLAN

PROJECT NO.	1221
DATE	10/1/19

A-2

KEY NOTES

GENERAL NOTES



COUNTY OF VENTURA
PLANNING DIVISION
APPROVED
Date: 8/29/19
Permit No: 809-0896
Planner Authorizing: APPAHANA
Print Name: _____



SITE PLAN

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

AREA OF WORK

KEY NOTES

EXISTING BUILDING FLOOR AREAS

SITE STATISTICS

AUSO CANYON ROAD

GENERAL NOTES

COUNTY OF VENTURA
PLANNING DIVISION
APPROVED

Date: 8/29/19

25,000 GALLONS WATER STORAGE TANK

Planner Authorizing

Print Name

ENLARGED SITE PLAN

Angeli de Covolo, Inc.
122 E. Arellaga Street
Santa Barbara, California 93101
805.432.2595



DATE: 8/29/19
BY: [Signature]

BILLIWHACK RANCH BUILDING 4 STRUCTURAL REPAIR

SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

A-3

COUNTY OF VENTURA
PLANNING DIVISION
APPROVED

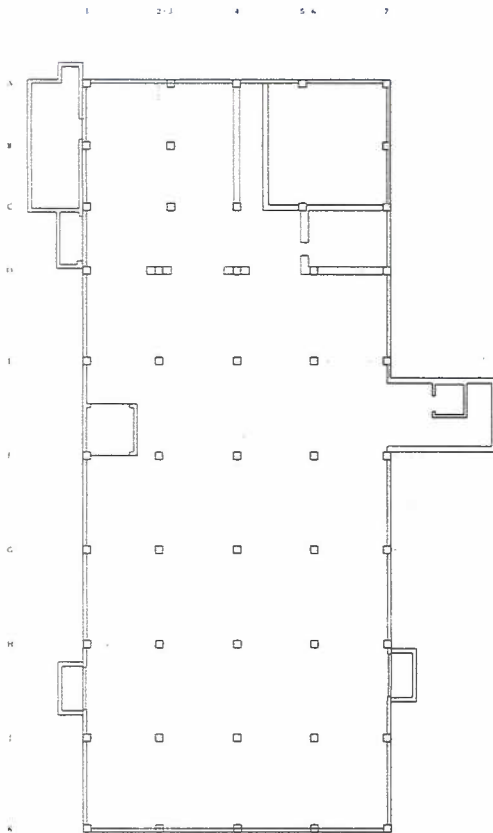
Date: 8/29/19
Permit No: EC19-0896

ADAM DAWSON
Planner Authorizing

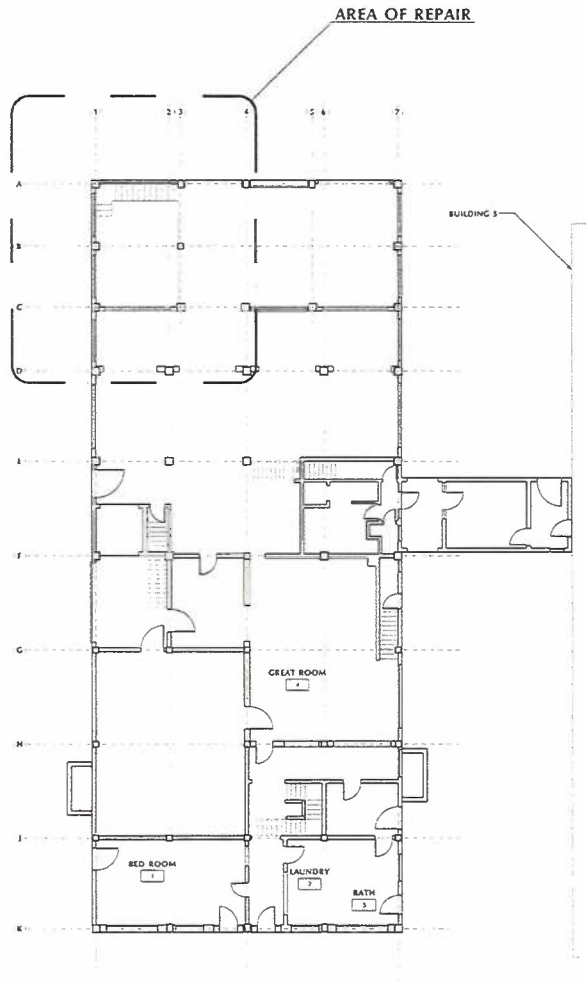
Print Name

☐ KEY NOTES ☐

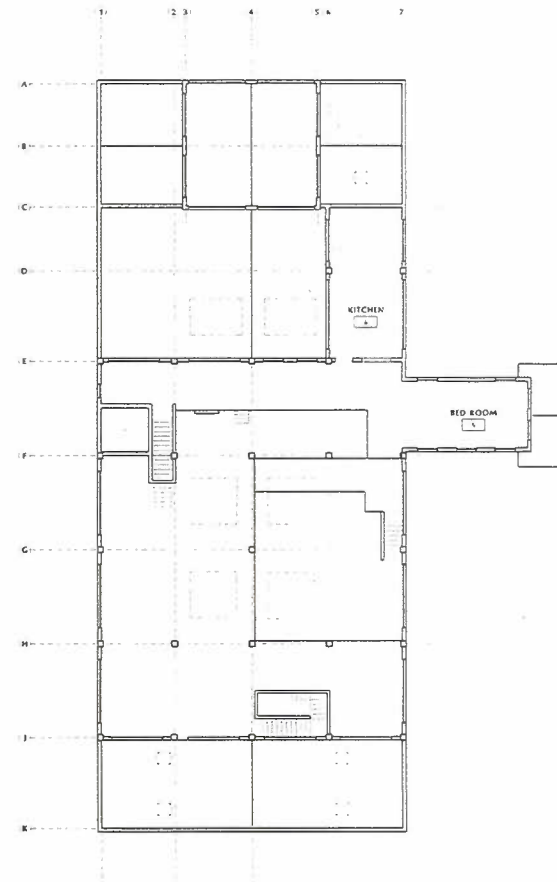
GENERAL NOTES



BASEMENT FLOOR PLAN BUILDING 4



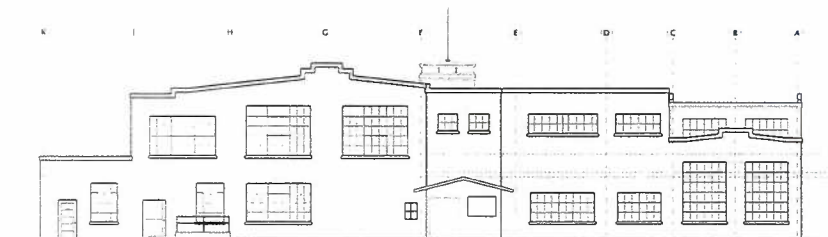
GROUND LEVEL FLOOR PLAN BUILDING 4



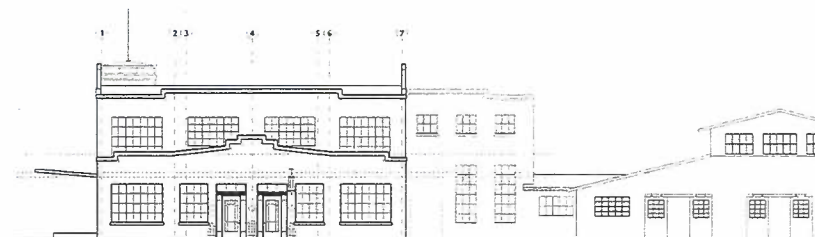
2ND LEVEL FLOOR PLAN BUILDING 4

Date: 8/29/19
Permit No: 3C19-0396
APR 19 2019
Planner Authorizing
[Signature]
Print Name

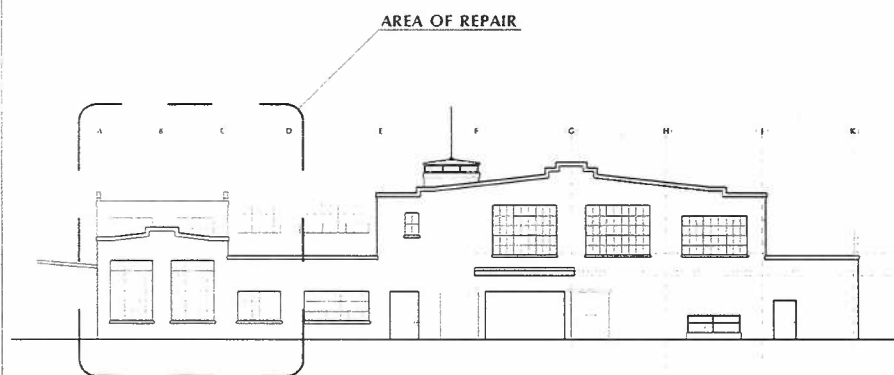
GENERAL NOTES



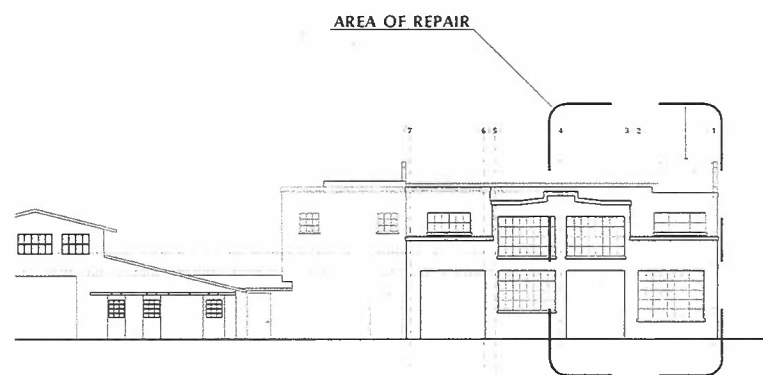
1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"



① SOUTH ELEVATION
SCALE 1/8" = 1'-0"



1 WEST ELEVATION
SCALE 1/8" = 1'-0"

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SHIRT CONTAINS
EUNLORG 4
EXISTING ELEVATIONS

2275
 06 11 2009

APPROVED
Date: 8/29/19
Permit No: 3C17-0896
APAWAGUA
Planner Authorizing
[Signature]
Print Name

Permit No:

APANIAGWA

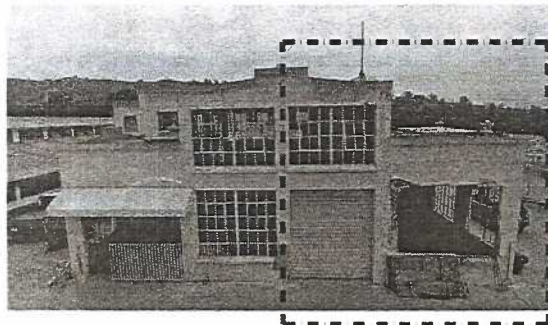
Planner Authorizing

Print Name _____

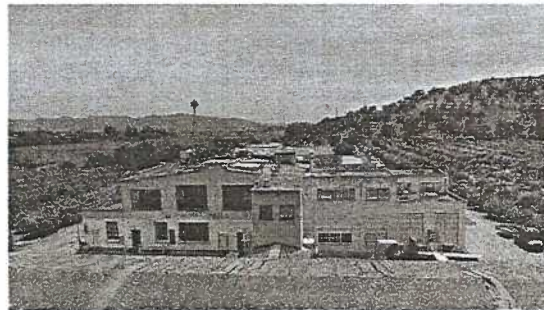
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805-452-2199

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91			

BILLWHACK RANCH BUILDING & STRUCTURAL REPAIR

SHORT CONTENTS
PHOTOGRAPHS

DO 06 2014

CULTURAL HERITAGE BOARD
county of ventura

August 28, 2019

Everett Woody
Angeli de Covolo, Inc
122 E. Arrellaga Street
Santa Barbara, CA 93101

Subject: **Administrative Certificate of Appropriateness (ACOA) (CH19-0027)**
2275 Aliso Canyon Road
Santa Paula, CA 93060
Structural Repair Project – Building 4

The following project located at the above referenced property was forwarded to CHB staff for review:

Structural Repair of a failing portion of Building 4. This is the old Creamery Building located on the historic Billiwhack Dairy.

Cultural Heritage Board (CHB) Staff determined that the above project qualified for an ACOA due to the following findings:

- The proposed repaired concrete work is to match the existing concrete and is an "in-kind" replacement.
- The repair work is needed to prevent further damage to the existing structure.
- "An Administrative Certificate of Appropriateness (ACOA) for a Site of Merit shall be issued for work involving basic maintenance and repair or minor rehabilitation that does not involve a change of design, material, appearance or visibility of the property and its character-defining features." Ventura County Cultural Heritage Board Resolution No. 2017-2.1

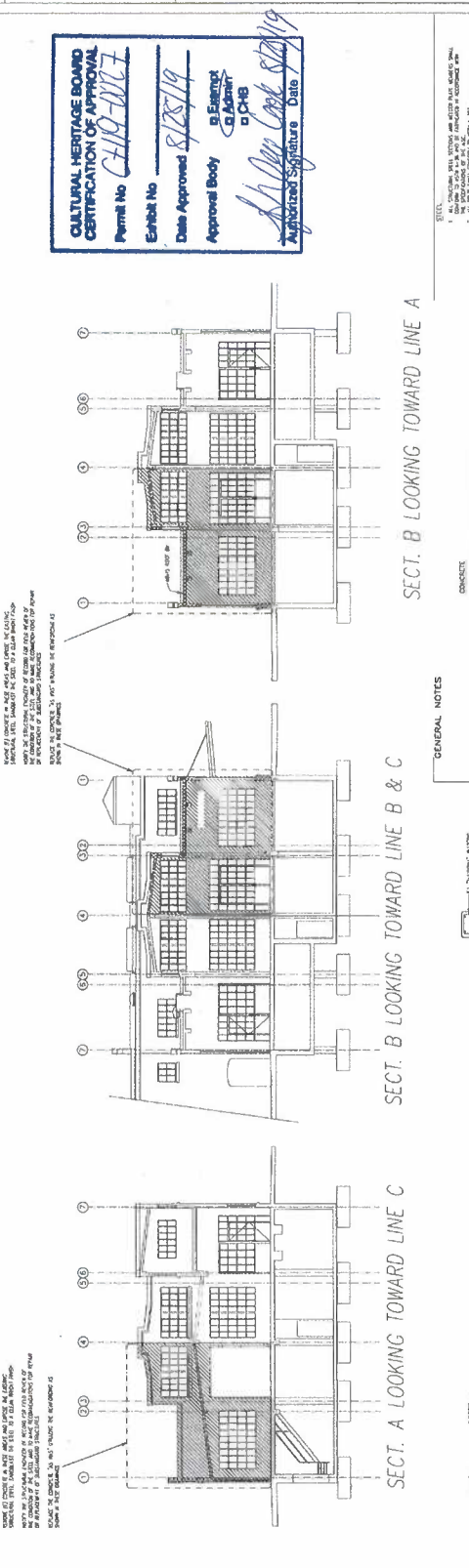
Additionally, the project was screened by the CHB Chair and the CHB Board member who represents the district and concurred that the project qualified for an Administrative Certificate of Appropriateness. The motion to allow administrative approval of the structural repair with consent of the CHB chair and CHB District representative was passed at the August 12, 2019 CHB meeting.

If you have any questions, please do not hesitate to call me at (805) 654-5042 or email me at ashley.cook@ventura.org.

Sincerely,



Ashley Cook, LEED AP
Cultural Heritage Program Coordinator

[illegible]

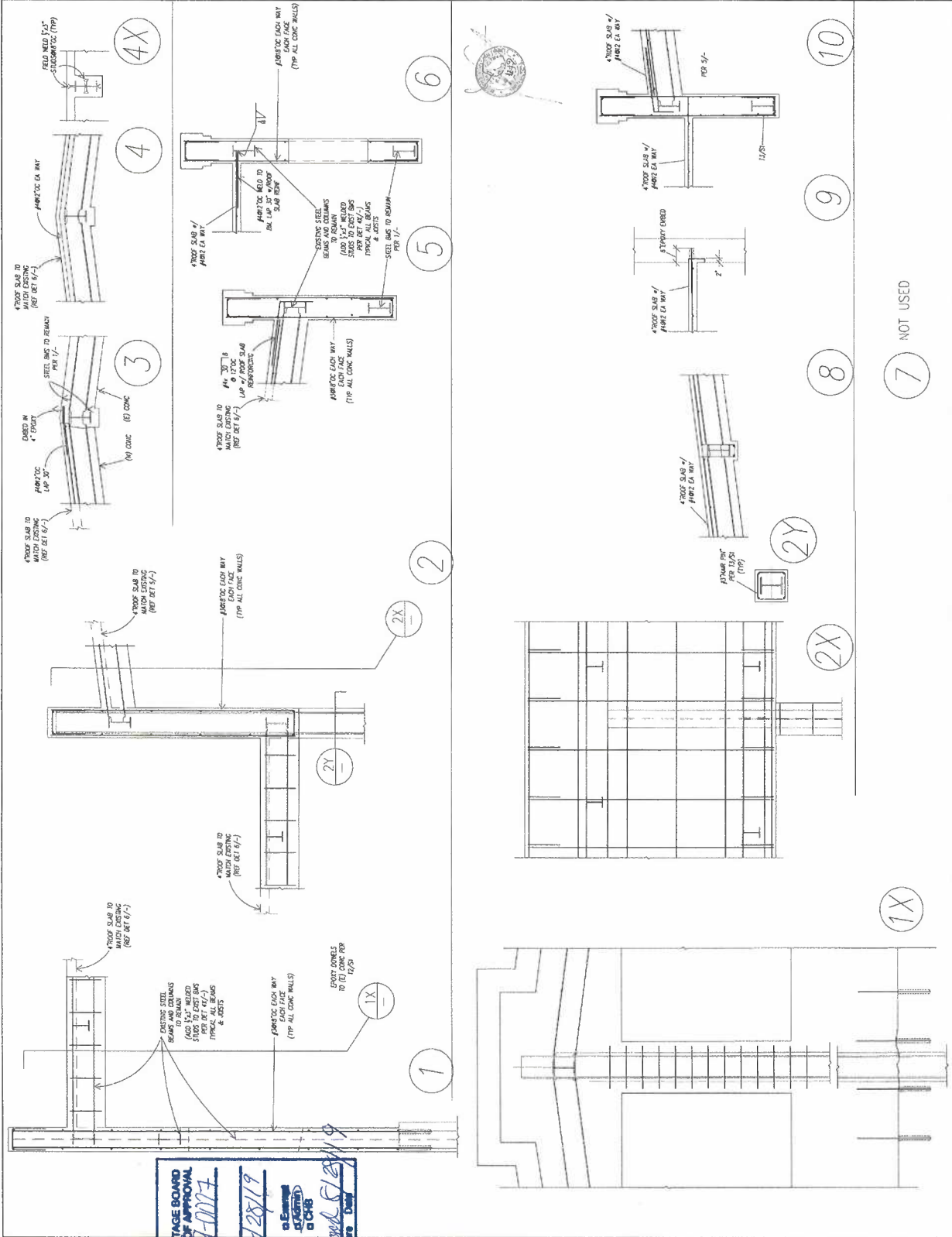
REVISION	DATE	BY

JOHN D. DELTMAN
STRUCTURAL ENGINEERS
10000 WILLOW CREEK DRIVE
SUITE 100
SAN ANTONIO, TEXAS 78241-1815
(214) 341-1111
www.jddelmans.com

STRUCTURAL REPAIRS OF THE BUILDING DAMAGED PORTIONS OF THE BUILDING

BILLWACK RANCH RENOVATION
SANTA PAULA, CA 93606
2225 ALISO CANYON RD.
BILWACK RANCH

S2



CULTURAL HERITAGE BOARD
CERTIFICATION OF APPROVAL
Permit No. CH19-0027
Exhibit No. 8/28/19
Date Approved 8/28/19
Approval Body to Example
Authorized Signature Date

B19-000857



A notice was added to this record on 2019-03-25.

Condition: Severity: Notice

Total conditions: 2 (Notice: 2)

[View notice](#)

Summary

Help

Go To ▾

Summary

Record

Activities (0)

Activity Summary (3)

Address (1)

Application History (3)

Record Type

Building/Building/Residential Alteration/NA

Status

Issued

Opened Date

08/29/2019

In Possession Time (hrs)

Detailed Description

Repair concrete roof, façade and walls, like for like. Reference CV19-00100

Priority

Assigned to Department

Building & Safety

Assigned to Staff

Martha Aldana

Assigned Date

Expiration Date

Closed by Department

Closed by Staff

Closed Date

Est. Completion Date

Application Name

Created By ACA

N

Filter Name: Record Detail Form - Building



Ventura County Cultural Heritage Board Minutes

September 09, 2019 at 1:15 p.m.— Item 3c

County of Ventura • Resource Management Agency • Planning Division
800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. 1:15 P.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT THE VENTURA COUNTY GOVERNMENT CENTER

2. ROLL CALL AND DETERMINATION OF A QUORUM

CHB Members Present:

Miguel Fernandez, Darwin McCredie, Ricki Mikkelsen, Gary Blum, John Kulwicz, and Stephen Schafer

CHB Members Absent:

Phil Englander

Staff Present:

Denice Thomas, Cultural Heritage Program Manager
Ashley Cook, Cultural Heritage Planner

3. APPROVAL OF AGENDA

3.a. Vote to approve the September 9, 2019 Agenda

CHB Member Schafer made a motion to re-order the agenda to take item 6b before 6a and to omit the August 26, 2019 minutes as they were not in the packet. CHB Member Fernandez seconded the motion. [Motion Passed;6-0]

3.b. Vote to approve the August 12, 2019 Minutes

CHB Member Schafer made a motion to approve the August 12, 2019 minutes. CHB Member Mikkelsen seconded the motion. [Motion Passed;4-0]
CHB Member McCredie and CHB Member Fernandez abstained.

4. PUBLIC COMMENTS

None.

5. CONTINUED ITEMS

None.

6. NEW BUSINESS

6.b. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No.: CH19-0021)

Disclosures:

None.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project and the update since the August 12, 2019, meeting. No new action was recommended as CHB Staff deferred to the CHB.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos, as well as, the history of the site. He answered questions from the Cultural Heritage Board (CHB) members. He mentioned that the owner opted not to get the Historic Resources Report (HRR) because the bids for the report were coming in too high. He mentioned that the tower element and skylights are rotten and needs to be replaced. He also stated that he was able to meet with the Building Official and that since the property is listed in a local inventory, he is allowed to use the Historic Building Code (HBC).

CHB Member Kulwiec left the meeting at this time.

Deliberation and Recommendation:

CHB Member Schafer stated that he was still not in agreement on the tower element and is unsure of the some of the doors and windows. He stated again the this is why the Historic Resources Report is needed. He made a re-motion to table the item until the applicant can provided a HRReport, by a qualified architectural historian, that includes analysis of the project as a district, analysis of the project according to the Secretary of the Interior Standards and includes a list of character defining features, and to condition the project to

have to submit HABS photography. Motion did not receive a second. [Motion dies]

CHB Chair continued the discussion and stated that this is obviously an adaptive re-use project and not a restoration project. It is difficult to know if we will be losing character defining features in this proposal.

CHB Member Fernandez asked the applicant what the incentive was for the owner to purchase to the property in the first place.

The applicant responded that they wish to live the in the historic property and have the ranch/farm lifestyle.

CHB Member Fernandez asked is the owners had any intentions to landmark the property? The applicant responded, "No.".

The applicant, Mr. Everett Woody, stated that the proposed project is not changing the character that much and while he understands that the position of the CHB is a position of caution, he was hoping to discuss more of the architecture at the meeting. He does not understand the CHB's need for a consultant to prepare a report as consultants can be swayed in their analysis.

CHB member asked Staff if the applicant can be conditioned to submit a historic resources report by a qualified Architectural Historian that is vetted by the County. Denice Thomas responded that the County is not set up at this time to do that. CHB Member Schafer stated he would like to see this agendized to discuss at a future meeting.

The CHB started to discuss tabling the item again, Denice Thomas recommended that the CHB either approve or deny the item. The item was tabled before and the applicant stated their client was not going have an HRR prepared; giving the applicant a decision allows the property owner to appeal if they wish.

CHB Member Schafer made a motion to deny the COA. CHB member Fernandez seconded the motion. [motion passed 3-2].

6.a. Location: 103 Lake Sherwood Drive, Lake Sherwood, CA 91361

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) to remove an existing 32-inch steel rail from the front elevation, install a new six-foot-tall clear glass panel on the front elevation, and construct a new stucco privacy wall on the side

elevation. The property is designated Ventura County Landmark No. 177. (Case No.: CH19-0028).

Disclosures: None

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

Presentation of public speakers:

The applicant, Dan Rosales addressed the Cultural Heritage Board (CHB) and informed the CHB the owners are a young couple and they have a need for a new rail that meets safety standards, especially for young children; that is why they are proposing this design to the CHB today. They feel that the contemporary glass rail is keeping with the spirit and style of the contemporary house.

Deliberation and Recommendation:

CHB Member Fernandez stated that the rail is incredibly significant, and the corner of the rail is a very important part of the home. He is in favor of keeping the rail and adding the glass panel either in front or behind. He also stated that the corner of the rail should remain, and the wall be held off the edge a bit to maintain the corner. CHB member Schafer is opposed to the wall but agrees with Staff's opinion on adding the glass. The CHB members discussed that maybe instead of the six-foot-tall stucco wall that the applicant make the wall opaque glass instead. The CHB members had concerns with the lack of details or structural information on how the glass wall would be attached and how the connection would affect the edge of the patio. CHB Member McCredie mentioned that he would be in favor of some type a panel that was more temporary. He also mentioned that containers and plants may be a better option to explore instead of the wall. Staff made a recommendation to table the item until the applicant could explore more options given the feedback from the CHB and allow the applicant to provide details and structural drawings for a subsequent submittal. CHB Member Schafer made a motion to table the item. CHB Member Fernandez Seconded the motion. [Motion passed 5-0].

10. REPORTS

7.a. Board Member Reports:

CHB Chair Blum updated the CHB the Oxnard Performing Arts Theater. He Also mentioned that there will be no home tour this fall. He also updated us on the bank building and that the City has encouraged the developers to look into adaptive reuse of the historic building. Nicole Doner has found information on the Building as well, there is now push to save to the 1974 era modern building.

CHB Member Mikkelsen: None

CHB Member McCredie: None

CHB Member Schafer: None

CHB Member Fernandez: None

7.b. CHB Program Updates from Staff:

Denice Thomas: Announced that CHB Member Englander has resigned from the CHB and will be moving to the East Coast.

Ashley Cook: None

11. NEXT MEETING

Ashley Cook announced the next regularly scheduled meeting is September 23, 2019.

12. ADJOURNMENT

At 3:42 p.m., the Cultural Heritage Board concurred to adjourn.



Gary Blum, Chair

ATTEST:

 *Dillian Murray for*

Denice Thomas, Cultural Heritage Program Manager

RECORDED AT THE REQUEST OF AND
RETURN TO:

COUNTY OF VENTURA
RMA-CODE COMPLIANCE DIVISION L#1750
800 S. Victoria Avenue
Ventura, CA 93009



20190924-00113908-0 1/2

Ventura County Clerk and Recorder

MARK A. LUNN

09/24/2019 09:55:43 AM

1519685 \$.00 CE

"NO FEE REQUIRED"

(GOVT. CODE SEC. 6103 & 27383)

Recorded for the benefit of the
County of Ventura

Authorized Signature

Space above this line for Recorder's Use



COUNTY OF VENTURA

Resource Management Agency

Code Compliance Division

800 South Victoria Avenue L#1750

Ventura, CA 93009

(805) 654-2463, 654-5177 FAX

NOTICE OF NONCOMPLIANCE

Violation Number: CV19-0100

Property Address: 2275 Aliso Canyon Road
Santa Paula, CA

Assessor's Parcel Number: 064-0-130-145

Property Owner: Billiwhack Ranch LLC
3048 N Coolidge Avenue
Los Angeles, CA 90039

Property owner as recorded in Document Number 20181220-00142641-0 of the Official Records of the County of Ventura as of December 20, 2018.

County of Ventura
Board of Supervisors Hearing
Exhibit 14 - Notice of
Noncompliance CV19-0100

The following violation(s) of the Ventura County Building Code and/or Non-coastal Zoning Ordinance Code and/or permit conditions have been identified in connection with the above described property.

Violation 1. Non-permitted modifications to the following structures:

- a) Caretaker dwelling (H2) - removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slab. The amount of work completed has exceeded the threshold of 50% of the walls and 50% of the floors. The legal non-conforming use of the structure as a caretaker dwelling has been lost.
- b) Two-story main residence (4) - removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).
- c) Caretaker dwelling (2) - non-permitted conversion of storage building to a caretaker dwelling unit and office.
- d) Pool area adjacent to ranch maintenance and storage building (1A) - large concrete pool/structure, empty and with no barrier.

The above are in violation of:

- Non-Coastal Zoning Ordinance section(s) 8101-3 General Prohibitions, 8105-1.3 & 8105-4 Residential Permitted Uses
- Ventura County Building Code section(s) 105.3 Failure to file application for permits, 105.1 Failure to obtain permits, 110.1 Failure to have work inspected.

The owner of record was notified in writing on June 25, 2019, of the County's intention to record a Notice of Noncompliance if the violations were not abated.

Pursuant to Section 116.2 of the Ventura County Building Code and/or Section 8114-3.6 of the Non-coastal Zoning Ordinance Code, the Code Compliance Director shall cause a release of Notice of Noncompliance to be recorded with the County Recorder when it is determined that the above noted violations, and any others that might exist, have been abated to the satisfaction of a Code Compliance Officer; the current fee for recordation of the Release of Notice of Noncompliance has been paid; and the County's costs incurred in the abatement of violations on the site (including interest and late charges) have been paid.

By: _____

COUNTY OF VENTURA
Doug Leeper, Director
Code Compliance Division

Date: _____

9-23-19

Zoning Clearance Correction Notice

Applicant Name: Everett Woody

General Plan: Agricultural

Applicant Phone: 805-452-2999

Area Plan Designation: N/A

Address: 2275 ALISO CYN RD

Legal Lot Status: PMW/Merger

Parcel: 0640130145

Lot area acres: 97.89

Zoning Clearance: ZC19-1390

Submittal Date: 12/19/2019

Zoning: AE-40 ac

Correction Notice Date: 12/20/2019

Project Description:

Zoning clearance to partially abate violation CV19-0100:

Scope of work includes the interior remodel of building #4.

Correction Notice:

On September 9, 2019 the Cultural Heritage Board formally denied a request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No.: CH19-0021). The scope of work found on this zoning clearance was also a portion of the scope tabled at the September 9 hearing. Therefore, this project cannot be approved until the project scope in whole is approved by the CHB or this project applies and is approved for a COA as an individual project. The internal remodel is subject to review as this site of merit contains architectural components found within the building.

The applicant was advised of the situation. An early-plan check memo was issued with this project. Original plans submitted were swapped with newest submittal (to VC Building & Safety).

County of Ventura
Board of Supervisors Hearing
Exhibit 15 - December 20,
2019 Correction Notice #1 for
ZC19-1390

NOTICE FOR THE DENIAL OF A ZONING CLEARANCE APPLICATION

April 14, 2020

Everett Woody
122 East Arrellaga Street
Santa Barbara, CA 93101

SUBJECT: Denial of a Zoning Clearance Applications
Case Numbers: ZC19-0684 & ZC19-1390
Address: 2275 Aliso Canyon Road
Assessor's Parcel Number (APNs): 064-0-130-145 & 064-0130-125

Dear Mr. Woody:

The Planning Division has reviewed your applications for Zoning Clearances to partially abate violation case no. CV19-0100 (case numbers ZC19-0684 and ZC19-1390) recorded against a property addressed as 2275 Aliso Canyon Road. The proposed project is located on a 97.73-acres property comprised of two Assessor Parcel Numbers (APN 064-0-130-145 & -125) located in the Agricultural Exclusive 40-acre minimum (AE-40 ac) zone and the Agricultural General Plan land use designation. The two assessor parcel numbers represent a single legal lot merged through Parcel Map Waiver no. 715.

The subject property is commonly known as the Billiwhack Ranch and was identified as a Site of Merit by the Western Santa Clara Valley Historic Resources Survey commissioned by the County of Ventura Resource Management Agency. The Billiwhack Ranch is a former cattle stock farm and dairy which is currently planted in citrus and avocado orchards. The California Department of Parks and Recreation approved the Western Santa Clara Valley Historic Resources Survey and it includes a District Record prepared by Judy Triem dated November 11, 1995 which evaluated the Billiwhack Ranch (Exhibit 1). The District Record identifies the subject property as having a National Register of Historic Places status code of "3D" (Exhibit 2) indicating that the site appears to be eligible for listing in the National Register through the California Office of Historic Preservation.

County of Ventura
Board of Supervisors
Hearing
Exhibit 16 - Notice of Denial
of Zoning Clearances



Violation case no. CV19-0100 includes the following: 1. the removal of all walls, plumbing, electrical, mechanical systems, and floors from a 2,646 square foot legal non-conforming dwelling; 2. the removal of interior walls, plumbing, electrical, and mechanical systems of a creamery building; 3. the conversion of a 4,564 square foot storage building to a dwelling and office; and 4. the maintenance of an unsafe drained swimming pool without security barriers.

Zoning Clearance ZC19-0684 was submitted on June 19, 2019 to partially abate violation case no. CV19-0100. The scope of the work includes: 1. reconstructing the 2,646 square foot legal non-conforming "caretaker dwelling" that had all the walls and floors removed (labeled Building H2 on plans); 2. Interior remodeling and repairing of the creamery building as a 17,310 square foot "main residence" (Building 4 on plans); 3. remodeling a 4,564 square foot "caretaker dwelling" (Building 2 on plans); and 4. remodeling a 2,385 square foot "guest house" (Building H1 on plans). In addition to these buildings, the submitted plans illustrate six other existing agricultural buildings (Buildings 1A, 1, 3, 5, 6, and Hammer Mill Barn) and three grain silos, all of which are not part of the violation case (Exhibit 3). Zoning Clearance ZC19-1390 was submitted on December 19, 2019 to separate the interior remodel of the creamery building as a 17,310 square foot "main residence", listed as scope of work item no 2 in ZC19-0684 above (Exhibit 4). The site plan submitted with ZC19-1390 matches the site plan that was submitted with ZC19-0684.

Both plans submitted with ZC19-0684 and ZC19-1390 indicate that the property is developed with four dwellings, six agricultural accessory buildings (totally 39,060 square feet), three grain silos, and is planted with 82.50 acres of crops. However, building permits, assessor records (Exhibit 5), and the California Department of Parks and Recreation District Record (Exhibit 2) confirm that the property was developed with two dwellings (Buildings H1 and H2), a large creamery building (Building 4), eight agricultural buildings, and three grain silos. The demolition of all the walls and the floor of Building H2 is part violation case no. CV19-0100, therefore one dwelling of approximately 2,385 square feet (Building H1) remains on the property. As the only legal dwelling on the property, the Planning Division can only determine this to be the principal dwelling. In addition, measurements made using 2019 aerial photographs of the property show that approximately 56-acres of the property are planted in orchards, contradicting the 82.50 acres indicated on the plans. The amount of acreage planted in orchards is important in determining how many farmworker dwelling units the property qualifies for.

After careful review of the application materials, it has been determined that the project requested in ZC19-0684 and ZC19-1390 cannot be approved through a Zoning Clearance because the scope of work in both requests are inconsistent with the Nonconformities and Substandard Lot provisions related to rebuilding a nonconforming structure voluntarily removed, damaged, or destroyed (Article 13, section 8113-6.1.2 of the Non-Coastal Zoning Ordinance) and the standards to issue a zoning clearance (Article 11, section 8111-1.1.1.b).

Specifically, the number and size of dwellings proposed do not comply with the standards of the Ventura County Zoning Ordinance (section 8111-1.1.1.b(1)), the scope of work includes remodeling a historic dwelling on the property which is not part of the existing violation and this work is not necessary to abate a violation (section 8111-1.1.1.b(4)), and as an eligible Cultural Heritage Site, the project has not been issued a Certificate of Appropriateness from the Cultural Heritage Board (section 8111-1.1.1.b(10)).

The following clarifies why each the four items that were submitted as a scope of work with Zoning Clearance no. ZC19-0684 and ZC19-1390 are denied:

1. All walls and floors have been removed from this 2,646 square foot dwelling (Building H2), therefore it has lost its nonconforming status pursuant to section 8113-6.1.2 (Destruction of Uses Not Amortized). With the walls and floor demolished (Exhibit 6) this farmworker dwelling can only be reconstructed if every portion of the building conforms to the regulations of the AE zone. With the existing principal dwelling on the property (Building H1) and approximately 56 acres in orchards, pursuant to section 8105-4 (Permitted Uses in the Open Space, Agricultural, Residential and Special Purpose Zone) and section 8107-26 (Farmworker and Animal Caretaker Dwelling Units) the site qualifies for one farmworker dwelling with a maximum size of 1,800 square feet. The request to reconstruct Building H2 is denied because the proposed farmworker dwelling is too large. Pursuant to section 8105-4 (Permitted Uses in the Open Space, Agricultural, Residential and Special Purpose Zone) and section 8107-26 (Farmworker and Animal Caretaker Dwelling Units) a Conditional Use Permit for a farmworker dwelling exceeding 1,800 square feet may be applied for. The approval would only be granted for compelling reasons. Future project descriptions and scope of work may be redesigned that could comply with the Ventura County Non-Coastal Zoning Ordinance.
2. It has been confirmed that the creamery building (Building 4) is not a dwelling, therefore all permitting of this structure will be treated as the conversion of an agricultural building to a single-family dwelling, not a remodel of a single-family dwelling. Pursuant to sections 8105-4 (Permitted Uses in the Open

Space, Agricultural, Residential and Special Purpose Zone) and 8107-1.7 (Accessory Dwelling Units), an accessory dwelling unit on an AE Zone property over 10 acres can be no larger than 1,800 square feet. In order to convert the creamery building to the principal dwelling, the existing 2,385 square foot principal dwelling on the property (Building H1) would have to be designated as an accessory dwelling unit. The request to convert the creamery to the principal dwelling and utilize the existing dwelling as an accessory dwelling unit is denied because Building H1 is too large to be designated as an accessory dwelling unit. In addition, the plans submitted for both ZC19-0684 and ZC19-1390 indicate that only interior remodeling is needed to convert the creamery building to a single-family dwelling. Photographs taken as part of the violation case no. CV19-0100 investigation and submitted to the Planning Division show that numerous doors and windows, including framing, must be replaced to make the creamery building habitable (Exhibit 7). The full scope of work to make the creamery habitable as a dwelling must be accurately detailed in any future permit application. However, in order to make the necessary findings to approve any work to this building the full scope of work must be reviewed by the Cultural Heritage Board and a Certificate of Appropriateness must be issued (section 8111-1.1.1.b(10)).

3. Building permits, assessor records (Exhibit 5), and the California Department of Parks and Recreation District Record (Exhibit 1) confirm that Building 2 is a historic barn and has never been a legal dwelling. The request, ZC19-0684, to treat this 4,564 square foot barn like an existing legal nonconforming caretaker dwelling and "remodel" it is denied because the Planning Division determined the conversion of a barn in a nonresidential zone (AE) to a dwelling is not allowed because the barn is too large to be an accessory dwelling (section 8107-1.7) or a farmworker dwelling (section 8107-26). In order to make the necessary findings to approve any future permit application for work to this building, the full scope of work must be reviewed by the Cultural Heritage Board and a Certificate of Appropriateness must be issued (section 8111-1.1.1.b(10)).
4. The remodeling of Building H1 cannot be approved because it was not part of the confirmed violation case CV19-0100. Pursuant to section 8111-1.1.1.b(4), a Zoning Clearance can not be issued on a lot where a violation exists, unless the Zoning Clearance is necessary for the abatement of the existing violation. A Zoning Clearance cannot be approved to remodel this dwelling until all the violations identified in violation case CV19-0100 have been addressed. In addition, the full scope of work for the remodel must be accurately detailed in the request as the plans to do not clarify what work is proposed in this building. Any scope of work proposed for this building must

be reviewed by the Cultural Heritage Board staff to determine if a Certificate of Appropriateness is required (section 8111-1.1.1.b(10)).

As originally communicated to you through a Correction Notice issued on July, 9 2019, a Historic Resources Report is required for the entire scope of work detailed in Zoning Clearance nos. ZC19-0684 and ZC19-1390. Given the historic significance of the site, a full scope of work to address all of your development objectives must be submitted to the Planning Division for review and Certificate of Appropriateness must be issued by the Cultural Heritage Board to approve any aspect of the project.

On July 24, 2019, a Cultural Heritage Board Certificate of Appropriateness application was submitted without a Historic Resources Report prepared by a qualified historian. The Board considered the project without information prepared by a qualified historian on August 12, 2020 and continued the item. On September 9, 2019, the Cultural Heritage Board denied the request for a Certificate of Appropriateness after the applicant failed again to provide information prepared by a qualified historian.

In summary, the decision to deny the Zone Clearance applications is based upon the inability to make a finding for consistency with the nonconforming provisions and make all necessary findings for a Zoning Clearance issuance, specifically Noncoastal Zoning Ordinance sections 8111-1.1.1.b(1), 8111-1.1.1.b(4), and 8111-1.1.1.b(10). That is the proposed development is:

1. not permissible under the present zoning on the land and does not comply with the standards of Division 8, Chapter 1 and 2 of the Ordinance Code;
2. a violation exists on the site and (in the case of the principal dwelling remodel) the Zoning Clearance is not being issued to abate a violation; and,
3. because the site is a potential Cultural Heritage Site a Certificate of Appropriateness has not been issued.

On March 16, 2020, the County Planning Division, Building & Safety, and Code Enforcement held a coordination meeting with the applicant team. Staff specifically asked, twice, for the property owner to be in attendance or by conference call to ensure the permitting challenges could be discussed fully. This attendance did not happen which is unfortunate. Trying to solve for unpermitted construction activities, resolve the violations, and attempt to address the land use desires of the property owner is challenging. Further consideration by the applicant team with a revised project description and filing of new permit applications will be necessary. Once your revised project description can be defined, County staff can advise you which permit applications will be necessary to file.

By April 24, 2020 (i.e., within 10 calendar days after the Planning Director's determination, after accounting for weekends and holidays), any aggrieved person may file an appeal of this determination with the Planning Division. Appeals must be accompanied by the appropriate fee, appeal form, and reimbursement agreement. Appeal forms are available on-line at <https://vcrma.org/appeals>. If an appeal is filed, the Planning Division shall then set a hearing date before the Planning Commission for review (NCZO, section 8111-7.1).

The effective date of this decision is March 14, 2020, unless an appeal is filed within the specified appeal period. If you have any questions about this letter, please contact Winston Wright at 805-654-2468 or winston.wright@ventura.org.

Sincerely,

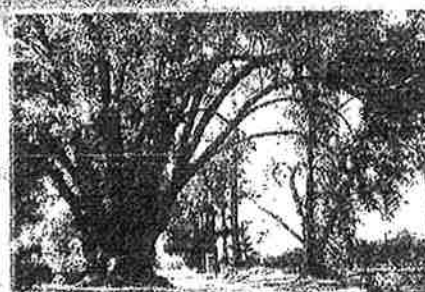
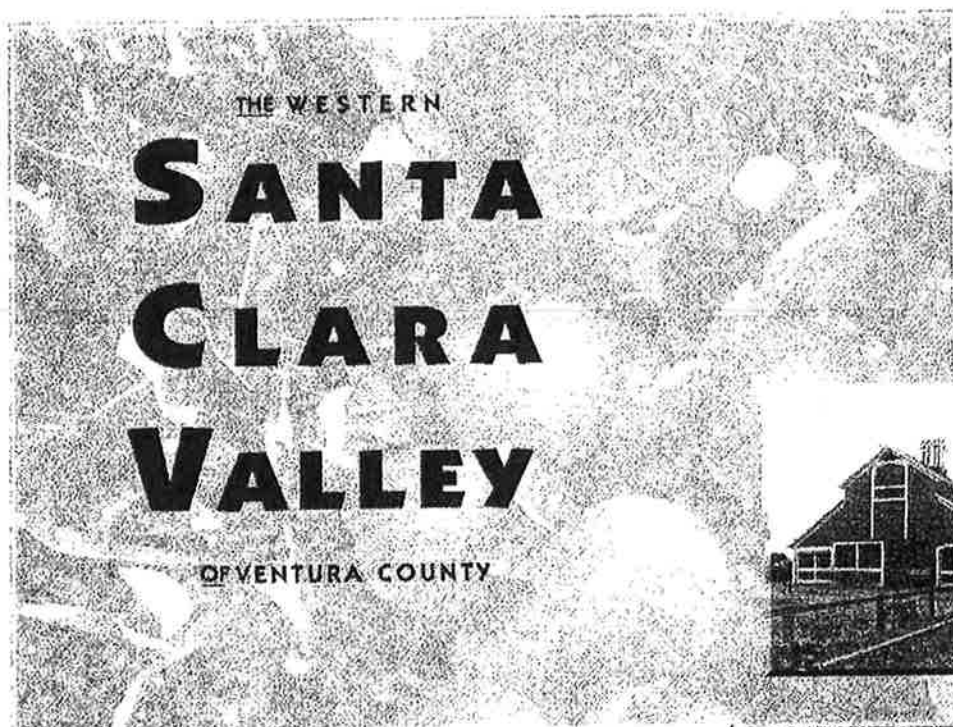
A handwritten signature in dark ink, appearing to read "Dave Ward", is written over a horizontal line.

Dave Ward, AICP
Planning Director
Ventura County Planning Division

c: Billiwhack Ranch LLC, 3048 North Coolidge Avenue, Los Angeles, CA 90039
Case file

Exhibits:

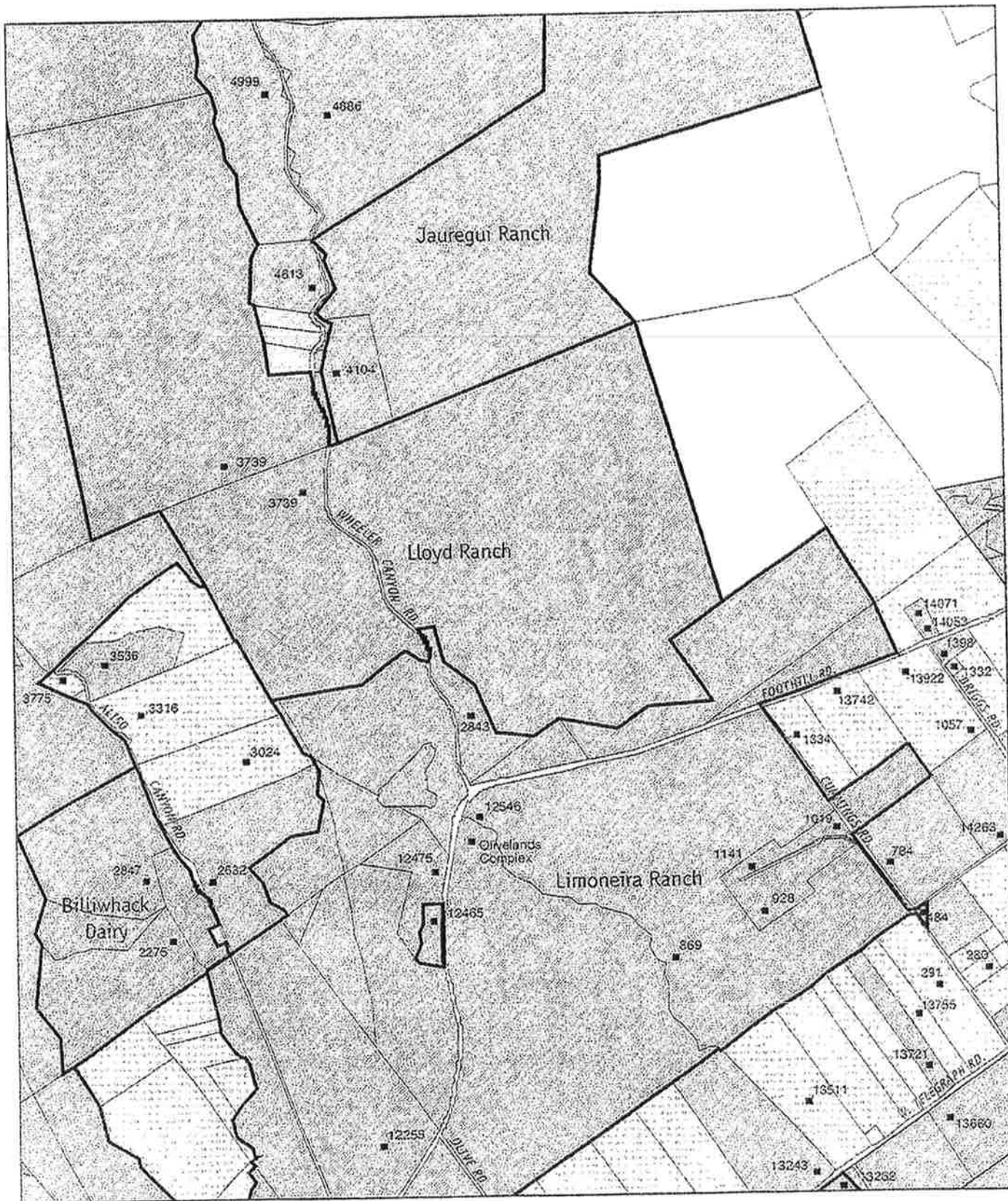
1. Historic Resources Survey District Record dated November 11, 1995
2. California Historical Resource Status Codes
3. Billiwhack Ranch Renovation (ZC19-0684 Plans)
4. Billiwhack Ranch Main Residence Remodel (ZC19-1390 Plans)
5. Assessor Records
6. Photos of Building 2 Demolition
7. Photos of Creamery with no Windows or Doors







**HISTORIC
RESOURCES
SURVEY**

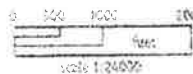
VENTURA COUNTY
CULTURAL HERITAGE
SURVEY PHASE V





-  Contributing Agricultural Parcels, with contributing building(s)
-  Contributing Agricultural Parcels, unimproved or with non-contributing buildings
-  Non-contributing Parcels
-  Not in Survey Area

Santa Clara Valley
of Ventura County
HISTORIC RESOURCES SURVEY



No.	Dir.	Street	Resource Name	Other ID	NRHP Status Code	Land-mark Status
			Santa Paula Oil Field		4S2	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Cow stables	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Creamery building	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Milk barn	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Hammermill	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Milker's Dormitory	3D	
2275		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Silos	3D	
2632		Aliso Canyon Road	Oliver T. Fitzpatrick Ranch	Faxton Ranch	3D	
2632		Aliso Canyon Road	Fitzpatrick Ranch	Faxton Ranch	3D	
2847		Aliso Canyon Road	Billiwhack Stock Farm & Dairy	Manager's Residence	3D	
3536		Aliso Canyon Road	Marriott Ranch		3D	eligible
4215		Aliso Canyon Road	Hobson Brothers Ranch		3D	
201		Anacapa Terrace	Leslie T. Sharp Ranch	Rancho Filoso	3D	eligible
1057		Briggs Road	E.E. Gerry Residence		3D	
1332		Briggs Road	Wilde Ranch		3D [land]	
1398		Briggs Road	Mary & Albert Thille Ranch		3D	
484		Cummings Road	Limoneira Ranch	Olivelands pump station	3D	
784		Cummings Road	Jefferson Crane Ranch	J.L. Crane Residence	3D	
869		Cummings Road	Limoneira Ranch	Camp 100 (farmworker's cottages #101-129)	3D	
928		Cummings Road	Limoneira Ranch	928 Cummings Rd. - P 1-10	3D	
1019		Cummings Road	Limoneira Ranch	1019 Cummings Road - C37 - employee's residence	3D	
1019		Cummings Road	Limoneira Ranch	Employee Residence Court	3B	
1141		Cummings Road	Limoneira Ranch	Residence #6, Limoneira Credit Union	3D	
1141		Cummings Road	Limoneira Ranch	Residence #5	3D	
1141		Cummings Road	Limoneira Ranch	Residence #4	3D	
1141		Cummings Road	Limoneira Ranch	Residence #3	3D	
1141		Cummings Road	Limoneira Ranch	Residence #2	3D	
1141		Cummings Road	Limoneira Ranch	Residence #1	3D	
1141		Cummings Road	Limoneira Ranch	Residence #24	3D	
1141		Cummings Road	Limoneira Ranch	Main office	3B	eligible

DISTRICT RECORD

Primary # _____

HRI # _____

Trinomial _____

Page 1 of 11

NRHP Status Code

3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

D1. Historic Name: *Billiwhack Stock Farm & Dairy*

D2. Common Name: *Billiwhack Ranch*

D3. **Detailed Description** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.):

The former stock farm/dairy complex is composed of silos, dairy barns, milking barns, creamery and employee houses. Two roads lead up the gently sloping hillside to a large terraced area containing the once-operating dairy buildings. Today these buildings function as offices and storage for the citrus operation on the surrounding 70 acre parcel. All of the buildings are built of reinforced concrete and are tile lined. Located in a long row, on the east side of the road, from south to north, are three dairy barns, a creamery building (milk processing), a milking barn, and second dairy barn. To the east of this barn is a milker's dormitory. West of the buildings, against the hillside, are three large hollow clay tile silos and a concrete building that housed a hammer mill. In the center of this large flat area originally stood a large number of open-sided livestock feeding sheds, measuring approximately 20 by 60 feet. A two-story dormitory for the employees has also been demolished and only the underground parking area remains. A small office building is located adjacent to the parking area.

D4. **Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

The Billiwhack Ranch is bounded on the east by ranch property and Aliso Canyon Road and by agricultural lands on the north, west and south.

D5. **Boundary Justification:**

The boundary of the nominated property is the present 70 acres owned by the Held Family, and another parcel that includes the original dairy manager's residence. This site includes all of the original dairy buildings and structures and the acreage of the original Billiwhack property.

D6. **Significance: Theme agriculture**

Area Santa Clara Valley

Period of Significance 1925-1943

Applicable Criteria A & C

Discuss district's importance in terms of its

historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built by August Rubel between 1925 and 1934. A number of smaller family dairies were established in the area between 1920 and 1950, including the Orr Family's Orange Grove Dairy and the Golden State Dairy operated by the Lindsey Family, and later by the Pinkerton family. However, no other dairy compared in size to the Billiwhack Stock Farm & Dairy and its "state of the art" buildings. [Continued]

D7. **References** (Give full citations including the names and addresses of any informants, where possible.):

Sheridan, History of Ventura County, Vol.II, 1926, p. 484.

Interview with Craig Held, 11/10/95

Ventura County Star Free Press, 7/18/36; 6/17/76

Oxnard Daily Courier, 6/15/26; 6/14/34

D8. **Evaluator: Judy Triem**

Date: 11/15/95

Affiliation and Address: 627 E. Pleasant Street, Santa Paula, CA 93060

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 2 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

Recorded by: *Judy Triem/San Buenaventura Research Assoc.*

Date *11/3/95*

☒ Continuation ☐ Update

D.6 (Significance)

A native of Zurich, Switzerland, August Rubel arrived in Ventura County in 1922, after graduation from Harvard at the age of twenty-three. He and his wife Mary Colgate McIsaac purchased approximately 240 acres of land in Aliso Canyon with the intent of establishing a dairy. Rubel hired Oxnard contractor Adolph Schroeder to construct the dairy buildings. The designer is unknown.

From the start, Rubel envisioned a "state of the art" dairy, including the most advanced buildings and techniques available, and had also purchased the finest holstein herd he could afford. The herd included "Prince Aggie," a prize bull from Thomas Bard's Berylwood Ranch near Port Hueneme. Prince Aggie was an undefeated California champion and "the highest yearly record butter bull in the world for his seven nearest dams."

In 1926 Prince Aggie died unexpectedly at the height of his career. The loss proved disastrous for Rubel, who sold the dairy in 1928 to Ben and Sam Fratin, operators of the Valley Dairy Company of Los Angeles and El Monte, one of the largest dairy producing companies in the Los Angeles area. The unfinished buildings were not completed until 1934. Billiwhack operated as a dairy from 1934 until about 1943. In 1969 it was purchased by its present owners and is now a citrus ranch. The former dairy buildings are used for storage and various other agricultural related uses.

State of California —The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # _____

HRI # _____

Trinomial _____

Page 3 of 11

*Resource Name (assigned by recorder) Billiwhack Stock Farm & Dairy

Drawn By: Saticoy USGS 7.5 minute quad, 1951, with assessor parcel overlay.

*Date: 7/17/96



PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 4 of 11

Resource Name or #: (Assigned by recorder) Billiwhack Stock Farm & Dairy

P1. Other Identifier: Cow stables

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Ventura

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Saticoy Date 1951 T ; R ; 1/4 of 1/4 of Sec : B.M.

c. Address: 2275 Aliso Canyon Road City Santa Paula Zip 93060

d. UTM: (Give more than one for large and/linear resources) 11 ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. 64-130-12/14

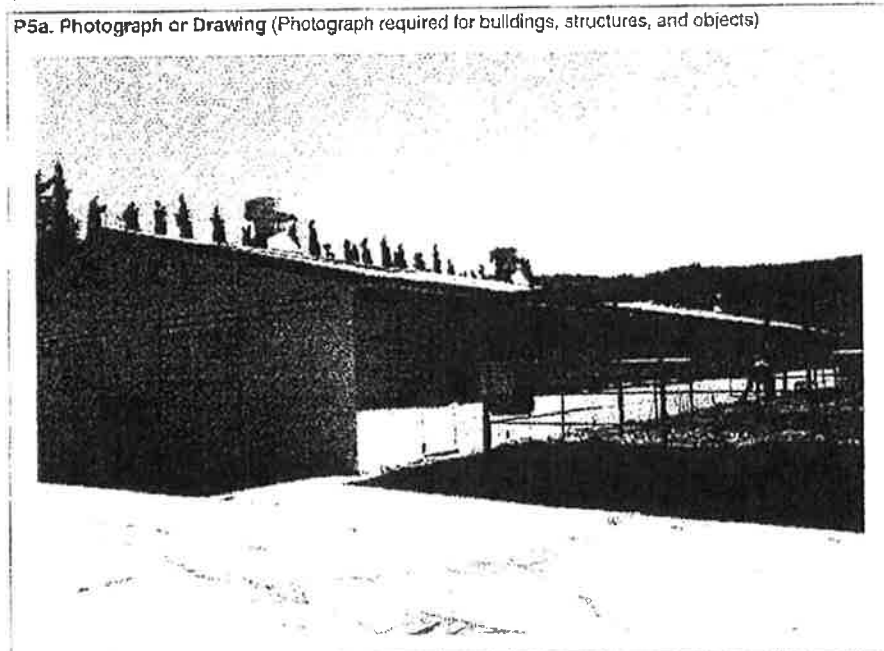
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Four identical buildings were used to house the dairy herd. These long narrow buildings, constructed of concrete, have low gable roofs with overhanging eaves. The low concrete ceilings are supported with metal trusses. The floors have a patterned tile with drains. Each animal had its own stall with a small window and door leading to the corrals. The corrals have been removed, except for one at the north end between the milking barn and the feed shed. Two sets of double doors on tracks are located at each end of the building. Three of the sheds remain fairly unaltered, but in the process of converting one shed to an office, some doors and windows were enclosed.

P3b. Resource Attributes: (List attributes and codes) HP33 - Farm/ranch

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Cow stable, southwest elevation, 7/07/95 #1020

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1924-1934-E

P7. Owner and Address

Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060

P8. Recorded by: (Name, affiliation, and address)

Judy Trien/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009

P9. Date Recorded: 11/16/95

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings
Review Code _____ Reviewer _____ Date _____

Page 5 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Creamery building*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; _____ mE/ _____ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

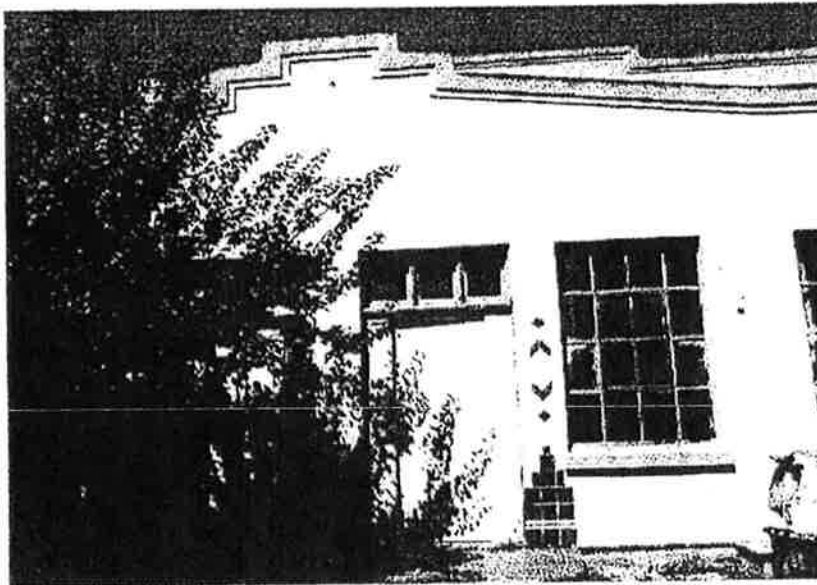
This is the most elaborately designed of the dairy buildings due to the use of tile and stenciling. The poured-in-place concrete building has an irregular plan with a series of interconnecting wings of both one and two stories. A small hipped roof tower topped with a pole is located in the center of the two-story portion of the building. The flat roofs on each section have raised parapets with decorative raised stepped parapets along some of the elevations, especially the eastern elevation, adjacent to the original access road. Tilework set in geometric patterns are located at either side of the two entrances. Decorative classical designs are found above the pilasters on either side of the door. Above the door are three small transom windows. The building has numerous steel multi-paned windows with concrete sills varying in size from four to sixteen panes. The walls at the western end of the building have been damaged from water leakage. Several windows have been broken and some openings are boarded up. This building is in poor condition. The interior is unique because of the stenciled ceiling, skylights and the heavy use of tile both on walls and floors. The second floor is a mezzanine.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Creamery, east elevation, 7/07/95#1018



P6. Date Constructed/Age and Source
☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)
Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 6 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milk barn*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements, include design, materials, condition, alterations, size, setting, and boundaries)

The milk barn has a two-story center section with a low pitched gable roof and overhanging eaves. Rows of multi-paned windows run along the entire length and width of the concrete building. A long, sloping shed roof extends from each side creating the one story section. Several multi-paned doors on tracks are located across the west end of the building. Groups of windows are also found on the one story portion of the building. The building has retained its design integrity, but is in only fair condition.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Milk barn, southwest elevation, 7/07/95, #1021

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triam/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/3/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____ 3D

Other Listings
Review Code _____ Reviewer _____ Date _____

Page 7 of 11

Resource Name or #: (Assigned by recorder) Billiwhack Stock Farm & Dairy

P1. Other Identifier: Hammermill

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Ventura
and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad Satcoy Date 1951 T ; R ; 1/4 of 1/4 of Sec ; B.M.
c. Address: 2275 Aliso Canyon Road City Santa Paula Zip 93060
d. UTM: (Give more than one for large and/linear resources) 11 ; mE/ mN
e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. 64-130-12/14

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This unusual building is constructed of concrete and built into the hillside, virtually in the manner of a bunker. The front or eastern elevation is divided into three bays with large multi-paned windows divided by concrete posts that have two windows in the center forming an H-shape. Concrete steps ascend on either side of the building and the top has a flat projecting roof. This building housed the hammermill, a special type of mill that separated silage from grain. This silage was then stored in the adjacent silos.

P3b. Resource Attributes: (List attributes and codes) HP33 - Farm/ranch

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Hammermill, east elevation, 7/07/95, #1010

P6. Date Constructed/Age and Source

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060

P8. Recorded by: (Name, affiliation, and address)

Judy Thern/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009

P9. Date Recorded: 11/16/95

P10. Survey Type: (Describe)
Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

3D

Other Listings _____

Review Code _____ Reviewer _____

Date _____

Page 8 of 11

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

P1. Other Identifier: *Milker's Dormitory*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This long, narrow building is one-story in height with a low-pitched gable roof covered with clay tile. The wide eaves are open. The wide windows have wood sashes and wood casings. The building is covered with smooth stucco finish. A shed roof extends from the west side of the building to form a carport. This building once served as a dormitory for the milkers who worked at the dairy. It now serves as a single family residence.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Milker's dormitory, southwest elevation, 7/07/97, #1019

P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D
Other Listings
Review Code _____ Reviewer _____ Date _____

Page 9 of 11

Resource Name or #: (Assigned by recorder) *Billwhack Stock Farm & Dairy*

P1. Other Identifier: *Silos*

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County *Ventura*

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad *Saticoy* Date *1951* T ; R ; 1/4 of 1/4 of Sec : B.M

c. Address: *2275 Aliso Canyon Road* City *Santa Paula* Zip *93060*

d. UTM: (Give more than one for large and/linear resources) *11* ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. *64-130-12/14*

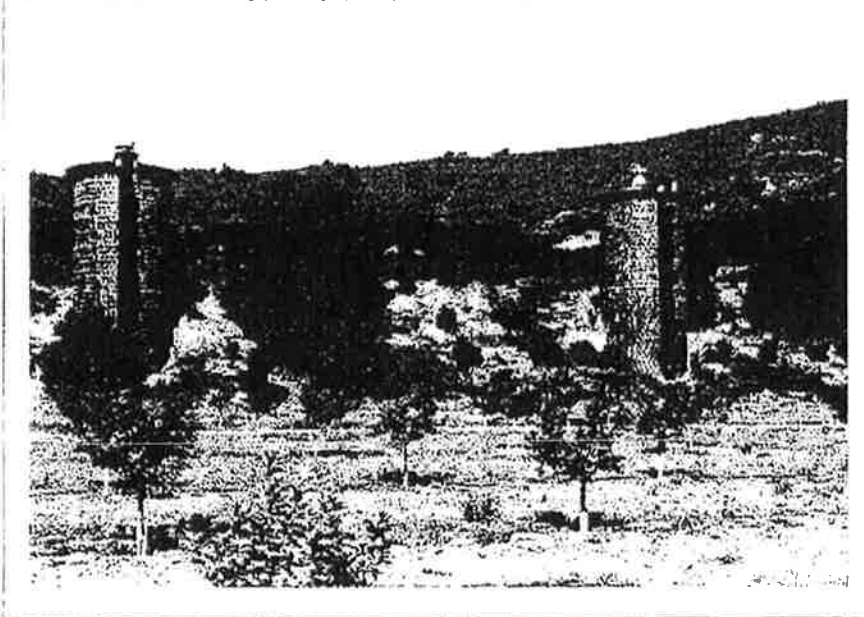
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Three identical silos are located immediately to the south of the hammermill building. The silos are round in plan, are built of hollow clay tile blocks, and are between thirty to forty feet in height. They were used to store the silage produced by the hammermill. The silage was then transferred to the feed sheds that once stood in the large open area just east of the silos. This area is now planted in citrus.

P3b. Resource Attributes: (List attributes and codes) *HP33 - Farm/ranch*

P4. Resources Present ☐ Building ☒ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P5b. Description of Photo: (View, date, accession #)
Silos, east elevation, 7/07/95, #1009

P6. Date Constructed/Age and Sources

☐ Prehistoric ☒ Historic ☐ Both

1925-1934-E

P7. Owner and Address

*Held Family Trust
2275 Aliso Canyon Road
Santa Paula, CA 93060*

P8. Recorded by: (Name, affiliation, and address)

*Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009*

P9. Date Recorded: *11/16/95*

P10. Survey Type: (Describe)
Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☐ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3D

Other Listings

Review Code _____ Reviewer _____ Date _____

Page 10 of 11

Resource Name or #: (Assigned by recorder) Billwhack Stock Farm & Dairy

P1. Other Identifier: Manager's Residence

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Ventura

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad Salicoy Date 1951 T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 2847 Aliso Canyon Road City Santa Paula Zip 93060

d. UTM: (Give more than one for large and/linear resources) 11 ; mE/ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Parcel No. 54-130-13

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This English Tudor style residence with an irregular plan has a main one and one-half story portion with a wing extending on the northeast side. Covered with slate, the steep pitched hip roof is broken by a hipped dormer window centered over the front porch and a tall corbelled brick chimney to the north. The eaves are open and very shallow with exposed rafter tails. A pergola with a turned balustrade extends across the front of the porch. The front door has two windows in the upper portion with two panels in the lower half. Multi-paned wood casement and fixed windows are located throughout the house except for the front wing whose windows are fixed. This wing was originally the garage. The upstairs dormer was also added later. The house is covered with stucco siding and wide shiplap and rests on a concrete perimeter foundation. It is in excellent condition.

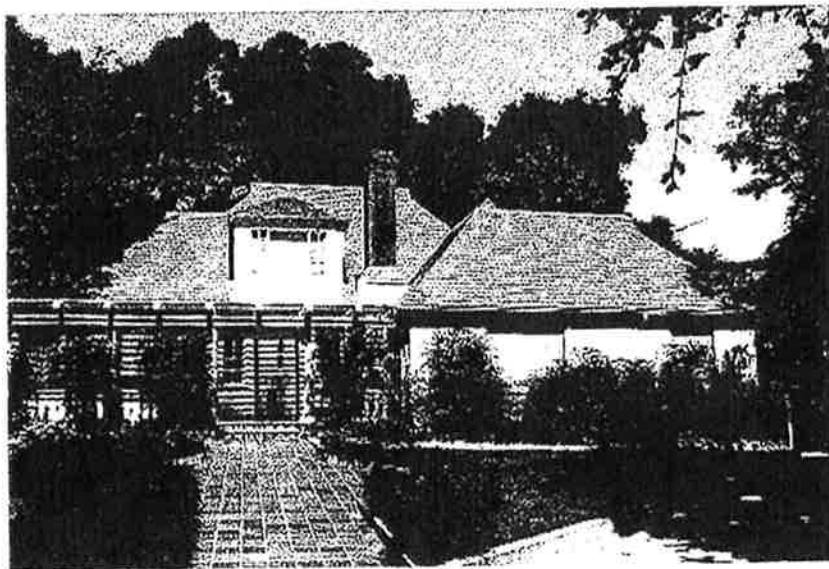
The house is located at the end of a long dirt road that curves to the north at the top of the low hill and enters the formally landscaped setting with a large yard area with many shrubs and ornamental trees. A stucco wall with decorative tile and wrought iron inserts extends across the edge of the hill adjacent to the driveway. The lot is narrow with the hillside closing near the rear of the house. At the rear is a small one-story building, known as the "poker room" built into the hillside during the 1940s. A new garage has been added at the end of the driveway. The 90 acre ranch is planted in citrus trees.

P3b. Resource Attributes: (List attributes and codes) HP2 - Single Family Property HP33 - Farm/ranch

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Residence, east elevation, 7/07/95; #1024



P6. Date Constructed/Age and Sources:
☐ Prehistoric ☒ Historic ☐ Both

1926-E

P7. Owner and Address

Jim Williams
2847 Aliso Canyon Road
Santa Paula, CA 93060

P8. Recorded by: (Name, affiliation, and address)

Judy Triem/San Buenaventura Research Assoc.
Ventura County Cultural Heritage Board
800 S. Victoria Ave.
Ventura, CA 93009

P9. Date Recorded: 11/5/95

P10. Survey Type: (Describe)

Intensive

P11. Report Citation: (Cite survey report and other sources, or enter "none")

San Buenaventura Research Associates, 1996, West Santa Clara Valley Cultural Heritage Survey, Phase V. General Services Administration

Attachments ☐ NONE ☐ Continuation Sheet ☒ District Record ☐ Rock Art Record ☐ Other: (List)
☐ Location Map ☒ Building, Structure, and Object Record ☐ Linear Feature Record ☐ Artifact Record
☒ Sketch Map ☐ Archaeological Record ☐ Milling Station Record ☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____
HRI # _____

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NRHP Status Code 3D

Resource Name or #: (Assigned by recorder) *Billiwhack Stock Farm & Dairy*

B1. Historic Name: *Billiwhack Dairy-manager's residence*

B2. Common Name:

B3. Original Use: *residence*

B4. Present Use: *same*

B5. Architectural Style: *English tudor*

B6. Construction History: (Construction date, alterations, and date of alterations)
1926 - main house; game room- 1940s

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

B8. Related Features: *garage, small game room*

B9a. Architect: *Roy Wilson*

b. Builder: *unknown*

B10. Significance: Theme: *Agriculture*

Area: *West Santa Clara Valley*

Period of Significance: *1925-1943*

Property Type: *ranch buildings*

Applicable Criteria: *A, C*

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

This house is significant for its association with the Billiwhack Dairy. It was built by August Rubel to house the manager of the dairy. It was designed by local architect Roy Wilson. The Billiwhack Stock Farm and Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built between 1925 and 1934 by August Rubel. The house and grounds have retained a great deal of their original integrity of design and setting.

B11. Additional Resource Attributes: (List attributes and codes)

HP2 - Single Family Property

HP33 - Farm/ranch

B12. References:

Interview with Jim Williams, 4/21/95

B13. Remarks:

B14. Evaluator: *Judy Triem*

Date of Evaluation: *11/15/95*

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

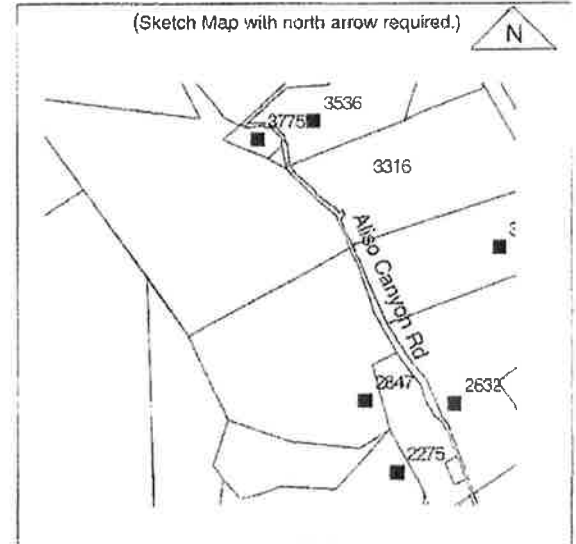


Exhibit 2

California Historical Resource Status Codes

1 Properties listed in the National Register (NR) or the California Register (CR)

- 1D Contributor to a district or multiple resource property listed in NR by the Keeper. Listed in the CR.
- 1S Individual property listed in NR by the Keeper. Listed in the CR.
- 1CD Listed in the CR as a contributor to a district or multiple resource property by the SHRC
- 1CS Listed in the CR as individual property by the SHRC.
- 1CL Automatically listed in the California Register – Includes State Historical Landmarks 770 and above and Points of Historical Interest nominated after December 1997 and recommended for listing by the SHRC.

2 Properties determined eligible for listing in the National Register (NR) or the California Register (CR)

- 2B Determined eligible for NR as an individual property and as a contributor to an eligible district in a federal regulatory process. Listed in the CR.
- 2D Contributor to a district determined eligible for NR by the Keeper. Listed in the CR.
- 2D2 Contributor to a district determined eligible for NR by consensus through Section 106 process. Listed in the CR.
- 2D3 Contributor to a district determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2D4 Contributor to a district determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.
- 2S Individual property determined eligible for NR by the Keeper. Listed in the CR.
- 2S2 Individual property determined eligible for NR by a consensus through Section 106 process. Listed in the CR.
- 2S3 Individual property determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2S4 Individual property determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.
- 2CB Determined eligible for CR as an individual property and as a contributor to an eligible district by the SHRC.
- 2CD Contributor to a district determined eligible for listing in the CR by the SHRC.
- 2CS Individual property determined eligible for listing in the CR by the SHRC.

3 Appears eligible for National Register (NR) or California Register (CR) through Survey Evaluation

- 3B Appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation.
- 3D Appears eligible for NR as a contributor to a NR eligible district through survey evaluation.
- 3S Appears eligible for NR as an individual property through survey evaluation.
- 3CB Appears eligible for CR both individually and as a contributor to a CR eligible district through a survey evaluation.
- 3CD Appears eligible for CR as a contributor to a CR eligible district through a survey evaluation.
- 3CS Appears eligible for CR as an individual property through survey evaluation.

4 Appears eligible for National Register (NR) or California Register (CR) through other evaluation

- 4CM Master List - State Owned Properties – PRC §5024.

5 Properties Recognized as Historically Significant by Local Government

- 5D1 Contributor to a district that is listed or designated locally.
- 5D2 Contributor to a district that is eligible for local listing or designation.
- 5D3 Appears to be a contributor to a district that appears eligible for local listing or designation through survey evaluation.
- 5S1 Individual property that is listed or designated locally.
- 5S2 Individual property that is eligible for local listing or designation.
- 5S3 Appears to be individually eligible for local listing or designation through survey evaluation.
- 5B Locally significant both individually (listed, eligible, or appears eligible) and as a contributor to a district that is locally listed, designated, determined eligible or appears eligible through survey evaluation.

6 Not Eligible for Listing or Designation as specified

- 6C Determined ineligible for or removed from California Register by SHRC.
- 6J Landmarks or Points of Interest found ineligible for designation by SHRC.
- 6L Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.
- 6T Determined ineligible for NR through Part I Tax Certification process.
- 6U Determined ineligible for NR pursuant to Section 106 without review by SHPO.
- 6W Removed from NR by the Keeper.
- 6X Determined ineligible for the NR by SHRC or Keeper.
- 6Y Determined ineligible for NR by consensus through Section 106 process – Not evaluated for CR or Local Listing.
- 6Z Found ineligible for NR, CR or Local designation through survey evaluation.

7 Not Evaluated for National Register (NR) or California Register (CR) or Needs Revaluation

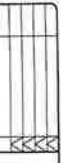
- 7J Received by OHP for evaluation or action but not yet evaluated.
- 7K Resubmitted to OHP for action but not reevaluated.
- 7L State Historical Landmarks 1-769 and Points of Historical Interest designated prior to January 1998 – Needs to be reevaluated using current standards.
- 7M Submitted to OHP but not evaluated - referred to NPS.
- 7N Needs to be reevaluated (Formerly NR Status Code 4)
- 7N1 Needs to be reevaluated (Formerly NR SC4) – may become eligible for NR w/restoration or when meets other specific conditions.
- 7R Identified in Reconnaissance Level Survey: Not evaluated.
- 7W Submitted to OHP for action – withdrawn.

Exhibit 3

BILLIWHACK RANCH RENOVATION

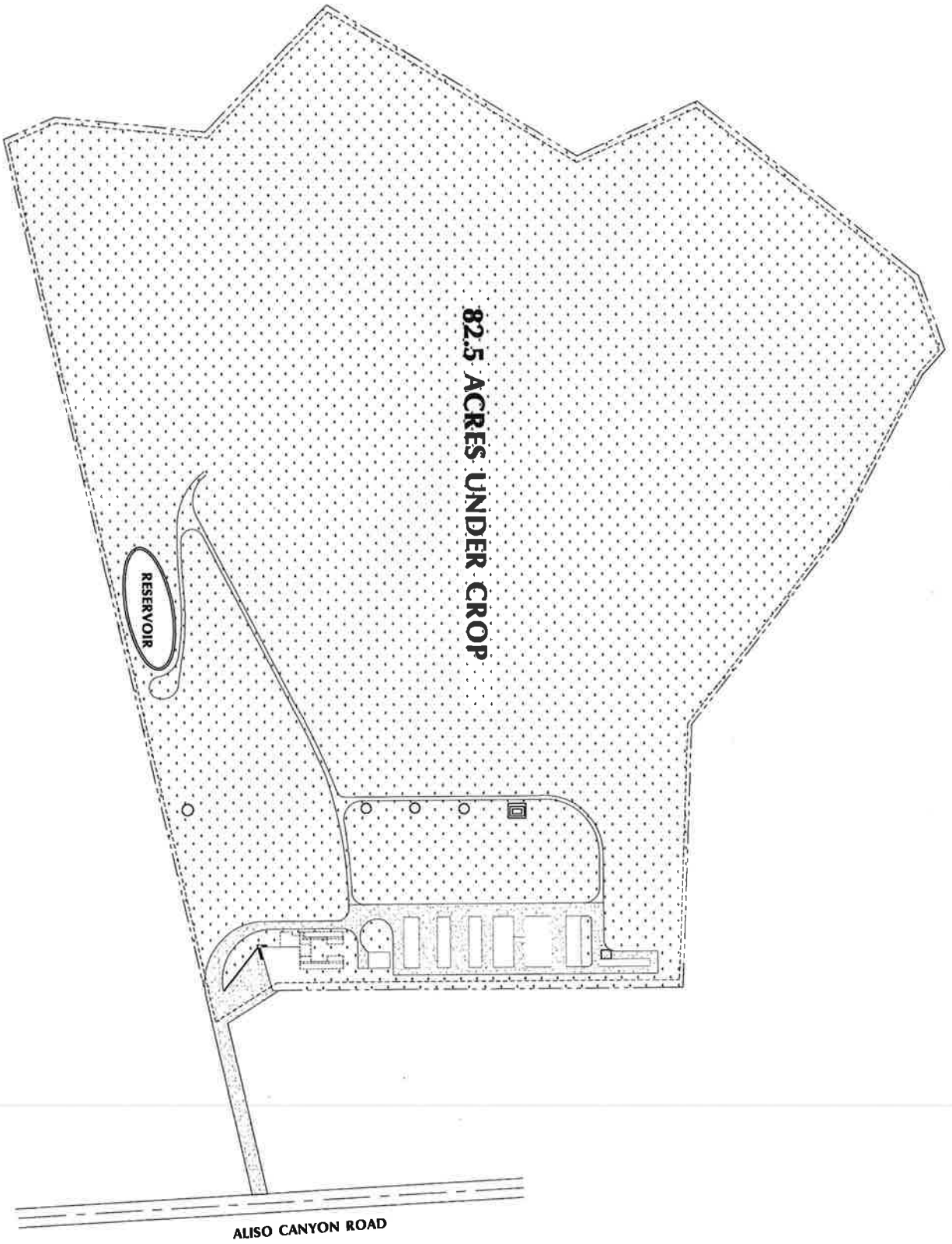
PROJECT NOTES	SHEET INDEX	PROJECT TEAM	PROJECT DATA																										
<p>1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE DIMEN OF DRAWING.</p> <p>2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.</p> <p>3. PERMITS AND NOTICES. THE OWNER SHALL PAY FOR ALL PLUMBING/DOING AND BUILDING PERMIT FEES.</p> <p>4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE JURISDICTION BUILDING CODE, A.S.P.I. SPECIFICATIONS, AND ALL OTHER APPLICABLE REQUIREMENTS, ORDINANCES AND REGULATIONS. WHERE CONFLICTS BETWEEN BUILDING CODES AND SPECIFICATIONS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.</p> <p>5. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.</p> <p>6. THE CONTRACTOR SHALL ARRANGE FOR ALL TESTING AND INSPECTION REQUIRED BY APPLICABLE CODES, ORDINANCES AND DIRECTIVES OF THE GOVERNING BUILDING OFFICIAL. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING AND INSPECTIONS IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN TESTS AND INSPECTIONS INDICATE NON-CONFORMANCE.</p> <p>7. THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFIED THEREIN.</p> <p>8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS DISCOVERED WHILE BIDDING AND CLARIFICATION SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.</p> <p>9. THE CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE UNLESS NOTED OR SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PERMITS, METHODS AND PROCEDURES.</p> <p>10. APPLICABLE TRADES SHALL USE A COMMON DUMPY HILL TO BE DESIGNATED BY THE CONSTRUCTION SUPERVISOR FOR ALL CRITICAL MEASUREMENTS.</p> <p>11. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.</p> <p>12. MATERIAL AND PAINT COLORS TO BE SELECTED BY ARCHITECT PRIOR TO FABRICATION.</p> <p>13. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. WHERE UTILITIES ARE ENCOUNTERED OTHER THAN THOSE KNOWN AND SHOWN, IMMEDIATELY NOTIFY THE OWNER, AND OBTAIN INTO REGISTRATION FOR THE PERFORMANCE OF THE REQUIRED WORK, WHICH SHALL BE OVER AND ABOVE THE AMOUNT OF THE BID PROPOSAL. ANY REQUIRED RELOCATION OF EXISTING UTILITY SERVICE SHALL BE APPROVED BY THE LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION START WORK.</p> <p>14. EXAMINE THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF THE EXISTING ELEMENTS TO REMAIN WHERE QUESTIONS OR DISCREPANCIES ARISE, CONSULT THE ARCHITECT ABOUT THE EXISTING AND/OR INTENT OF THE REQUIRED DIRECTION BEFORE CONSTRUCTING WORK.</p> <p>15. ALL DIMENSIONS ARE TO FACE OF PLASTER, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.</p> <p>16. UNLESS OTHERWISE SPECIFIED HEREIN, THE CONTRACTOR, UPON COMPLETION OF THE WORK HEREIN DESCRIBED IN THE CONTRACT, SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE STATING THAT ALL WORK PERFORMED AS PART OF THE CONTRACT IS FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, AND THAT DURING SAID ONE YEAR PERIOD, ALL DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE REPAIRED AND/OR REPLACED IN PLACE INCLUDING, BUT NOT LIMITED TO, THE REPAIR AND/OR REPLACEMENT OF SUCH WORKMANSHIP AND/OR MATERIALS, AT NO ADDITIONAL COST TO THE OWNER.</p> <p>17. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND RUBBISH RESULTING FROM THEIR PORTION OF THE WORK SPECIFIED HEREIN AND DEPOSIT IT IN AN ON-SITE CONTAINER, PROVIDED BY THE CONTRACTOR.</p> <p>18. EXISTING EXTERIOR WORK TO BE REMOVED BY DEMOLITION OR ALIQUOT WORK OR ANY OTHER CONSTRUCTION OPERATION, IF SHALL BE REFINISHED OR REPLACED WITH NEW MATERIALS TO MATCH EXISTING AS APPROVED BY THE ARCHITECT.</p> <p>19. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT.</p> <p>20. EACH CONTRACTOR SHALL MAINTAIN GENERAL LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT WITH MINIMUM \$500,000.00 PER OCCURRENCE AND \$500,000.00 PER ANNUAL AGGREGATE LIMITS OF INSURANCE FOR EACH PERSON AND BUILDING FOR EACH ACCIDENT. CONTRACTOR SHALL MAINTAIN WORKERS' COMPENSATION INSURANCE IN FULL COMPLIANCE WITH ALL STATE AND FEDERAL LAWS AND ANY APPLICABLE THEREIN. THE OWNER SHALL PROVIDE FIRE AND WORKMANSHIP INSURANCE AT HIS OWN EXPENSE. THE GENERAL CONTRACTOR AND SPECIAL CONTRACTOR SHALL BE WAIVER OF ADDITIONAL INSURANCE AS REQUESTED BY THE OWNER.</p> <p>21. ALL NEW EXISTING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATES OF COMPLIANCE TO OWNER.</p> <p>22. CONTRACTOR IS TO PROVIDE (2) THREE COPIES OF SHOP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, SPECIALTIES, AND DETAILING AND ALL MECHANICAL AND ELECTRICAL LAYOUTS AND DETAILS FOR ARCHITECT'S APPROVAL.</p> <p>23. SUBSTITUTION, REMOVAL OR CHANGE OF MATERIAL OR EQUIPMENT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT IN WRITING. ALL SUBSTITUTIONS SHALL BE OF EQUAL OR BETTER QUALITY, DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION OF ANY ITEM FOR ONE REQUESTED. ALL REQUESTS FOR SUBSTITUTION SHALL INCLUDE THE PROJECT NAME, DESCRIPTION OF THE ITEM, REASON FOR SUBSTITUTION AND COMPLETE SPECIFICATIONS AND DRAWINGS AS REQUIRED FOR CONTRACTUAL APPROVAL. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY REQUEST.</p> <p>24. SCHEDULE DATES OF ALL LIGHT FIXTURES, ACCESSORIES AND EQUIPMENT REQUIREMENTS SHALL BE SUBMITTED IN TRIPLICATE TO THE ARCHITECT FOR APPROVAL.</p> <p>25. THIS PRECINCT IS TO PROVIDE NECESSARY SERVICES AND/OR SUPPORT DURING THE COURSE OF OPERATION IF AT ANY TIME THE SAFETY OF THE ADJACENT STRUCTURE OR PERSONNEL WOULD BE ENDANGERED, LOCAL OPERATIONS AND VEHICLE TRAFFIC, DO NOT ADJACENT OPERATIONS. SAFE CONDITIONS HAVE BEEN ESTABLISHED AND TRANSFER OF THE OWNER HAS BEEN GRANTED TO RESUME OPERATION.</p> <p>26. ALL ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.</p> <p>27. ALL MECHANICAL EQUIPMENT SHALL BE CONSIDERED A PART OF THE EQUIPMENT.</p> <p>28. REFER TO ADDITIONAL GENERAL AND SPECIFIC NOTES CONTAINED IN THE VARIOUS CONSULTANT SECTIONS OF THESE DOCUMENTS.</p> <p>29. CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL FOR LOADING SPACES, CONSTRUCTION SCHED, BUILDING TO STORAGE MATERIALS AND EQUIPMENT ON SITE.</p>	<p>A-1 PROJECT INFORMATION AND SHEET INDEX</p> <p>A-2 EXISTING SITE PLAN</p> <p>A-3 EXISTING ENLARGED SITE PLAN</p> <p>A-4 EXISTING AND PROPOSED FLOOR PLAN BUILDING H2 CARETAKER</p> <p>A-5 EXISTING AND PROPOSED ELEVATIONS BUILDING H2 CARETAKER</p> <p>A-6 EXISTING FLOOR PLANS BUILDING 4 MAIN RESIDENCE</p> <p>A-7 PROPOSED FLOOR PLANS BUILDING 4 MAIN RESIDENCE</p> <p>A-8 EXISTING ELEVATIONS BUILDING 4 MAIN RESIDENCE</p> <p>A-9 PROPOSED ELEVATIONS BUILDING 4 MAIN RESIDENCE</p> <p>A-10 EXISTING AND PROPOSED FLOOR PLAN BUILDING 2 CARETAKER</p> <p>A-11 EXISTING AND PROPOSED ELEVATIONS BUILDING 2 CARETAKER</p> <p>A-12 EXISTING AND PROPOSED FLOOR PLAN/ELEVATIONS BUILDING H1 GUEST HOUSE</p> <p>E-2 SITE ELECTRICAL</p>	<p>DESIGN CONSULTANTS:</p> <p>EVERETT WOODY AND GIL GARCIA 122 E. ARRELLAGA STREET SANTA BARBARA, CA 93101 805 452 2991</p> <p>GEOTECHNICAL ENGINEER:</p> <p>MARK MORGAN MORGAN ENGINEERING P.O. BOX 391, OJAI, CA 93024 805 302 9301</p> <p>STRUCTURAL ENGINEER:</p> <p>JOHN CILTMAN 3025 LONG VALLEY ROAD SANTA YNEZ CA 93460 805 688-6677</p> <p>ELECTRICAL ENGINEER:</p> <p>JOHN MELONEY 156 WEST ALAMAR AVENUE, SUITE B SANTA BARBARA CA 93105 (805) 564-9216</p> <p>MECHANICAL ENGINEER:</p> <p>JOHN GRINDSDALE, A G MECHANICAL ENGINEERS 629 STATE STREET SANTA BARBARA CA 93101 (805) 966-0844</p> <p>GENERAL CONTRACTOR:</p> <p>N.M. CONSTRUCTION NATE WHITSON 3279 BREAKER DRIVE, VENTURA, CA 93005 805 479 7905</p>	<p>OWNER:</p> <p>BILLIWHACK RANCH, LLC 3048 N COOLIDGE AVENUE LOS ANGELES, CA 90039 PHONE 213-308-0015</p> <p>APN: 064-D-130-125 AND 064-D-130-145 ZONE: AE-40 SITE AREA: 98 ACRES GENERAL PLAN DESIGNATION: -- HIGH FIRE AREA: YES MAXIMUM BUILDING HEIGHT: 35'-0" PRINCIPAL 25'-0" OTHERS FRONT YARD SETBACK: 20'-0" FROM PROPERTY LINE REAR YARD SETBACK: 15'-0" SIDE YARD SETBACK: 10'-0"</p> <p>FINISHES</p> <p>THREE COAT LATH AND PLASTER SMOOTH TROWEL FINISH PAINT COLOR TO BE DETERMINED</p> <p>METAL WINDOWS AND DOORS DARK BRONZE</p> <p>EXISTING MISSION CAP AND PAN ROOF TILE BUILDING H2 ONLY</p> <p>DOOR HARDWARE AND HINGES DARK BRONZE</p>																										
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Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999



BILLIWHACK RANCH RENOVATION
SHEET 1 OF 1
DATE: 06/15/2016
BY: ANGELI DE COVOLO, INC.

SHEET CONTENTS
TITLE SHEET
A-1



GENERAL NOTES

KEY NOTES

SITE PLAN

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 95060
BILLIWHACK RANCH RENOVATION

NO.	REVISION	DATE
1		
2		
3		
4		



Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 95101
805 452 2999

A-2

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,804 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT GRAIN SILO

EXISTING EDISON POWER POLE

RAISED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

AREA OF WORK

AREA OF WORK

AREA OF WORK

ENLARGED SITE PLAN

KEY NOTES

EXISTING BUILDING FLOOR AREAS

STORAGE AND MAINTENANCE BUILDING (1A)	10,914 SQUARE FEET GROSS
GUEST HOUSE BUILDING (H1)	2,385 SQUARE FEET GROSS
BEE KEEPER BUILDING (1)	5,341 SQUARE FEET GROSS
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HAYTER MILL BARN	3,550 SQUARE FEET GROSS
THREE GRAIN SILOS TOTAL	1,629 SQUARE FEET GROSS
TOTAL	67,561 SQUARE FEET GROSS

SITE STATISTICS

TOTAL BUILDING COVERAGE	55,683 SQUARE FEET GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA	607,912 SQUARE FEET GROSS
AREA UNDER CROP	3,543,700 SQUARE FEET GROSS OR 82.50 ACRES
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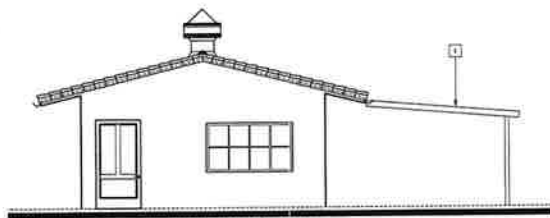
BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE	55,683 SQUARE FEET GROSS
TOTAL SITE AREA	4,257,328 SQUARE FEET GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED	

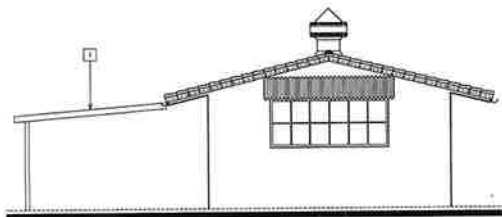
ALISO CANYON ROAD

GENERAL NOTES

1. VERIFY ALL PROPERTY LINES VERIFY ANY DIMENSIONS SHOWN WITH THE PROPOSED FENCE CONSTRUCTION
2. ALL ITEMS NOT REFERRED TO AS EXISTING ARE TO BE REFERRED TO AS NEW



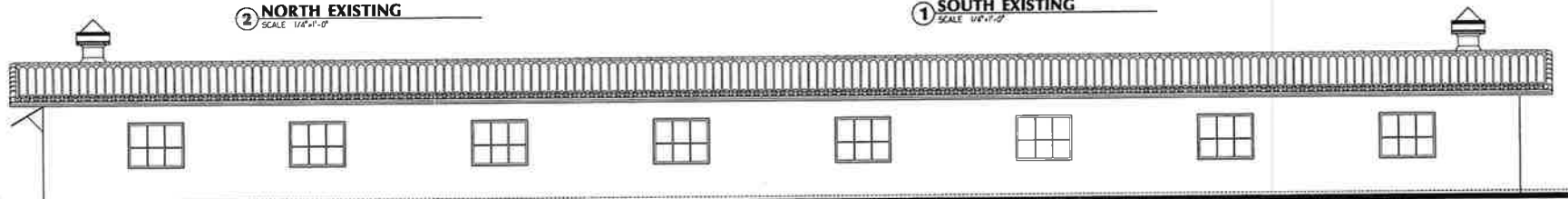
2 NORTH EXISTING
SCALE 1/8"=1'-0"



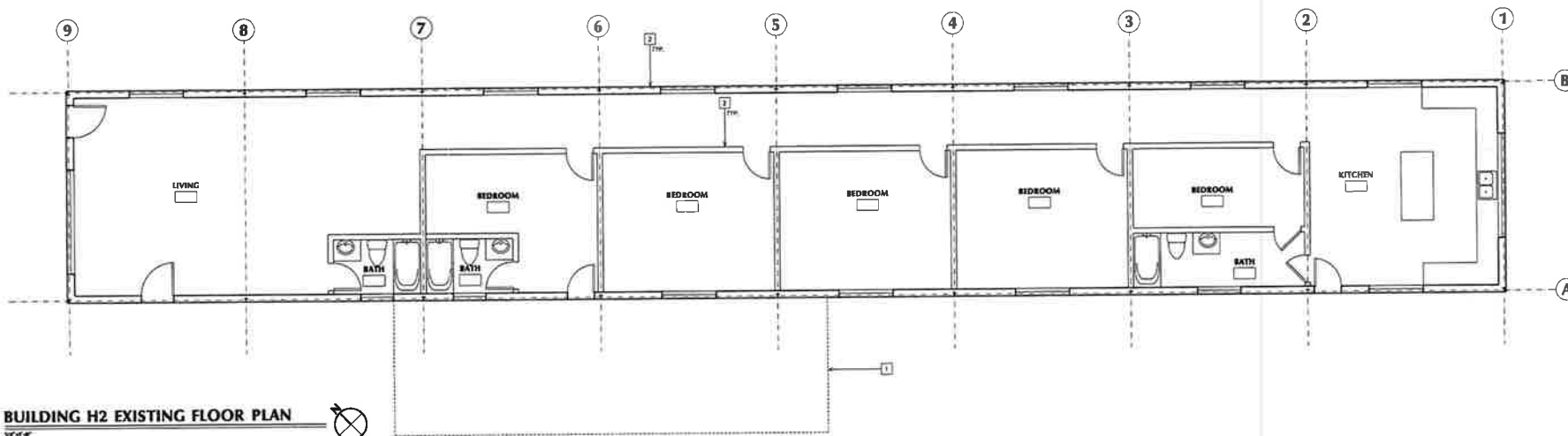
1 SOUTH EXISTING
SCALE 1/8"=1'-0"

- KEY NOTES**
- EXISTING 100 SQUARE FOOT ALUMINUM CANOPY HAS BEEN REMOVED
 - ALL INTERIOR AND EXTERIOR WALLS HAVE BEEN REMOVED DUE TO MUD SLIDE DAMAGE AND 15 YEARS OF DEFERRED MAINTENANCE

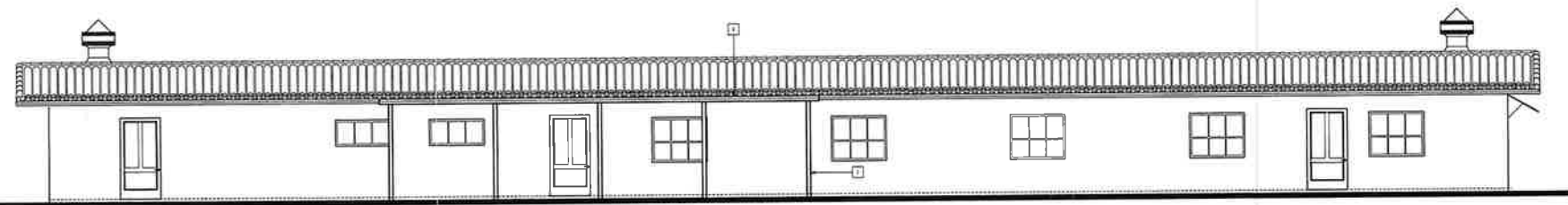
GENERAL NOTES



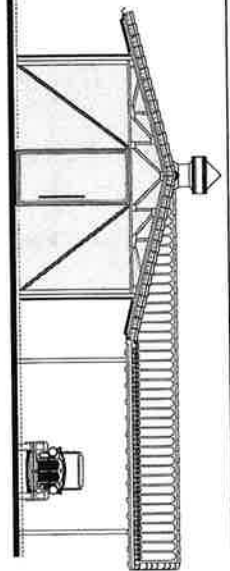
3 EAST EXISTING
SCALE 1/8"=1'-0"



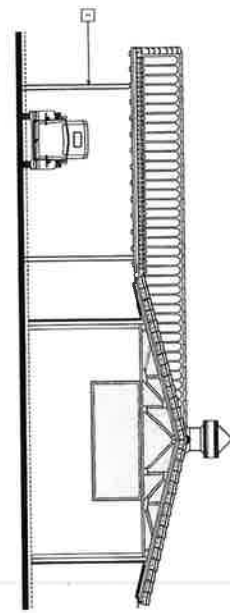
BUILDING H2 EXISTING FLOOR PLAN
SCALE 1/8"=1'-0"



4 WEST EXISTING
SCALE 1/8"=1'-0"



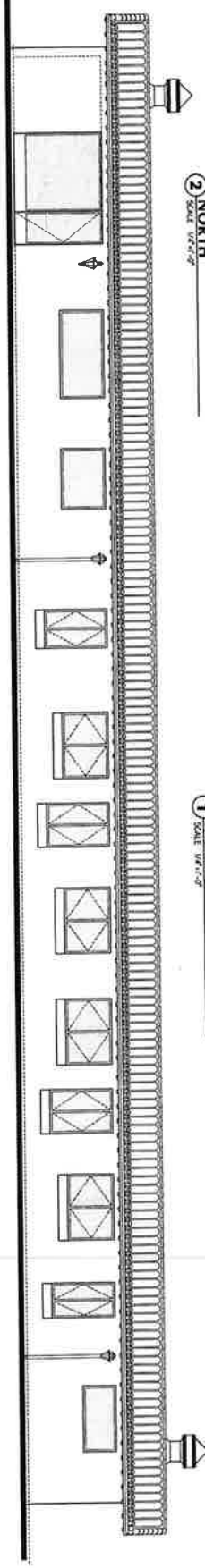
2 NORTH
SCALE 1/4" = 1'-0"



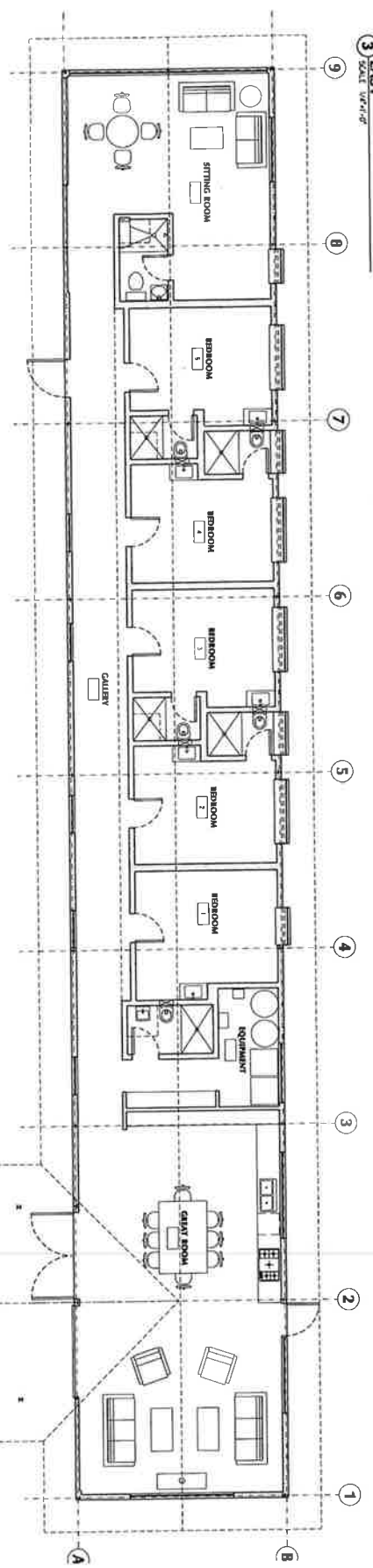
1 SOUTH
SCALE 1/4" = 1'-0"

GENERAL NOTES

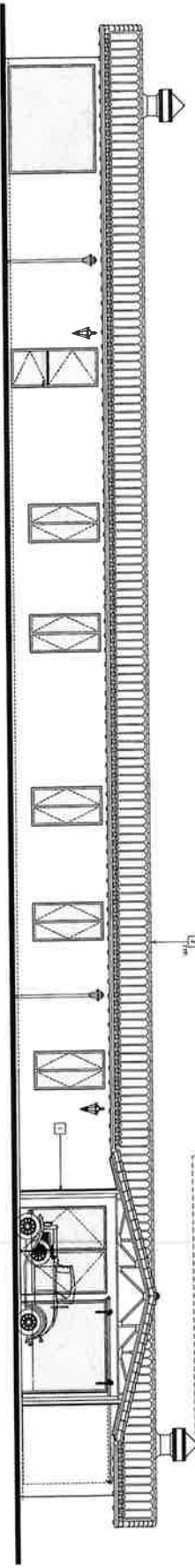
- KEY NOTES
- 1. EXISTING CARPORT - SHALL BE REFINISHED.
 - 2. EXISTING T&E ROOF SHALL BE RE-ROOFED.



3 EAST
SCALE 1/4" = 1'-0"



BUILDING H2 FLOOR PLAN
SCALE 1/4" = 1'-0"



4 WEST
SCALE 1/4" = 1'-0"

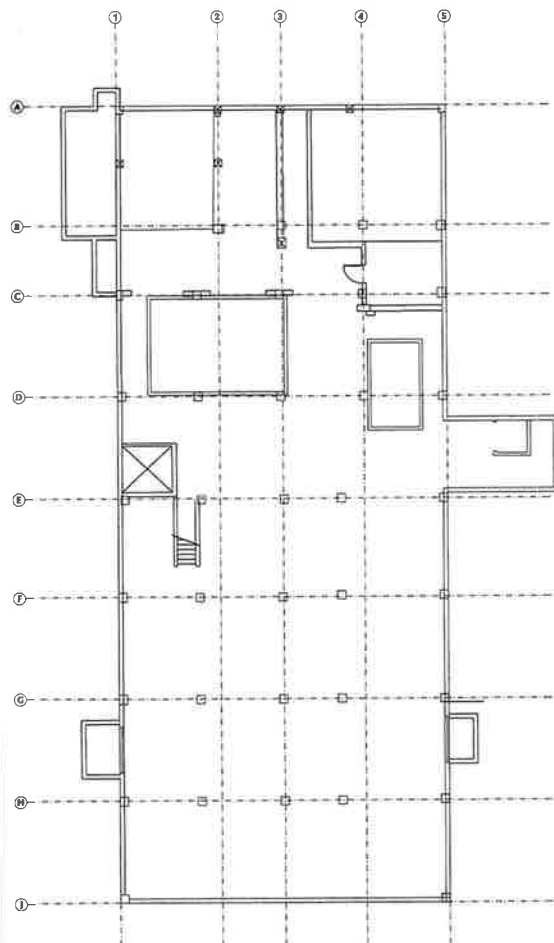


Angeli de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 452 2099

SHEET CONTENTS
BUILDING H2
FLOOR PLAN AND ELEVATIONS

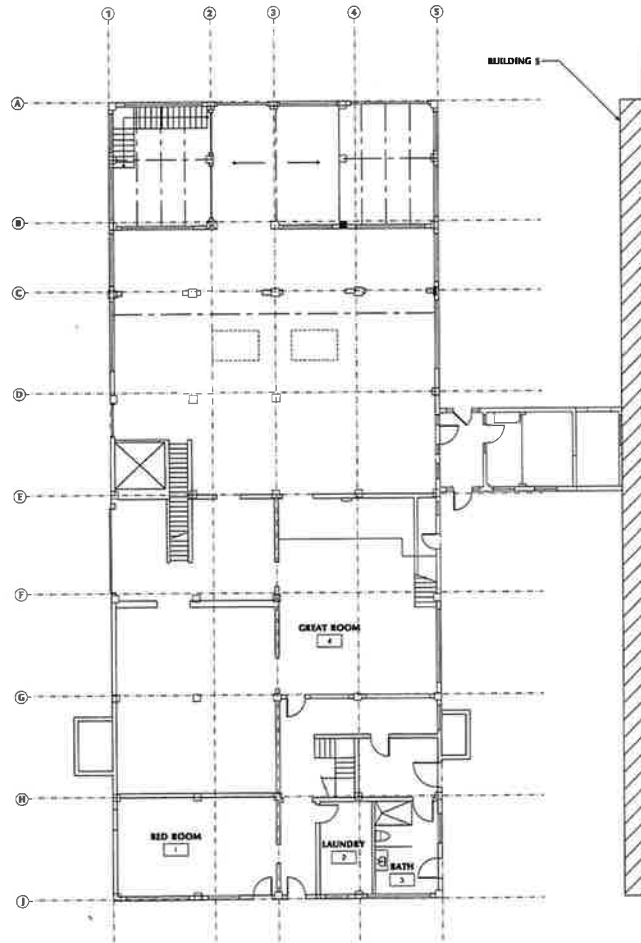
BILLIWHACK RANCH
2075 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION

A-5



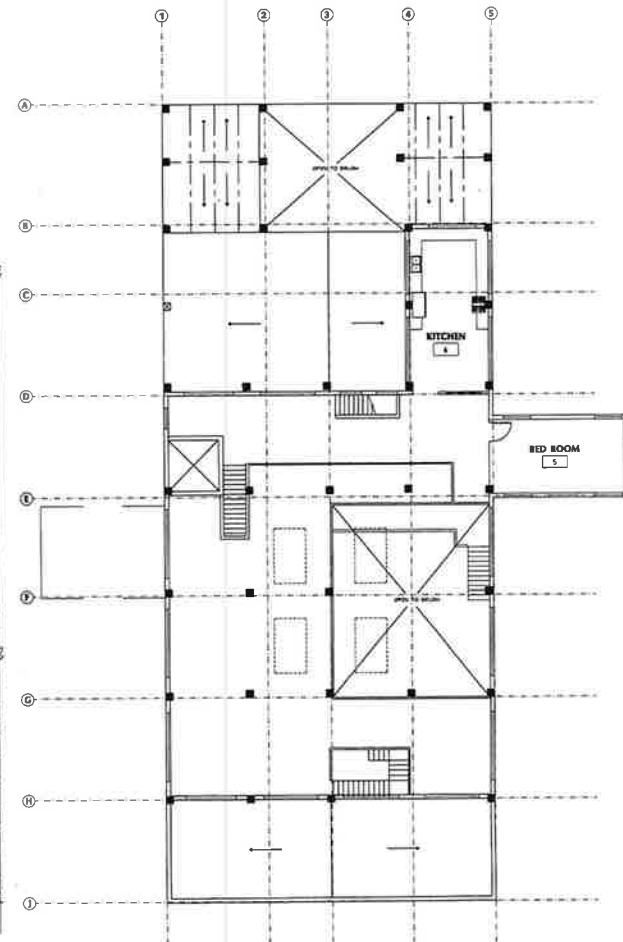
BEASEMENT FLOOR PLAN BUILDING 4

1/8"=1'-0"



GROUND LEVEL FLOOR PLAN BUILDING 4

1/8"=1'-0"



2ND LEVEL FLOOR PLAN BUILDING 4

1/8"=1'-0"

□ KEY NOTES □

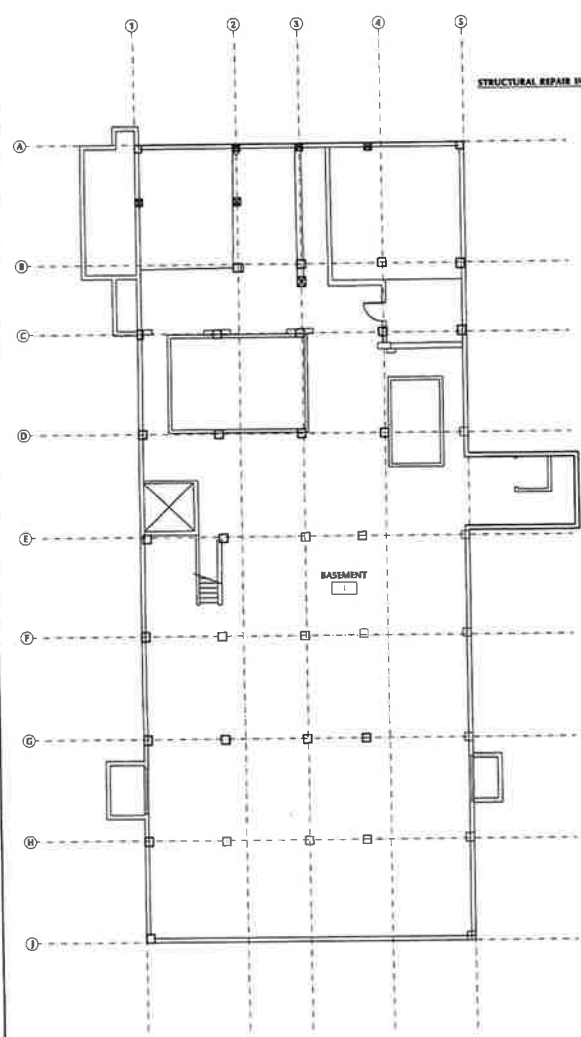
GENERAL NOTES

DATE	REVISION

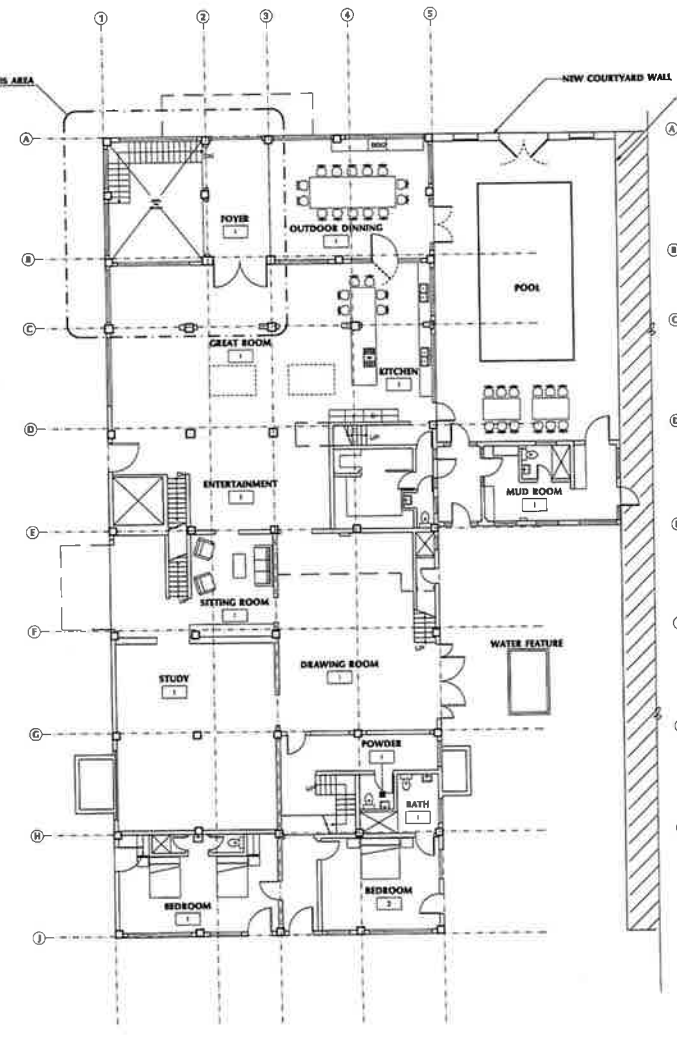
□ KEY NOTES □

GENERAL NOTES

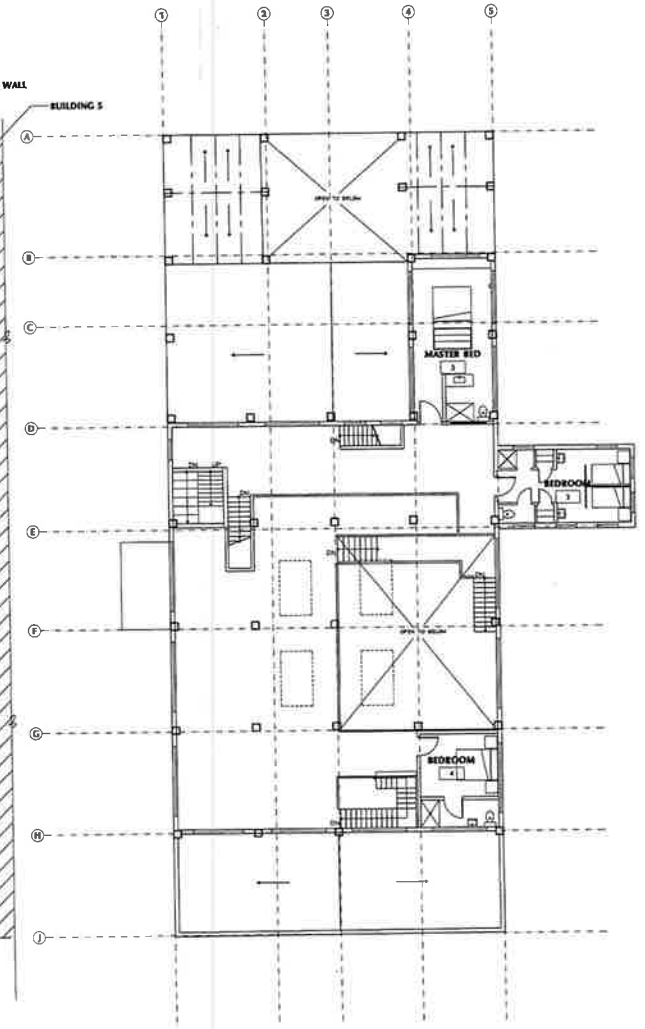
1. EXISTING WINDOW AND DOOR SYSTEMS WILL BE RESTORED
2. EXISTING WINDOW AND DOOR SYSTEMS THAT CANNOT BE RESTORED SHALL BE REPLACED TO MATCH EXISTING



BASEMENT FLOOR PLAN BUILDING 4
1/8" = 1'-0"



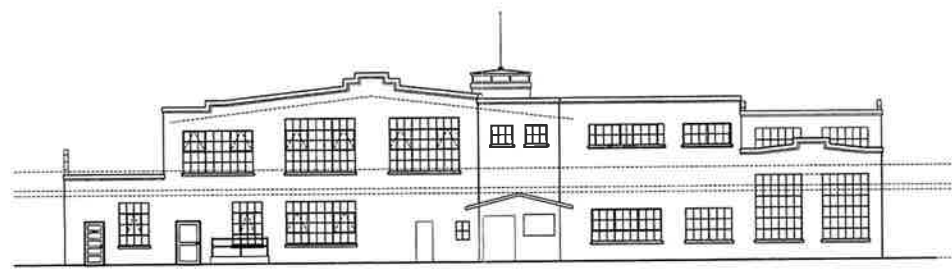
GROUND LEVEL FLOOR PLAN BUILDING 4
1/8" = 1'-0"



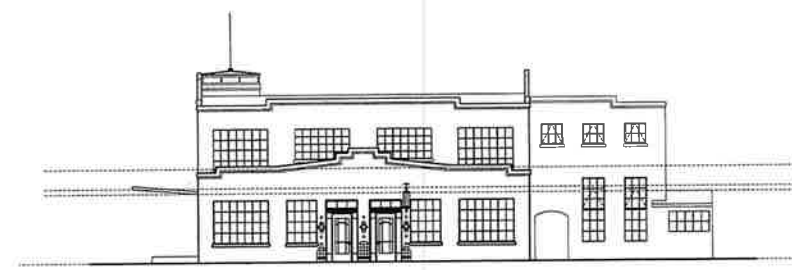
2ND LEVEL FLOOR PLAN BUILDING 4
1/8" = 1'-0"

□ KEY NOTES □

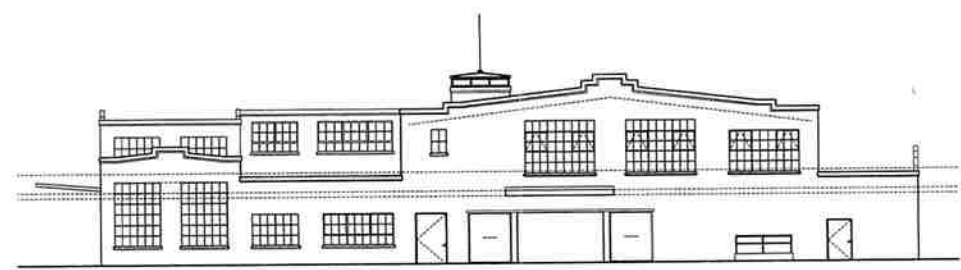
GENERAL NOTES



1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION
SCALE 1/8" = 1'-0"



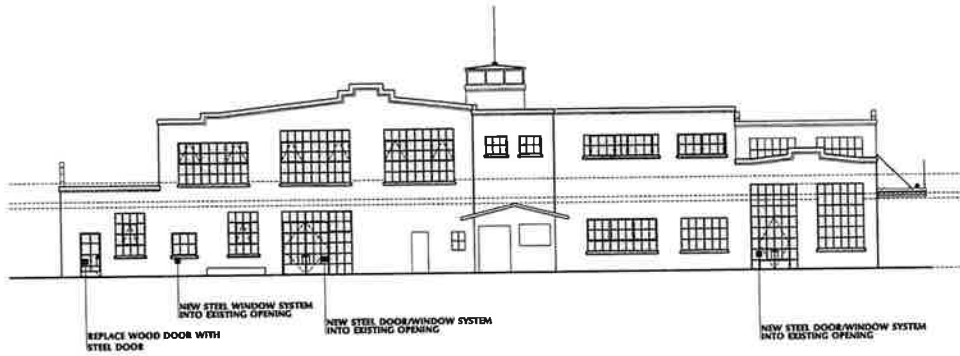
1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



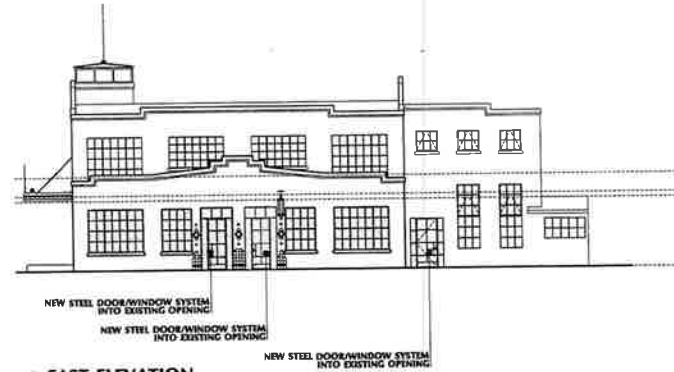
1 WEST ELEVATION
SCALE 1/8" = 1'-0"

GENERAL NOTES

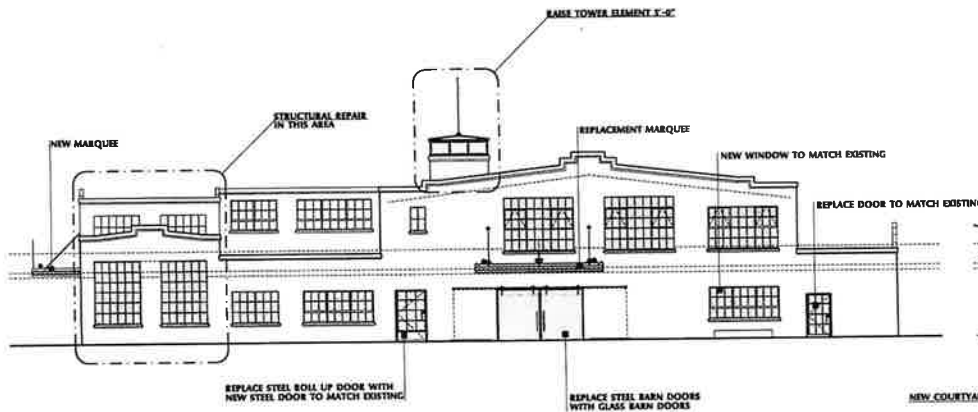
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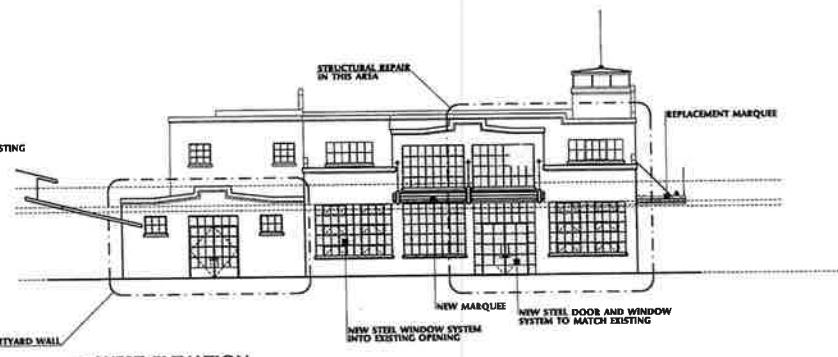
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1 EAST ELEVATION
SCALE 1/8" = 1'-0"

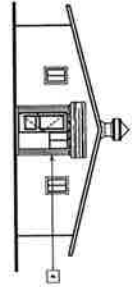


1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

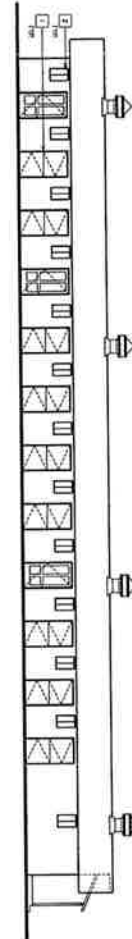


1 WEST ELEVATION
SCALE 1/8" = 1'-0"

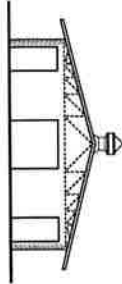
- KEY NOTES**
1. REMOVE EXISTING STEEL, DUTCH DOORS.
 2. REMOVE ALL WINDOWS.
 3. REMOVE ALL BATH AND KITCHEN PARTIALS.
 4. REMOVE PORCH AND BRICK WALK.



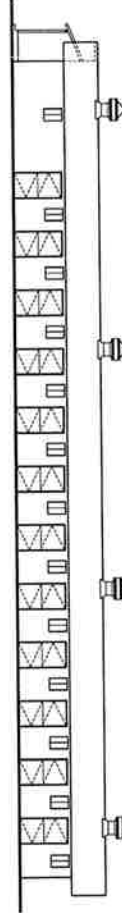
1 EAST
SCALE 1/8"=1'-0"



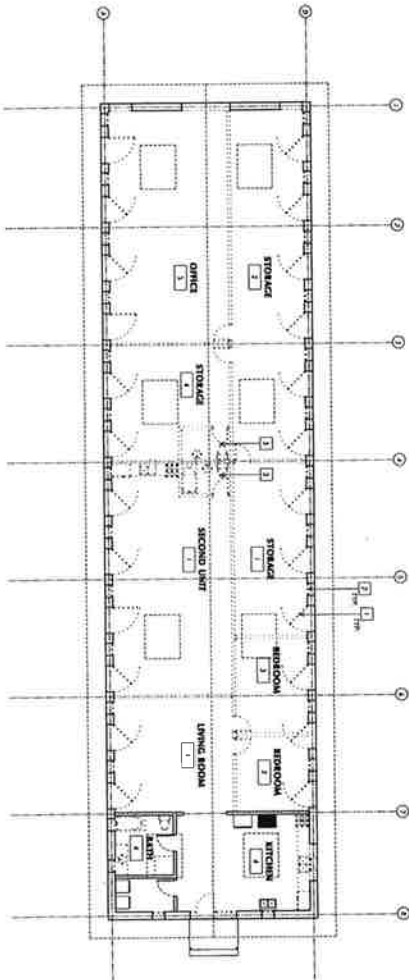
1 SOUTH
SCALE 1/8"=1'-0"



3 WEST
SCALE 1/8"=1'-0"



4 NORTH
SCALE 1/8"=1'-0"



GENERAL NOTES

1. WALLS TO REMAIN
2. WALLS TO BE REMOVED

EXISTING FLOOR PLAN

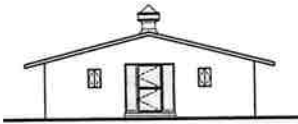


Angeli de Covolo, Inc.
122 E. Arrillaga Street
Santa Barbara, California 93101
805 452 2998

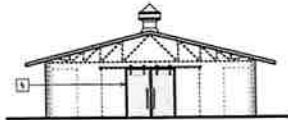
BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION

SHEET CONTENTS
BUILDING 2
EXISTING FLOOR PLANS
AND ELEVATIONS

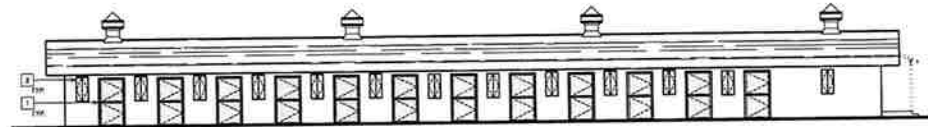
A-10
2275
06.11.2018



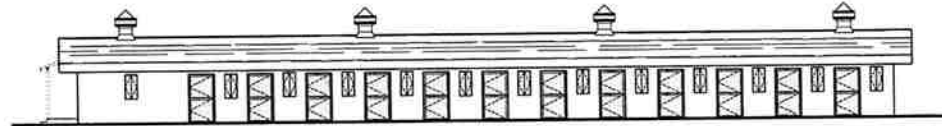
1 EAST
SCALE 1/8"=1'-0"



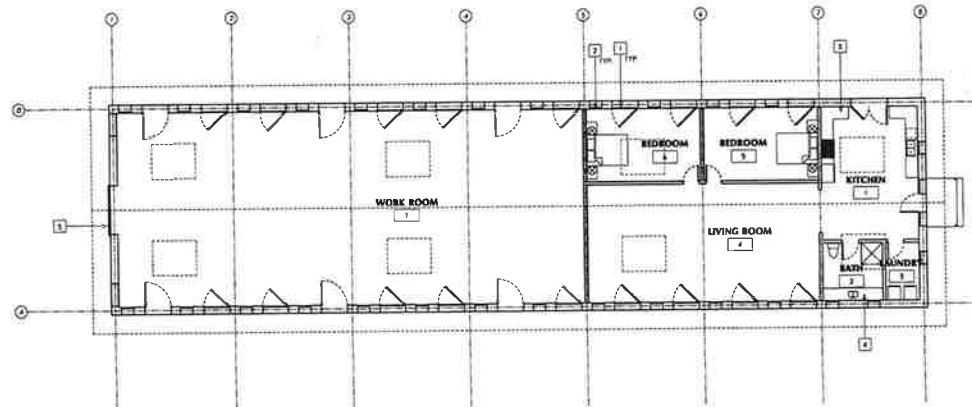
3 WEST
SCALE 1/8"=1'-0"



1 SOUTH
SCALE 1/8"=1'-0"



4 NORTH
SCALE 1/8"=1'-0"



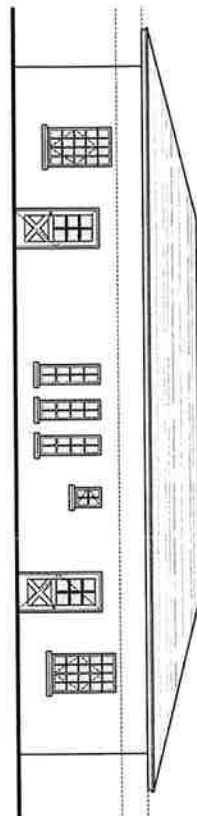
PROPOSED FLOOR PLAN
1/8"=1'-0"

KEY NOTES

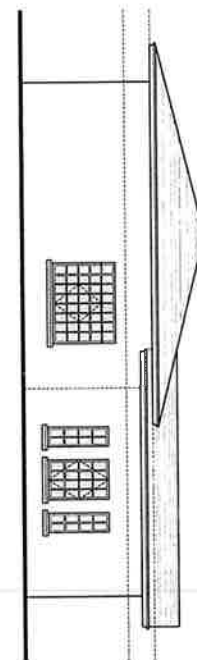
1. NEW GLASS BUTCH DOORS INSTALLED IN EXISTING OPENINGS.
2. NEW STEEL FRAME HINDOOS INSTALLED IN EXISTING OPENINGS.
3. NEW KITCHEN CABINETS AND FIXTURES.
4. BATH RENOVEL.
5. NEW SLIDING GLASS BARN DOORS.

GENERAL NOTES

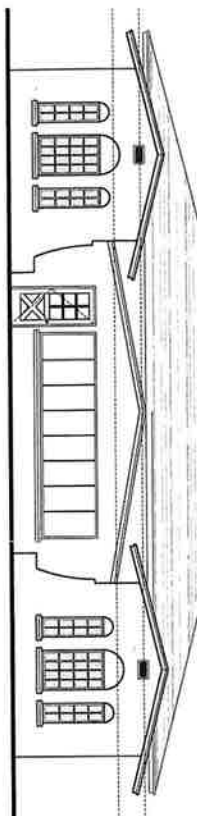
1. WALLS TO REMAIN
2. WALLS TO BE RENOVEL
3. NEW WALLS
4. 5'-00" TYPICAL PLASTER OVER ENTIRE BUILDING



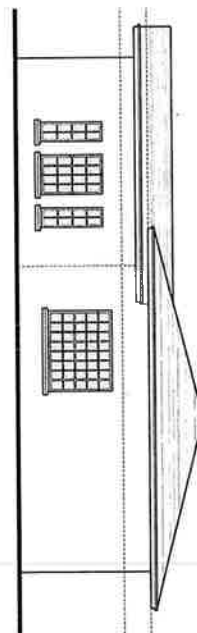
2 WEST
SCALE 1/4"=1'-0"



1 SOUTH
SCALE 1/4"=1'-0"



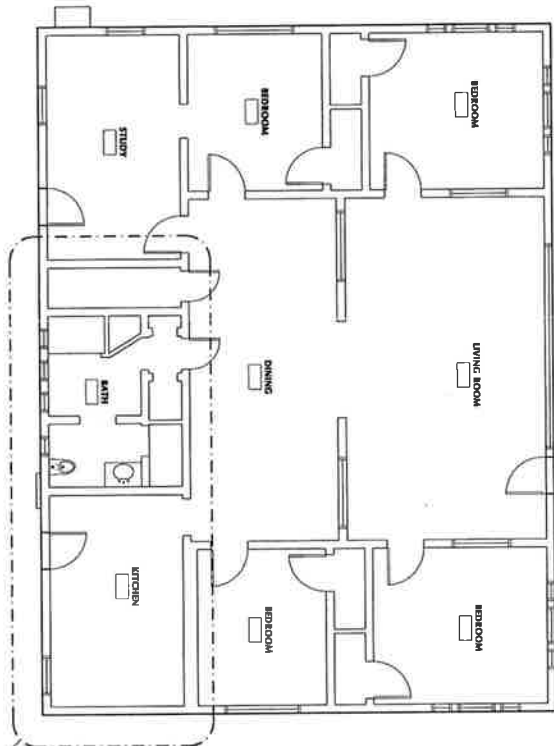
3 EAST
SCALE 1/4"=1'-0"



4 NORTH
SCALE 1/4"=1'-0"

GENERAL NOTES

1. EXISTING AND PROPOSED ARE SHOWN. NO OTHER CHANGES.



FLOOR PLAN

AREA OF REMODEL

SHEET CONTENTS

BUILDING H
EXISTING AND PROPOSED
FLOOR PLANS AND ELEVATIONS

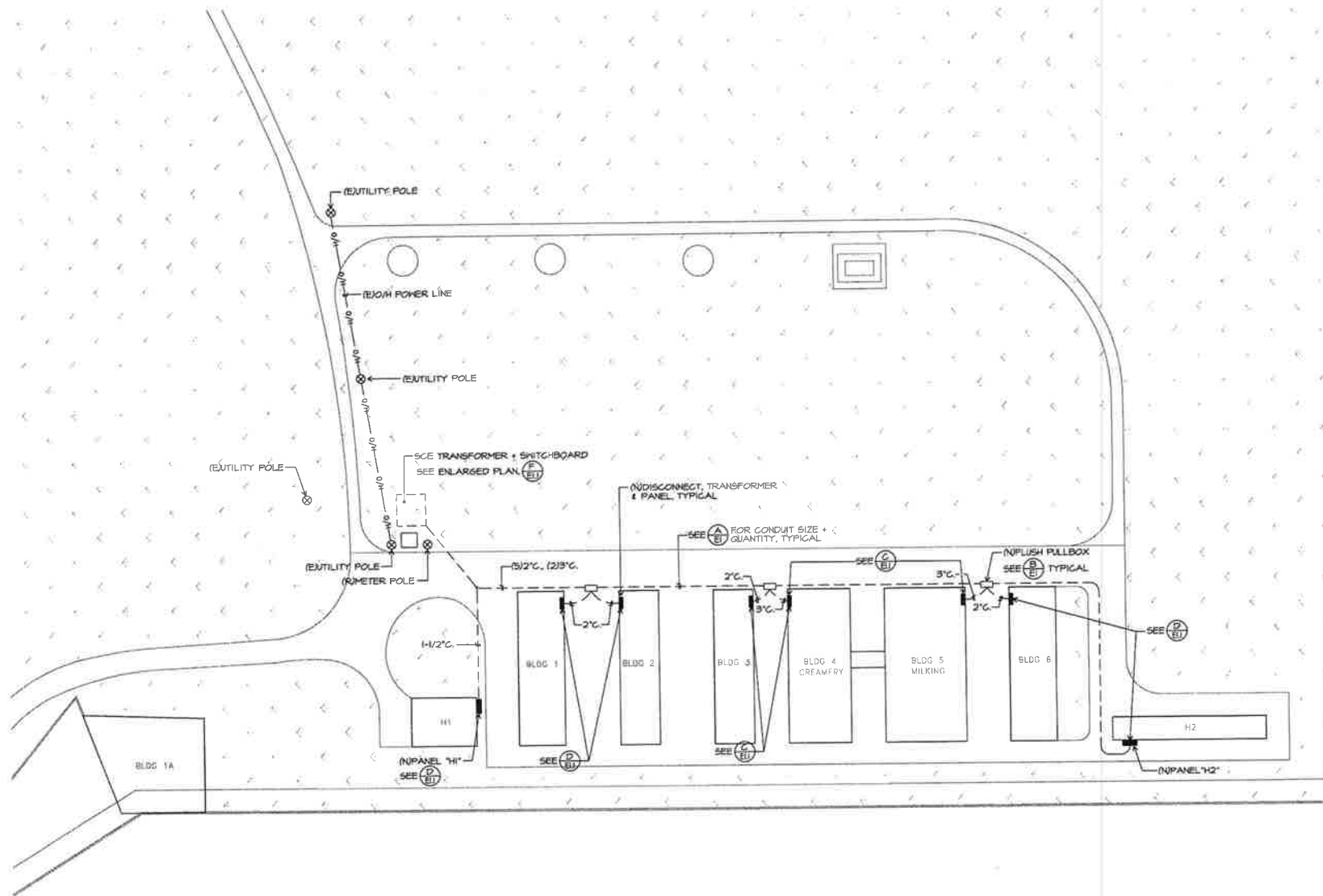
BILLWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93590

BILLWHACK RANCH RENOVATION

NO.	DESCRIPTION	DATE
1	EXISTING	
2	PROPOSED	
3	REVISION	



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805 432 2999



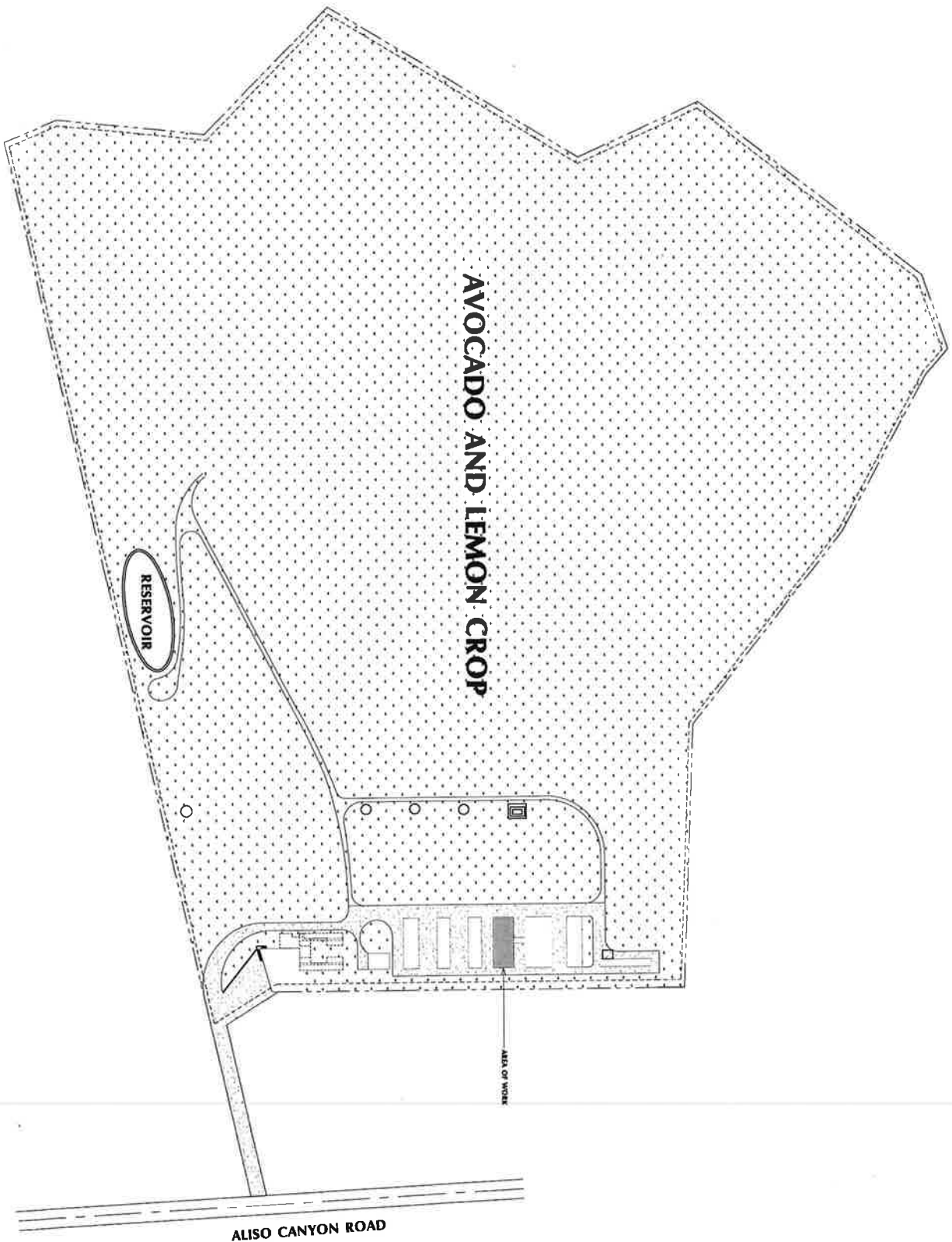
ELECTRICAL SITE PLAN

SCALE: 1" = 40'-0" 5' 0' 3' 0' 2'

REVISIONS	BY
 IMPE INDUSTRIAL MECHANICAL PROJECTS, INC. 1000 S. GATEWAY BLVD., SUITE 100 SAN ANTONIO, TEXAS 78205 (214) 521-1111 FAX (214) 521-1112 www.impe.com	
	
BILLINBACK RANCH ELECTRICAL SERVICE 2275 ALISO CANYON ROAD SANTA PAULA, CA 93060	
ELECTRICAL SITE PLAN	
DATE	06-29-11
SCALE	AS NOTED
DRAWN	MS/R
JOB	19162
SHEET	1
OF	2

BILLIWHACK RANCH MAIN RESIDENCE REMODEL

[illegible]



GENERAL NOTES

KEY NOTES

SITE PLAN

A-2

SHEET CONTENTS
EXISTING SITE PLAN

BILLIWHACK RANCH
2215 ALISO CANYON ROAD
SANTA PAULA, CA 93360
BILLIWHACK RANCH FAMILY RESIDENCE

NO.	REVISION	DATE



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805 452 2999

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

ENLARGED SITE PLAN

KEY NOTES

GENERAL CONTRACTOR:

N.M. CONSTRUCTION
NATE WHITSON
3279 BREAKER DRIVE, VENTURA, CA. 93003
805 479 7905

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7345 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED

SITE STATISTICS

TOTAL BUILDING COVERAGE 55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA 607,912 SQUARE FOOT GROSS
AREA UNDER CROP 3,549,700 SQUARE FOOT GROSS OR 82.50 ACRES
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.7346 ACRES

ALISO CANYON ROAD

GENERAL NOTES

Angeli de Covolo, Inc.
122 E. Arcadia Street
Santa Barbara, California 93101
805 452 2399

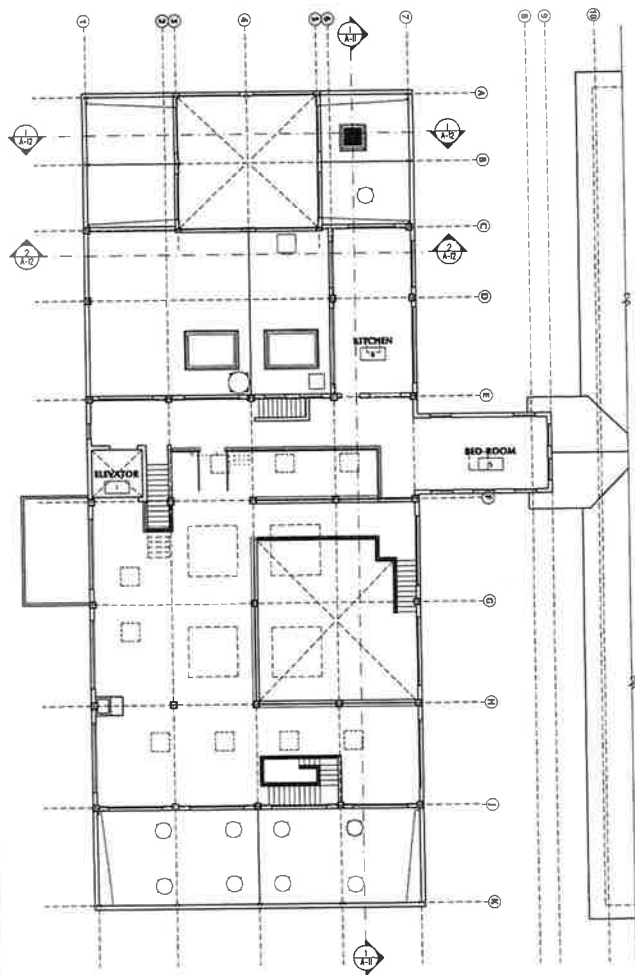
NO.	DESCRIPTION	DATE
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	
9	9	
10	10	

SHRIMP RANCH
122 E. Arcadia Street
Santa Barbara, CA 93101
BILLWICK RANCH FAMILY RESIDENCE

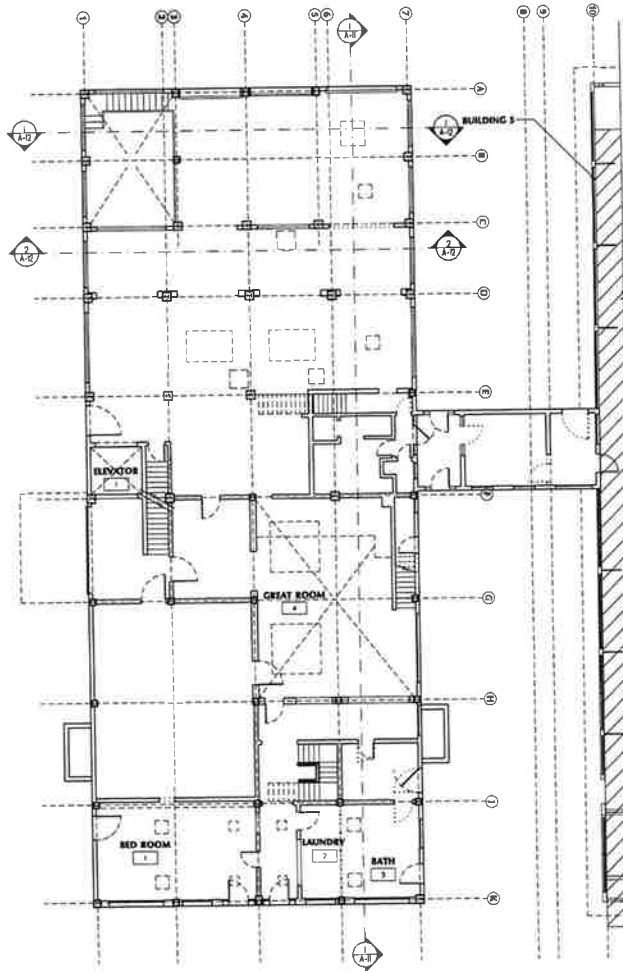
SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

NO.	DESCRIPTION	DATE
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	
9	9	
10	10	

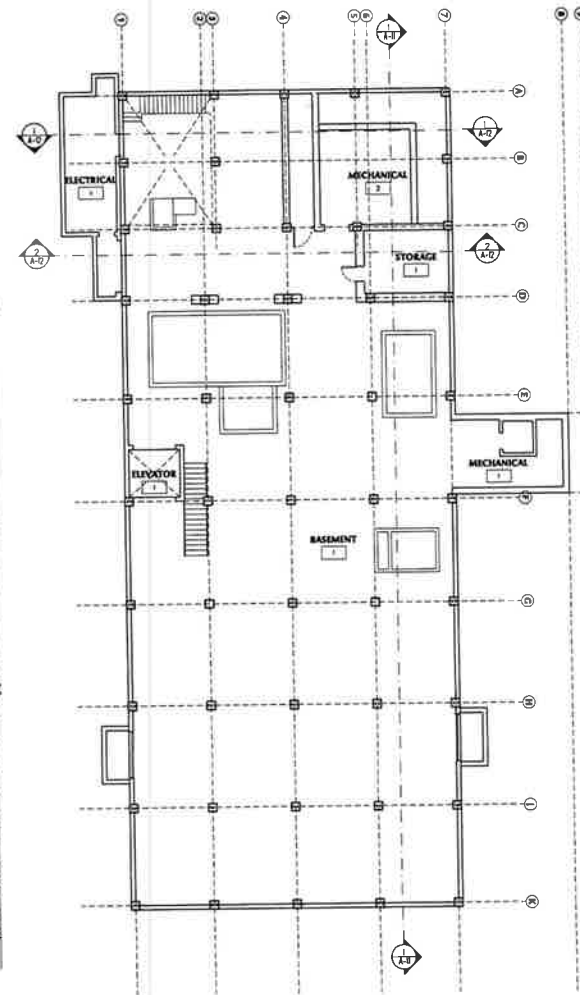
A-3



2ND LEVEL FLOOR PLAN BUILDING 4



GROUND LEVEL FLOOR PLAN BUILDING 4



BASEMENT FLOOR PLAN BUILDING 4

GENERAL NOTES

KEY NOTES

Angeli de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805.452.2999

DATE	BY	CHKD

BILLIWHACK RANCH
BILLIWHACK RANCH
SANTA ANITA, CA 94057

BILLIWHACK RANCH FAMILY RESIDENCE
BUILDING 4
EXISTING FLOOR PLANS

PROJECT NO.	12-25-2018
SCALE	22%
DATE	12-25-2018

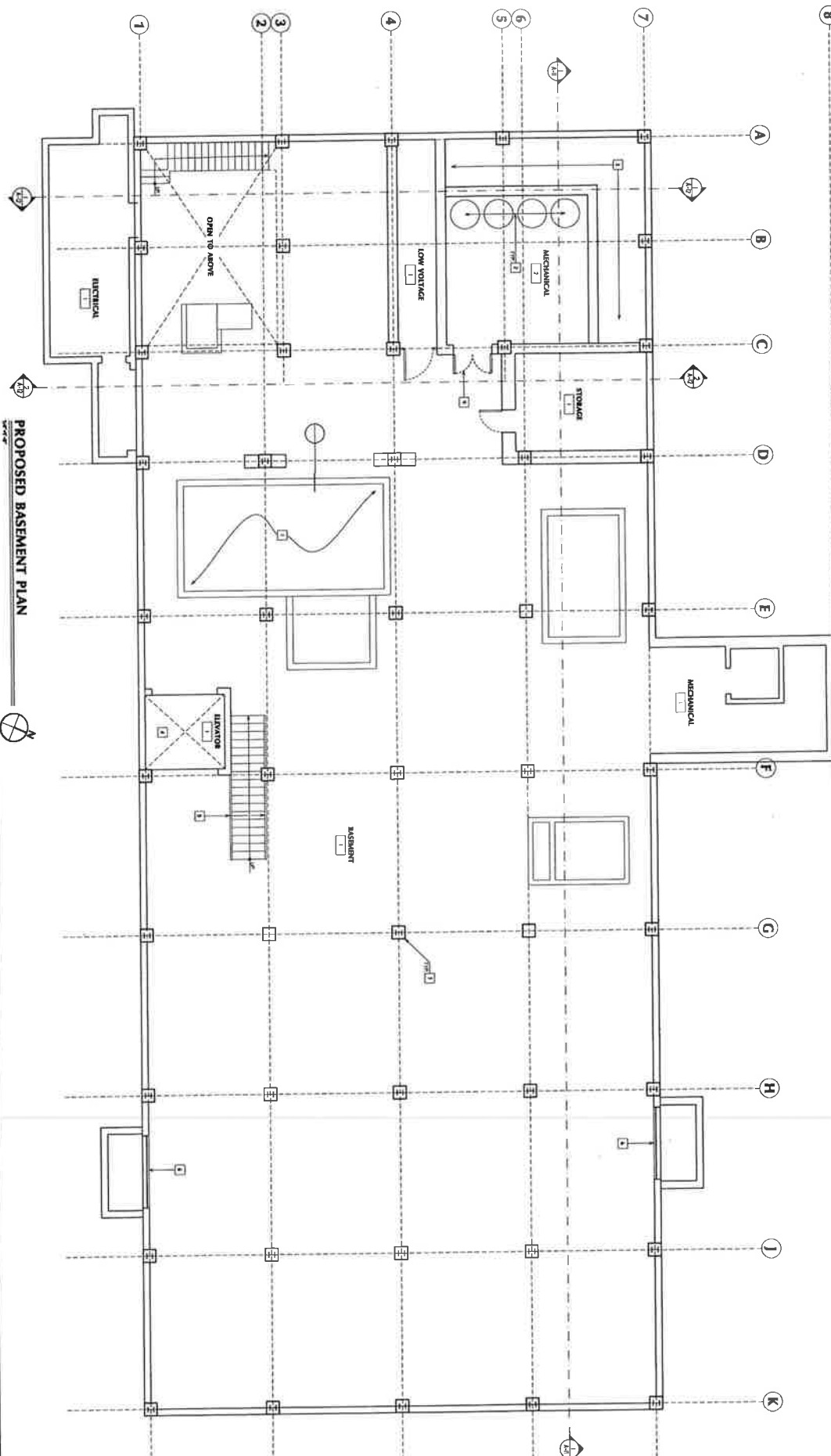
A-4

KEY NOTES

1. EXISTING CONCRETE FOUNDATION SHALL BE CONCRETE TO A MINIMUM OF 12" THICK.
2. ALL EXISTING WALLS TO REMAIN SHALL BE CONCRETE TO A MINIMUM OF 12" THICK.
3. ALL EXISTING FLOORING SHALL BE REMOVED AND FLOORING SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
4. ALL EXISTING ROOFING SHALL BE REMOVED AND ROOFING SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
5. ALL EXISTING MECHANICAL EQUIPMENT SHALL BE REMOVED AND MECHANICAL EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
6. ALL EXISTING ELECTRICAL EQUIPMENT SHALL BE REMOVED AND ELECTRICAL EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
7. ALL EXISTING PLUMBING EQUIPMENT SHALL BE REMOVED AND PLUMBING EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
8. ALL EXISTING STRUCTURAL STEEL SHALL BE REMOVED AND STRUCTURAL STEEL SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
9. ALL EXISTING STRUCTURAL CONCRETE SHALL BE REMOVED AND STRUCTURAL CONCRETE SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
10. ALL EXISTING STRUCTURAL BRICK SHALL BE REMOVED AND STRUCTURAL BRICK SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.

GENERAL NOTES

1. ALL WORK NOT SHOWN ON THIS PLAN SHALL BE CONSIDERED AS NOT REQUIRED.
2. ALL EXISTING STRUCTURAL STEEL SHALL BE REMOVED AND STRUCTURAL STEEL SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
3. ALL EXISTING MECHANICAL EQUIPMENT SHALL BE REMOVED AND MECHANICAL EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
4. ALL EXISTING ELECTRICAL EQUIPMENT SHALL BE REMOVED AND ELECTRICAL EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.
5. ALL EXISTING PLUMBING EQUIPMENT SHALL BE REMOVED AND PLUMBING EQUIPMENT SHALL BE CONCRETE TO A MINIMUM OF 4" THICK.



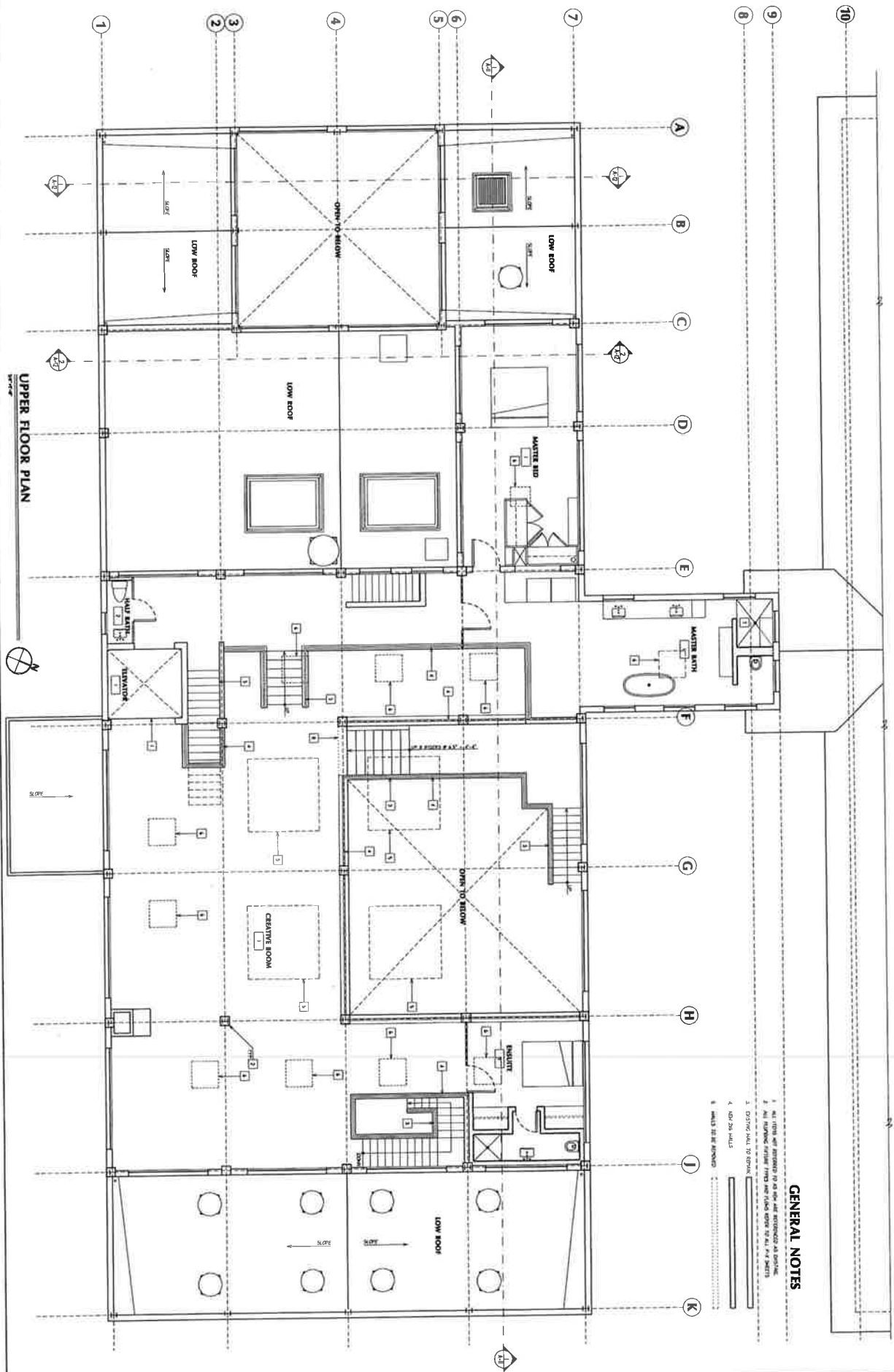
PROPOSED BASEMENT FLOOR PLAN

A-5

PROPOSED
BASEMENT FLOOR PLAN

BILLIWHACK RANCH
2078 ALISO CANYON ROAD
SANTA ANITA, CA 92086
BILLIWHACK RANCH FAMILY RESIDENCE

Angeli de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 452 2899



UPPER FLOOR PLAN

GENERAL NOTES

1. PREPARE ELEVATION SHOW DAY FOR RESTORATION.
2. CONCRETE FOUNDATION.
3. CONCRETE FLOORING.
4. SLOPE, WATER, AND/OR SLOPE.
5. SLOPE, WATER, AND/OR SLOPE.
6. SLOPE, WATER, AND/OR SLOPE.
7. SLOPE, WATER, AND/OR SLOPE.
8. SLOPE, WATER, AND/OR SLOPE.
9. SLOPE, WATER, AND/OR SLOPE.
10. SLOPE, WATER, AND/OR SLOPE.

KEY NOTES

A-7

SHEET CONTENTS
PROPOSED
UPPER FLOOR PLAN

BILLIWHACK RANCH
2775 ALBERT CANYON ROAD
SANTA PAULA, CA 93090
BILLIWHACK RANCH FAMILY RESIDENCE

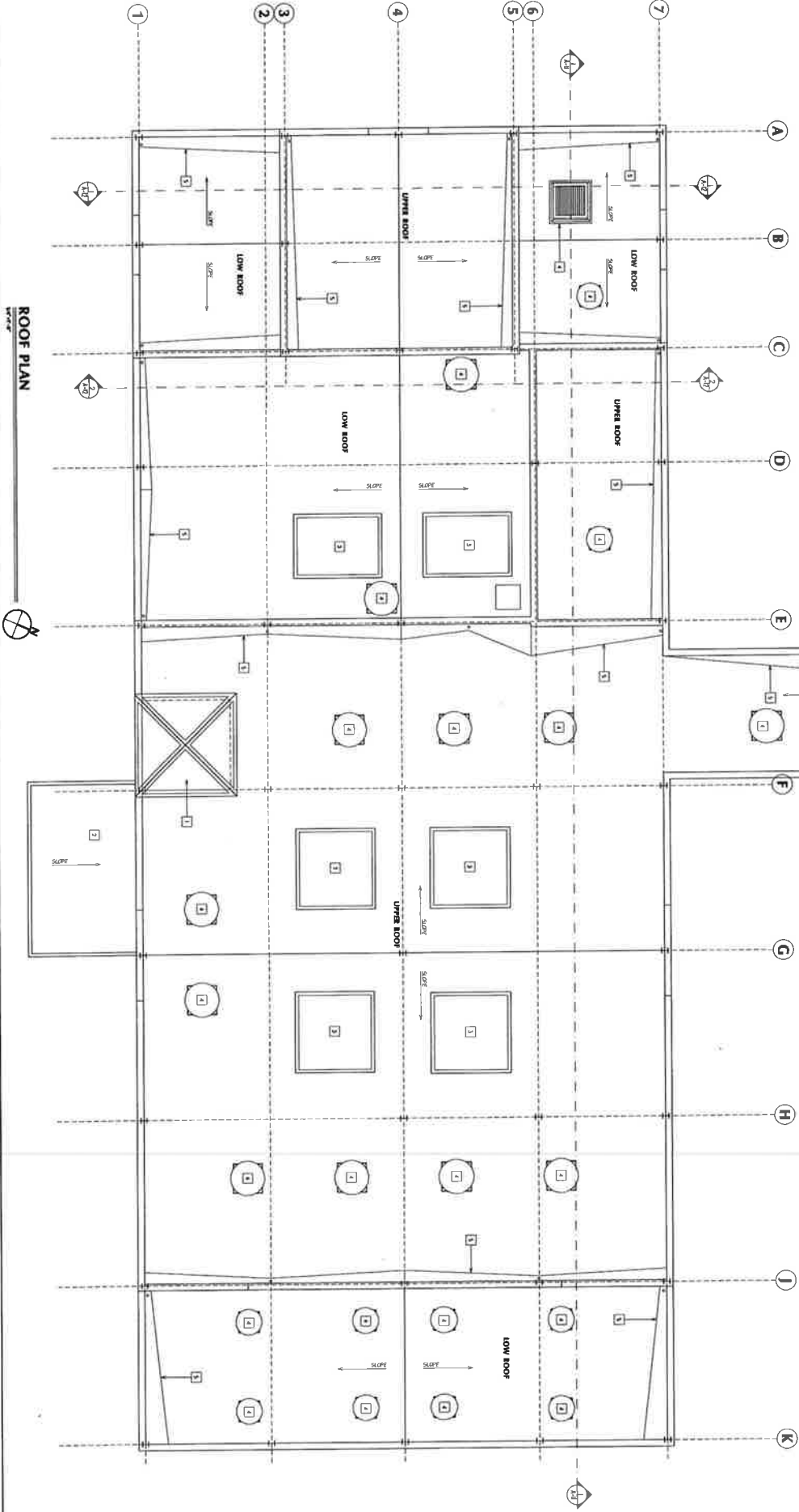
NO.	REVISION	DATE

NCARB
REGISTERED ARCHITECT



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Santa Barbara, California 93101
805 452 2599

ROOF PLAN



GENERAL NOTES

1. ALL ITEMS ARE SHOWN TO BE NEW AND REMOVED AS EXISTING.
2. ALL EXISTING ROOFING, FLASHING, AND DRAINAGE TO REMAIN.
3. DRAINAGE: DRAIN TO GRADE.
4. ROOF FLASHING: SEE DETAIL.
5. ROOF FLASHING: SEE DETAIL.
6. ROOF FLASHING: SEE DETAIL.
7. ROOF FLASHING: SEE DETAIL.
8. ROOF FLASHING: SEE DETAIL.
9. ROOF FLASHING: SEE DETAIL.
10. ROOF FLASHING: SEE DETAIL.

KEY NOTES

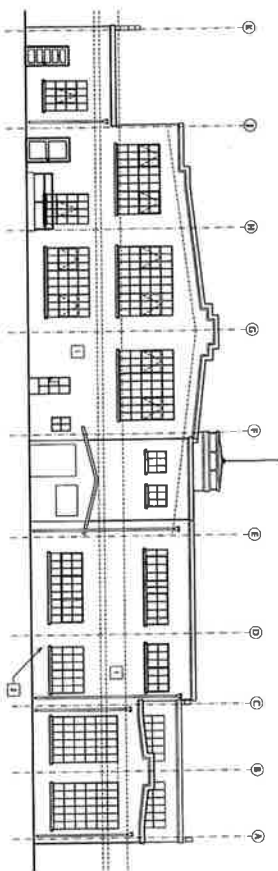
- 1. EXISTING ROOFING: SEE DETAIL.
- 2. EXISTING ROOFING: SEE DETAIL.
- 3. EXISTING ROOFING: SEE DETAIL.
- 4. EXISTING ROOFING: SEE DETAIL.
- 5. EXISTING ROOFING: SEE DETAIL.
- 6. EXISTING ROOFING: SEE DETAIL.
- 7. EXISTING ROOFING: SEE DETAIL.
- 8. EXISTING ROOFING: SEE DETAIL.
- 9. EXISTING ROOFING: SEE DETAIL.
- 10. EXISTING ROOFING: SEE DETAIL.

KEY NOTES

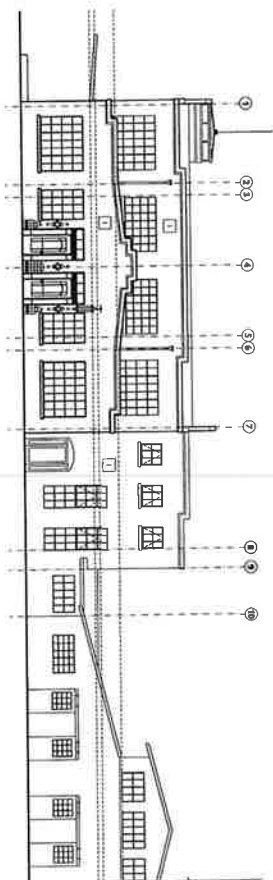
- 1. REMOVE AND REINSTATE EXISTING MATERIALS, EXCEPT FOR THE EXISTING MATERIALS TO BE REMOVED AND REINSTATE EXISTING MATERIALS.
- 2. EXISTING MATERIALS, EXCEPT FOR THE EXISTING MATERIALS TO BE REMOVED AND REINSTATE EXISTING MATERIALS.

GENERAL NOTES

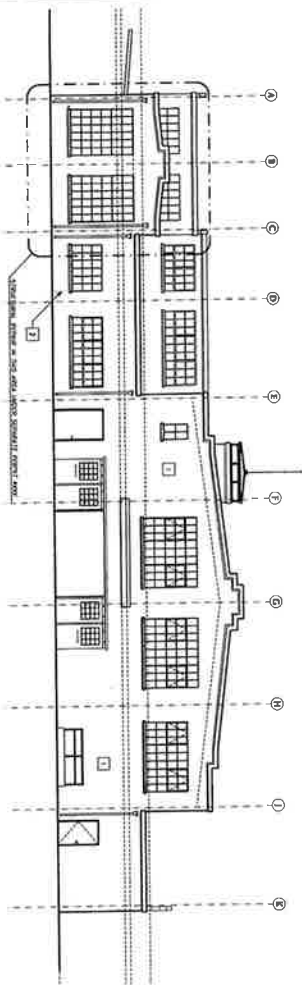
1. ALL NOTES ARE SUBJECT TO THE SPECIFICATIONS AND CONDITIONS.



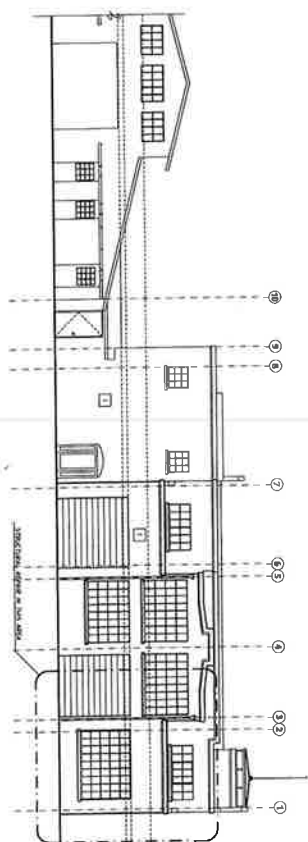
2 EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



3 WEST ELEVATION
SCALE 1/8" = 1'-0"

SHEET CONTENTS

BUILDING 4
EXISTING ELEVATIONS

BILLWHACK RANCH
2075 ALISO CANYON ROAD
SANTA PAULA, CA 93060

BILLWHACK RANCH FAMILY RESIDENCE

NO.	REVISION	DATE
1		
2		
3		
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11		
12		



Angeli de Covolo, Inc.
122 E. Arrellaga Street
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805 452 2999

A-9

Exhibit 5

ME Houston*earless, DIV OF 00001
of America Inc.

IT Ash 1b BLK CODE 83-04 ADDRESS Willoughby Road

PARCEL 100-100-100-100 SHEET 61 OF 79 SHEETS

MAP 3A

DESCRIPTION OF BUILDING

CONSTRUCTION	STRUCTURAL	EXTERIOR	FRONT	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL										
						ROOMS	FLOORS	FLOOR FINISH	TRIM	INTERIOR FINISH						
Light	Frame	Unfinished	Recessed	Wiring	Heating	Rooms	B	1	2	3	Typ	Mat	Grays	Trim	Walls	Ceilings
Standard	Concrete	Brick	Transom	Fixtures	Forced	Office						Tile	G		Tile	Scale
Heavy	Reinforced	Terra Cotta	Plate Glass in	Few	Gravity	Office										
Special	Pilasters	Stucco	Sheet Glass in	Avg	Humid	Lobby										
FOUNDATION	Ch. Bond Beam	Steel	Metal	Many	Central	Hall										
Concrete	Partitions	ROOF	Bulkhead	PLUMBING	Steam	Lavatory										
Reinforced	Reinforced	Flat	Back Trim	Hot	Hot Water	Living										
Light	Partly Wall	Trusses		Fixtures	Oil Burner	Dining										
Heavy	Conc Floor	Heavy	Lighting	Water Heater	N-B.T.U.	Bed										
Wood floor	Wood floor	Composition	Drop Ceiling	Gas	Electric	Bath										
Sub floor	Sub floor	Tile		Water Softener		Kitchen										

CONSTRUCTION RECORD

Permit	Amount	Date	EFFECT. YEAR	APPR. YEAR	Age	Remaining Life	NORMAL % GOOD		RATING (E,G,A,F,P)					Fl.	No.	FINISH		FIXTURES		SHOWER				
							Table	%	Arch.	Func.	Can.	Storage	Space			Work	Floors	Walls	Wc.	La.	Fix.	Type	Grade	St.
For		1926	24	1946	30	30	80	60	78	G	G	G	G	G	1	1	Tile	Tile	2	1	0	A		

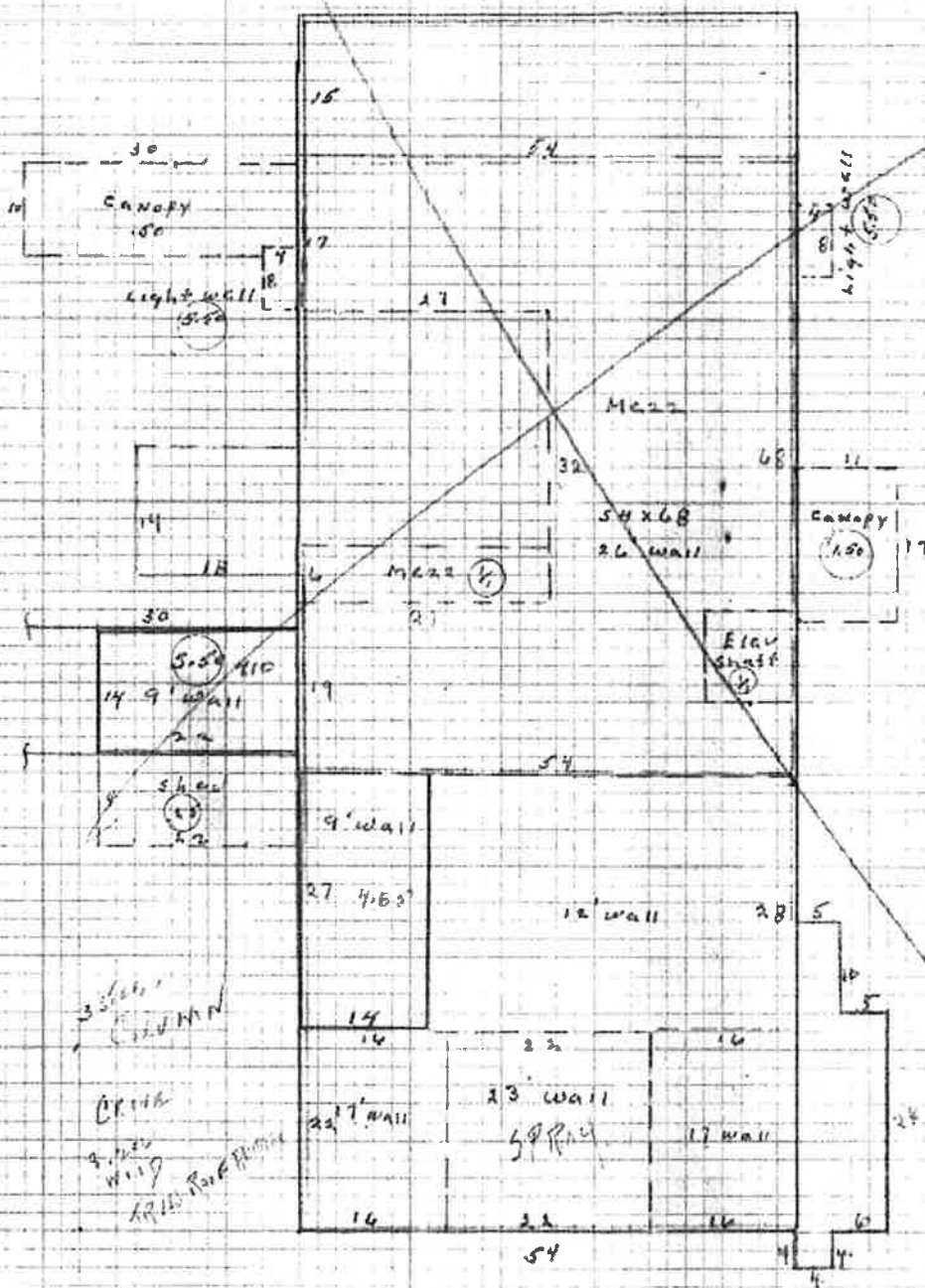
SPECIAL FEATURES

Refrigeration: Built-in Bed:

Building 4 Main Residence

12' wall AREA	@ 6.50
26' " " "	@ 10.00
17' " " "	@ 7.20
17' LGS Plot	6.25
23' wall	5.20
M.C. 2	3.00

Chapel Bank 6x30 C1.80



Be m. t. 2.000

FRONT

H2 Farm Worker Dwelling

ADDRESS ALISO CYN RD

ZIP
CODE

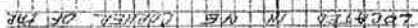
PARCEL 06A-0-130-025

SHEET 3 OF 8 SHEET

CLASS										ROOF										LIGHTING										AIR CONDITION										ROOM AND INTERIOR FINISH DETAIL									
SHAPE		CONSTRUCTION		STRUCTURAL		EXTERIOR		ROOF		LIGHTING		AIR CONDITION		ROOM AND INTERIOR FINISH DETAIL		ROOMS		FLOORS		FLOOR FINISH		TRIM		WALLS		CEILING																							
Light	From	Stucco on Cn	Flat	Pitch	Wiring	Forced	Cooling	Rooms	B	T	2	H	Fin	Grade	Trim	W	L	T	Type	Grade	St	Or	Gd	Ti	C																								
56A	Standard	X	From	X	Stucco on Cn	Flat	Pitch	Wiring	Forced	Cooling	Rooms	B	T	2	H	Fin	Grade	Trim	W	L	T	Type <td>Grade</td> <td>St</td> <td>Or</td> <td>Gd</td> <td>Ti</td> <td>C</td>	Grade	St	Or	Gd	Ti	C																					
ARCHITECTURE	Standard	X	From	X	Stucco on Cn	Flat	Pitch	Wiring	Forced	Cooling	Rooms	B	T	2	H	Fin	Grade	Trim	W	L	T	Type <td>Grade</td> <td>St</td> <td>Or</td> <td>Gd</td> <td>Ti</td> <td>C</td>	Grade	St	Or	Gd	Ti	C																					
1 Stories	Standard	X	From	X	Stucco on Cn	Flat	Pitch	Wiring	Forced	Cooling	Rooms	B	T	2	H	Fin	Grade	Trim	W	L	T	Type <td>Grade</td> <td>St</td> <td>Or</td> <td>Gd</td> <td>Ti</td> <td>C</td>	Grade	St	Or	Gd	Ti	C																					
TYPE	Standard	X	From	X	Stucco on Cn	Flat	Pitch	Wiring	Forced	Cooling	Rooms	B	T	2	H	Fin	Grade	Trim	W	L	T	Type <td>Grade</td> <td>St</td> <td>Or</td> <td>Gd</td> <td>Ti</td> <td>C</td>	Grade	St	Or	Gd	Ti	C																					
Use	Design	FOUNDATION	Adobe	Shake	Shingle	Dormers	X	Avg	X	Med	Floor Unit	Eng. Hall	2																																				
Single	X	Concrete	X	Floor Joist:	B & B	T & G	Gutters					Living	2																																				
Double	X	Reinforced		1st								Dining																																					
Duplex		Brick		2nd			Brick	Shingle	Lead	Ins.	Spns	Family																																					
Apartment		Wood		Sub-Floor			Stone	Shake				Oil Burner	Bed	5																																			
Flat-Court		Prees		Concrete Floor			WINDOWS	X	Tile		Sink		Bed																																				
Hotel							O.H. X	Coastant	Tile Trim	X	Laundry	M-O-K-U																																					
				Insulated Ceilings	X	Metel Sash	Compo;		X	Water Hlt - Auto.																																							
Units	Light	Heavy		Insulated Walls	X	Screens		Compo Shingle																																									
CONSTRUCTION RECORD										RATING (E, G, A, F, P)										BATH DETAIL																													
Permit	Amount	Date	YEAR	YEAR	Age	Remain Life	Table	%	Cond.	Arch. Func.	Attr. Plan	Con-form	Storage Space	Work-Shop	Fl.	No.	Finish	Walls	Fixtures	Type	Fin	Shower																											
No.	For		1960	1974	14	36	2-50	78	A+	A	A	A			1	2	X	X	1	1	1	1	1	1	1	1	1	1																					
SPECIAL FEATURES																																																	
Exhaust Fan										Disposal										Built-in Ref.																													
Green & Range										Dishwasher																																							

COMPUTATION

[illegible]



REMARKS NO ENTRY. APPEARS TO HAVE BEEN
REMOVED EST EFFECTIVE YEAR. AS 1960.
7/15/64
POSSIBLY A DUPLICATE OF TRIPLEX. 11-15-73

REMARKS No. 5117. Appears to have been

~~REMOVED EST SECTING YEAR AS 1960.~~

POSSIBLY A DUPLICATION OF TRIPLEX. 11-15-79

Structure	Found.	Comp.	Ext.	Root	Floor	Int.	Size, etc.
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DATE						
F. W.						
NOTES	POST	17TH	OPEN	SHED	DANCE	OPEN FOX12

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[illegible][illegible][illegible]

Source: U.S. Census Bureau, *Marriage, Divorce, Remarriage in the 1990s*.

SNOLLYC-4903 *11/16/2*

$$G^{\circ} = G^{\circ} \times \mathbb{Z}/2\mathbb{Z}$$

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$$Z^{087} = Z^{1808}$$

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H1 Guest House

ADDRESS 2275 ALISO CYN RD

ZIP
CODE 92060

PARCEL 064-0-130-275
SHEET 2 OF 8 SHEET

DOF	LIGHTING	AIR CON
-----	----------	---------

CLASS				SHAPE		CONSTRUCTION		STRUCTURAL		EXTERIOR		ROOF		LIGHTING		AIR CONDITION		ROOM AND INTERIOR FINISH DETAIL															
Type		Design		Light		Frame		Stucco on		Flat		Pitch		Wiring		Heating		Cooling		Rooms		Floors		Floor Finish		Trim		Walls		Ceiling			
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ARCHITECTURE		Sub-Standard		Standard		Above-Standard		Special		Brick		Shingle		Dormers		Avg.		Med.		Floor Unit		Ent. Hall		Living		Dining		Family		Bed		Bed	
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COMPUTATION

[illegible]

145

PARCEL 064-0-130-095

SHEET 4 OF 8 SHEETS

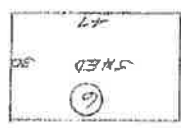
DESCRIPTION OF BUILDINGS

* BLUE #4 ESTIMATED TO BE REMOVED. COW SHEDS IN INTERIOR YARD ARE OF NO VALUE. SILOS BEHIND SHEDS ARE OF NO VALUE. SEE CANCELLED SHEETS.

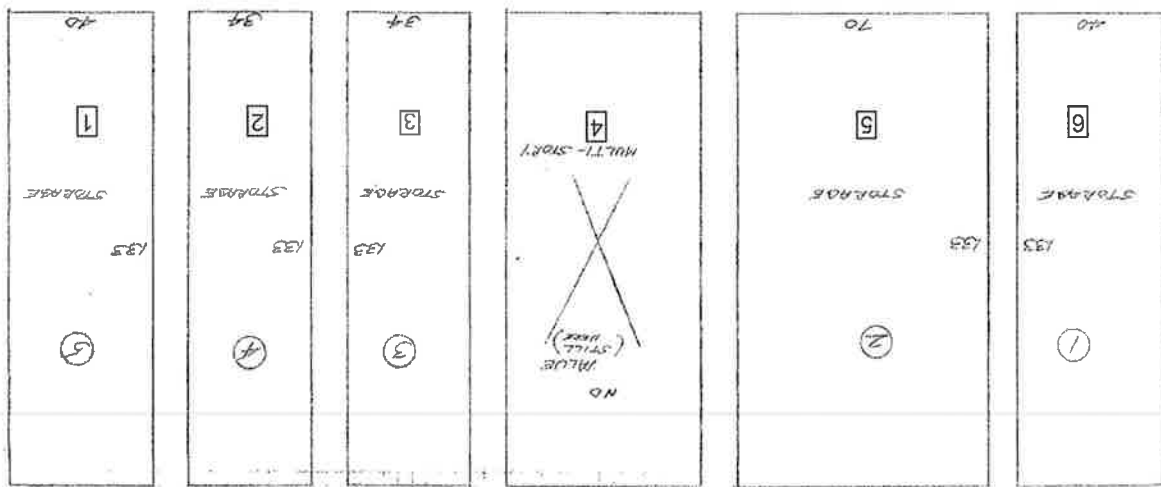
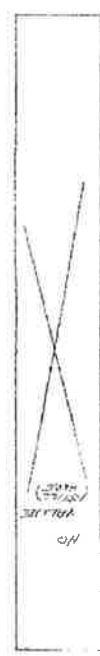
COMPUTATION

[illegible]

3 SILOS HERE ON HILLSIDE (N.Y.)



LOW SHEDS HERE (N.Y.)



H2

RES. HERE

RES. HERE

1/4 SCALE

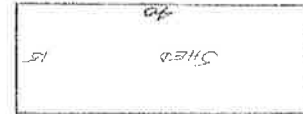
145

PARCEL 06A-0-130-095

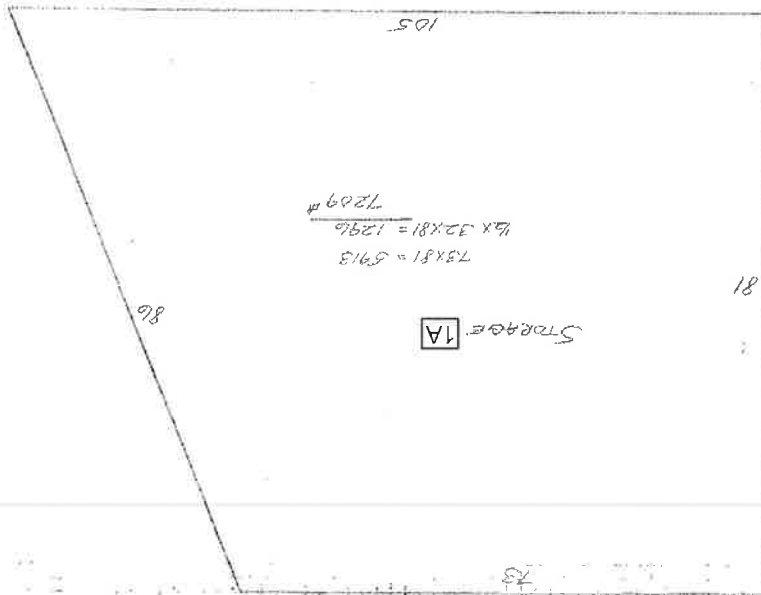
--SHEET 5 OF 8 SHEETS--

[illegible][illegible]

LOCATED IN ORDNANCE



THIS IS 1ST BLDG ON RIGHT
ALONG ENTRY ROAD



LARGE 2-STORY BLDG HERE
IN VERY POOR COND. - NO VALUE
SEE CANCELLED RECORDS.

PARGEL 064-0-150 = 045
145
SHEET 1 OF 1 SHEETS

ADDRESS: Willoughby Road

DESCRIPTION OF BUILDING

[illegible]

CONSTRUCTION RECORD				EFFECT.		APPR.				NORMAL % GOOD				RATING (E,G,A,F,P)							BATH & LAVATORY DETAIL									
Permit		Amount	Date	YEAR	YEAR	Age	Remain- ing Life	Table	%	Cond.	Arch. Attn.	Func. Plan	Con- form	Storage Space	Inter- ior Class	Work- manship	Fl.	No.	FINISH			FIXTURES				SHOWER				
	For																		Floors	Walls	Wc.	La.	Tub	Sh.	Type	Grade	Sh.	Attn.	Finish	
					1954			88%		F	A	A				A														
																	SPECIAL FEATURES													
																	Refrigeration													
																	Built-in beds													
																	Elevators													
																	Sprinklers													

COMPUTATION

Raised Milker's Dormitory and Hotel

Exhibit 6

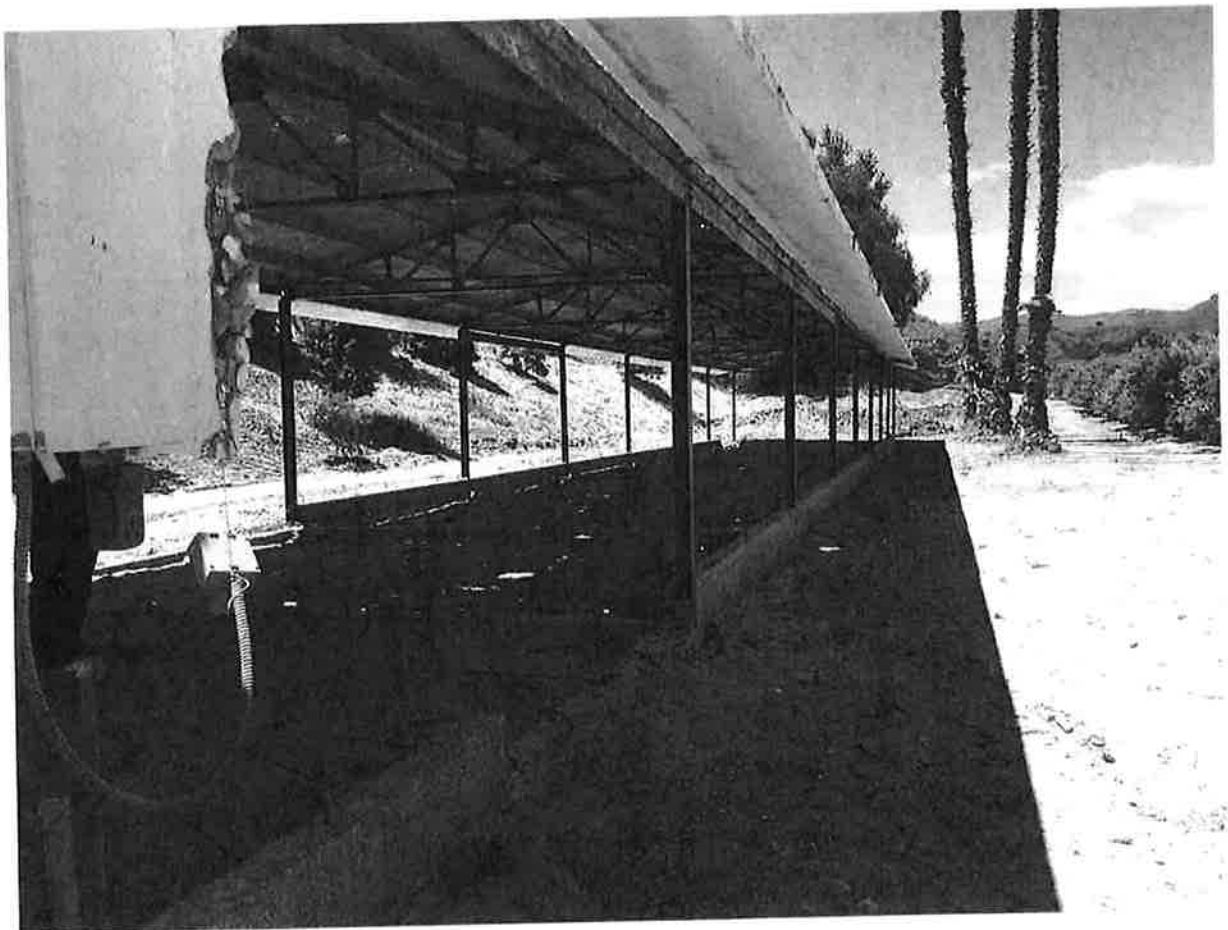
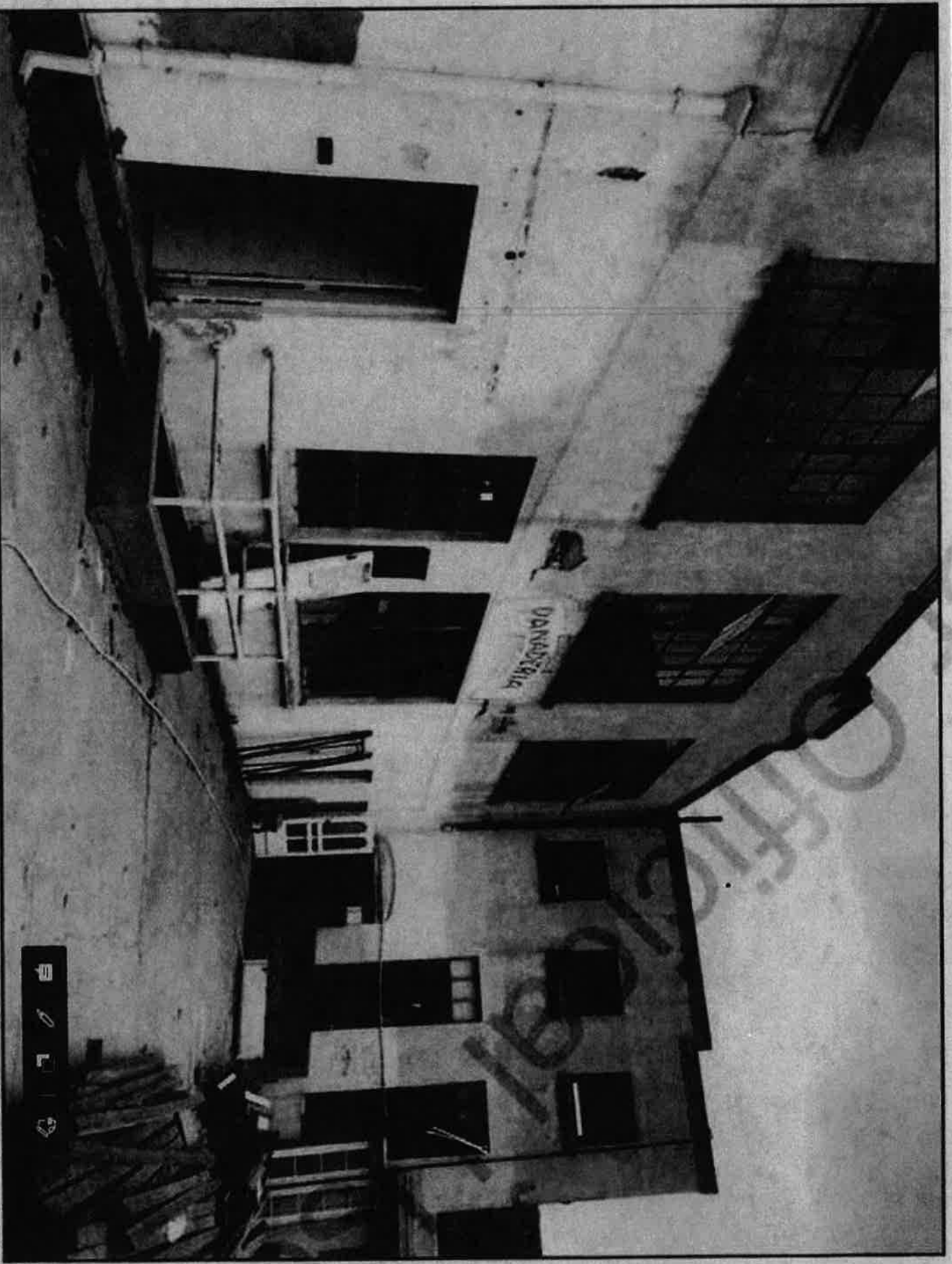


Exhibit 7



Building 4 West Elevation

Photo 6. Creamery, northern elevation. [9-27-19]





800 South Victoria Avenue, Ventura, CA 93009 • 805 654-2488 • www.vcrma.org/divisions/planning

County of Ventura
Board of Supervisors Hearing
Exhibit 17 - Applicant's Planning
Commission Appeal Form

Is the appellant a party in the application?
"aggrieved person."

. If not, state the basis for filing the appeal as an

Signature of Appellant

Date

Appeal and deposit fee of \$_____ (pursuant to fee schedule specified by Resolution No. 222
of the Ventura County Board of Supervisors) received by the Planning Division at _____(time) on
_____, 20_____.

Dave Ward, AICP
Director- Planning Division

By _____

CHAPTER 8-1

ADMINISTRATION

Note: The *California Historical Building Code*, Part 8 of Title 24, governs for all qualified historical buildings or properties in the State of California.

SECTION 8-101 TITLE, PURPOSE AND INTENT

8-101.1 Title. These regulations shall be known as the *California Historical Building Code* and will be referred to herein as “the CHBC.”

8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or reconstruction of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users. The CHBC requires enforcing agencies to accept solutions that are reasonably equivalent to the regular code (as defined in Chapter 8-2) when dealing with qualified historical buildings or properties.

8-101.3 Intent. The intent of the CHBC is to facilitate the preservation and continuing use of qualified historical buildings or properties while providing reasonable safety for the building occupants and access for persons with disabilities.

SECTION 8-102 APPLICATION

8-102.1 Application. The CHBC is applicable to all issues regarding code compliance for qualified historical buildings or properties. The CHBC may be used in conjunction with the regular code to provide solutions to facilitate the preservation of qualified historical buildings or properties. The CHBC shall be used by any agency with jurisdiction and whenever compliance with the code is required for qualified historical buildings or properties.

1. The state or local enforcing agency shall apply the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, reconstruction, rehabilitation, relocation or continued use of a qualified historical building or property when so elected by the private property owner.
2. **State agencies.** All state agencies shall apply the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, rehabilitation, safety, relocation, reconstruction or continued use of qualified historical buildings or properties.

8-102.1.1 Additions, alterations and repairs. It is the intent of the CHBC to allow nonhistorical expansion or addition to a qualified historical building or property, pro-

vided nonhistorical additions shall conform to the requirements of the regular code. See Chapter 8-2.

8-102.1.2 Relocation. Relocated qualified historical buildings or properties shall be sited to comply with the regular code or with the solutions listed in the CHBC. Nonhistorical new construction related to relocation shall comply with the regular code. Reconstruction and restoration related to relocation is permitted to comply with the provisions in the CHBC.

8-102.1.3 Change of occupancy. For change of use or occupancy, see Chapter 8-3, Use and Occupancy.

8-102.1.4 Continued use. Qualified historical buildings or properties may have their existing use or occupancy continued if such use or occupancy conformed to the code or to the standards of construction in effect at the time of construction, and such use or occupancy does not constitute a distinct hazard to life safety as defined in the CHBC.

8-102.1.5 Unsafe buildings or properties. When a qualified historical building or property is determined to be unsafe as defined in the regular code, the requirements of the CHBC are applicable to the work necessary to correct the unsafe conditions. Work to remediate the buildings or properties need only address the correction of the unsafe conditions, and it shall not be required to bring the entire qualified historical building or property into compliance with regular code.

8-102.1.6 Additional work. Qualified historical buildings or properties shall not be subject to additional work required by the regular code, regulation or ordinance beyond that required to complete the work undertaken. Certain exceptions for accessibility and for distinct hazards exist by mandate and may require specific action, within the parameters of the CHBC.

SECTION 8-103 ORGANIZATION AND ENFORCEMENT

8-103.1 Authority. The state or local enforcing agency, pursuant to authority provided under Section 18954 of the Health and Safety Code, shall administer and enforce the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, reconstruction, rehabilitation, relocation or continued use of a qualified historical building or property.

8-103.2 State enforcement. All state agencies pursuant to authority provided under Section 18954 and Section 18961 of the Health and Safety Code shall administer and enforce the CHBC with respect to qualified historical buildings or properties under their respective jurisdiction.

CHAPTER 8-3

USE AND OCCUPANCY

SECTION 8-301 PURPOSE AND SCOPE

8-301.1 Purpose. The purpose of the CHBC is to provide regulations for the determination of occupancy classifications and conditions of use for qualified historical buildings or properties.

8-301.2 Scope. Every qualified historical building or property for which a permit or approval has been requested shall be classified prior to permit issuance according to its use or the character of its occupancy in accordance with the regular code and applicable provisions of this chapter.

SECTION 8-302 GENERAL

8-302.1 Existing use. The use or character of occupancy of a qualified historical building or property, or portion thereof, shall be permitted to continue in use regardless of any period of time in which it may have remained unoccupied or in other uses, provided such building or property otherwise conforms to all applicable requirements of the CHBC.

8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

8-302.3 Occupancy separations. Required occupancy separations of more than one hour may be reduced to one-hour fire-resistive construction with all openings protected by not less than three-fourths-hour fire-resistive assemblies of the self-closing or automatic-closing type when the building is provided with an automatic sprinkler system throughout the entire building in accordance with Section 8-410.2. Doors equipped with automatic-closing devices shall be of a type which will function upon activation of a device which responds to products of combustion other than heat.

Required occupancy separations of one hour may be omitted when the building is provided with an automatic sprinkler system throughout.

8-302.4 Maximum floor area. Regardless of the use or character of occupancy, the area of a one-story qualified historical building or property may have, but shall not exceed, a floor area of 15,000 square feet (1393.5 m²) unless such an increase is otherwise permitted in regular code. Multistory qualified historical buildings (including basements and cellars) shall be in accordance with regular code requirements.

Exception: Historical buildings may be unlimited in floor area without fire-resistive area separation walls:

1. When provided with an automatic sprinkler, or
2. Residential occupancies of two stories or less when provided with a complete fire alarm and annunciation system and where the exiting system conforms to regular code.

8-302.5 Maximum height. The maximum height and number of stories of a qualified historical building or property shall not be limited because of construction type, provided such height or number of stories does not exceed that of its historical design.

8-302.5.1 High-rise buildings. Occupancies B, F-1, F-2 or S in high-rise buildings with floors located more than 75 feet above the lowest floor level having building access may be permitted with only the stories over 75 feet provided with an automatic fire sprinkler system if:

1. The building construction type and the exits conform to regular code, and
2. A complete building fire alarm and annunciation system is installed, and
3. A fire barrier is provided between the sprinklered and nonsprinklered floors.

8-302.6 Fire-resistive construction. See Chapter 8-4.

8-302.7 Light and ventilation. Existing provisions for light and ventilation which do not, in the opinion of the enforcing agency, constitute a safety hazard may remain. See Section 8-303.6 for residential requirements. See Section 8-503 for Escape or Rescue Windows and Doors.

SECTION 8-303 RESIDENTIAL OCCUPANCIES

8-303.1 Purpose. The purpose of this section is to provide regulations for those buildings designated as qualified historical buildings or properties and classified as residential occupancies. The CHBC requires enforcing agencies to accept any reasonably equivalent alternative to the regular code when dealing with qualified historical buildings and properties.

8-303.2 Intent. The intent of the CHBC is to preserve the integrity of qualified historical buildings and properties while maintaining a reasonable degree of protection of life, health and safety for the occupants.

8-303.3 Application and scope. The provisions of this section shall apply to all qualified historical buildings used for human habitation. Those dwelling units intended only for display, or public use with no residential use involved, need not comply with the requirements of this section.

8-303.4 Fire escapes. See Chapter 8-5.

8-303.5 Room dimensions. Rooms used for sleeping purposes may contain a minimum of 50 square feet (4.6 m²) floor area, provided there is maintained an average ceiling height



STATE HISTORICAL BUILDING SAFETY BOARD

April 2, 2020

Mr. James H. Smith, Esq.
Rogers, Sheffield & Campbell, LLP
152 East Carrillo Street
Santa Barbara, CA 93101

Re: Billiwhack Ranch, Ventura County – Request for Opinion Regarding Qualification
of Historical Property and Structures

Dear Mr. Smith

This letter is in response to your request for an informal opinion regarding qualification of certain buildings on the 100-acre ranch in Ventura County known as the "Billiwhack Ranch."

I have reviewed your request and attachments provided by your letter dated March 19, 2020. Based on the letter and attachments, the Billiwhack Ranch was identified as a Site of Merit in the County's Historical Resources Survey, and the all structures on the ranch were awarded National Register ratings of 3D (appears to be eligible as a contributor to a National Register eligible district). Assuming that all the buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by definition of the California Historical Building Code (CHBC), and therefore eligible for use of the CHBC.

Should you have any questions, please contact Derek Shaw, Executive Director of the State Historical Building Safety Board at (916) 324-7178.

Sincerely,

Alan Dreyfus, Chair
State Historical Building Safety Board

Everett Woody

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Friday, April 03, 2020 3:46 PM
To: Everett Woody
Cc: Thomas, Denise; RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith; Barrera, Ruben; Wright, Winston; Paniagua, Adrian
Subject: Follow up to March 16 2020 meeting -- Billiwhack Ranch: Use of Historic Building Code and Zoning Questions
Attachments: Billiwhack Ranch DPR forms.pdf; NRSC's.pdf

Case Nos. BP-C19001283; ZC-19-1390 and ZC-19-0684

Hello Everett

On March 16, 2020, staff met with you to discuss the Billiwhack Ranch project located at 2275 Aliso Canyon Road in unincorporated Ventura County (case number CV19-0100). During the meeting you wanted Planning Division Staff to advise whether the Historic Building Code may be used for this project and you wanted to know what status or decision is for the application currently under process listed above. We indicated that since your focused interest was on the historic building code, we prioritized that response which concluded this week.

With respect to the Historic Building Code, after research and consultation with the County Counsel, staff finds the Historic Building Code can be used for a portion(s) of this project. Section 18955 of the Historic Building Code states, in pertinent part, "[A] qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or such structures on existing or future national, state, or local historical registers or official inventories, [...] and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks." The Billiwhack Ranch is identified in the Western Santa Clara Survey Phase V, 1995 prepared for the County of Ventura by the San Buenaventura Research Associates (SBRA). The Department of Parks and Recreation form prepared for this property by SBRA identifies the site as eligible for listing as a District on the National Register of Historic Places (National Register Status Code 3D) (See attached Billiwhack Ranch DPR forms).

Additionally, Section 1365-5 (b)(2) of the Ventura County Cultural Heritage Ordinance states, in pertinent part, "For the purposes of this Ordinance, an improvement, natural feature or site may become a designated Cultural Heritage Site if it meets the following criteria: [...] Site of Merit – Satisfy the following criteria: 1) Sites of historical, architectural, community or aesthetic merit which have not been designated as landmarks or points of interest, but which are deserving of special recognition; and 2) County approved survey sites with a National Register status code of 5 or above." The subject site has a National Register status code in a County-approved survey of 3D, whose place in the hierarchy is higher than 5 (see attached NRSC's Document).

With respect to responses on the Zoning Clearances, a letter is being prepared which provides the information you are requesting. The letter will be finalized next week and forwarded to you under separate cover.

Thank you and stay well,

Dave Ward, AICP
Planning Director
dave.ward@ventura.org

Everett Woody

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 03, 2020 4:31 PM
To: Everett Woody
Subject: FW: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

For your information, please see below email exchange.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: James H. Smith
Sent: Friday, April 3, 2020 4:30 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good Afternoon Ms. Porche:

Thank you for your email. For whatever reason, I believe several individuals involved in this matter, certainly not yourself nor Mr. Ward, have had an inexcusable agenda, lack of understanding regarding their role and lack of knowledge regarding the applicable law involved. Moving forward, I believe it would be in everyone's best interests if the County could excuse Amanda Ahrens and Denice Thomas from further involvement in this Project. How those 2 individuals, in the positions they hold with the County, could have so misunderstood the application of the Historical Building Code to this project is an absolute mystery, which cost my client tens of thousands of dollars.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: Porche, Marina [<mailto:Marina.Porche@ventura.org>]
Sent: Friday, April 3, 2020 4:15 PM
To: James H. Smith <james@rogerssheffield.com>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good afternoon Mr. Smith,

Without agreeing with your characterization of the County's course of conduct, I appreciate the additional information that you have set forth in your email. I am copying Principal Assistant County Counsel Jeffrey Barnes and Assistant County Counsel Charmaine Buehner on this reply, because after Mr. Ward asked me to provide a legal opinion during that meeting, County Counsel management determined that others within the County Counsel Office could more appropriately respond to Mr. Ward's request. Mr. Barnes and Ms. Buehner are involved with that effort. I want to provide Mr. Barnes and Ms. Buehner with the benefit of the information that you have presented in your email, and I defer to them to determine who should further respond to your email.

Regards,

Marina Porche
Assistant County Counsel
800 South Victoria Avenue, L/C #1830
Ventura, CA 93009

Tel (805) 654-2583
Fax (805) 654-2185

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 3, 2020 3:56 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>
Subject: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Good Afternoon Ms. Porche:

The purpose of this email is to follow-up on the meeting we attended regarding the above referenced project on March 16, 2020. As you are aware, due to indecision by County, and conflicting positions by its various departments, the County has failed to further review the Project and has refused to issue the requested *Certificate of Appropriateness*. From our meeting of March 16, it is clear that the County is struggling with whether the Project to restore the historic structures does or does not fall under the Historic Building Code and, to a lesser degree, whether the main structure was or was not used as a main residence. This position seems to be perpetuated by several individuals that were attending the meeting that, in my opinion, were less

than informed regarding the applicable law. This of course is curious as a permit was issued allowing application of the Historic Building Code for structural repairs to the "main residence (Building #4)". That permit has not been revoked. Additionally, substantial documentation has been provided to the County, including a *Historical Resource Report*, all of which overwhelmingly establish the historical significance of the buildings and the use of Building #4 as a main residence.

At the conclusion of our March 16 meeting, it was my understanding that David Ward requested you to provide an opinion as to whether the Historic Building Code applies to the structures in question. I understood you would be making that determination within 2 weeks of our meeting of March 16, 2020. To date, I have not been informed that any progress has been made with respect to the foregoing. Additionally, no one at the County is responding to my client's inquiries regarding this matter. I certainly understand that you would like to carefully look into the issue. However, given the facts and circumstances, together with the documentation provided, it does not seem to be an overly complex issue.

Simply stated, our client believes the structures on the site may be restored using the California Historical Building Code. The grounds for qualification require the buildings to be designated as a historical building or structure. Under Section 18955 of the Health & Safety Code, a qualified historical building or structure is:

"...any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction."

As is apparent from the foregoing section, a property or structure qualifies for the California Historical Building Code if it is on a state or county register of inventories of historical or architectural significant sites. Our client's property and structures appear as a "Site of Merit" on an official county inventory of historical sites, **and are listed in a state record of historical resources**. Therefore, the Ranch and its structures qualify as a historical property and structures under Health and Safety Code section 18955.

The failure of the County to apply the applicable law to this Project, and issue the necessary approvals and permits, which the County is charged with responsibility to do, is costing my client a considerable amount of money arising from being denied the use of the property, which is slowly morphing into a taking by the County of Ventura. It was my understanding that we were attempting to work together to allow this Project to proceed thereby protecting the historic character of the property. Unfortunately, it appears several individuals in the County are doing everything possible to delay and increase the cost of this Project. Not only is that wrong, it is also contrary to Section 8107-37.1 which is very clear in its dictates when it comes to Cultural Heritage Sites: "*The purpose of this designation is to promote the enhancement, preservation, rehabilitation, restoration, reconstruction and maintenance of sites and structures of historical and cultural heritage value through the imposition of design standards. Fulfillment of this purpose can be impeded by strict adherence to various standards in the Zoning Ordinance. Therefore, this section promotes the stated purpose by creating a mechanism whereby appropriate deviations from the regulations of this chapter can be granted.*"

Finally, if there is any remaining doubt regarding the application of the Historic Building Code to this Project, I encourage your review of the attached letter, dated April 2, 2020, from the State Historical Building Safety

Board, which states the obvious ***"Assuming that all buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by Definition of the California Historic Building Code (see HBC), and therefore eligible for use of the CHBC."***

Given the foregoing, further delay is simply unacceptable to my client. I would appreciate hearing from you regarding this matter at your earliest convenience.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

☎ 805.963.9721 ☎ 805.845.2356

rogerssheffield.com

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Ventura County Cultural Heritage Board Minutes

August 12, 2019 at 1:15 p.m.– Item 3b

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **11:00 A.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 2275 ALISO CANYON ROAD, SANTA PAULA, CA 93060 (BILLIWHACK RANCH)**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

A quorum could not be established, meeting was not called to order. The tour was still given to Staff and CHB members present however, CHB members present were instructed that they could not have any discussion or ask questions.

3. **1:15 P.M. CONVENE THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 800 S. VICTORIA AVENUE, VENTURA, CA 93009 (VENTURA COUNTY GOVERNMENT CENTER, ADMINISTRATION BUILDING, ATLANTIC CONFERENCE ROOM, SECOND FLOOR).**

4. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Gary Blum, John Kulwiec, Ricki Mikkelsen and Stephen Schafer.

CHB Members Absent:

Miguel Fernandez, Phil Englander, Darwin McCredie

Staff Present:

Denice Thomas, Cultural Heritage Program Manager

Ashley Cook, Cultural Heritage Planner.

5. **APPROVAL OF AGENDA**

- 6.a. **Vote to approve the July 12, 2019 Agenda**

CHB Member Mikkelsen made a motion to approve the agenda. CHB Member Kulwiec seconded the motion. Motion Passed; 4-0.

7. **PUBLIC COMMENTS**

8. **CONTINUED ITEMS**

None.

9. **NEW BUSINESS**

9.a. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No. CH19-0021)

Disclosures:

CHB Member Schafer disclosed that he was in attendance at the tour earlier in the day. CHB Member Kulwiec disclosed that he was also in attendance at the tour earlier in the day as well.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos as well as the history of the site. He answered questions from the CHB members.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

1. **CONDUCT** public hearing, **RECEIVE** oral and written testimony, and **CONSIDER** the County Planning staff report and all exhibits and attachments hereto; and,
2. **MAKE** the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.
3. Based on the preceding evidence and analysis, **APPROVE** a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Photo Presentation by CHB Member Schafer

CHB Member Schafer presented the photos taken during the tour earlier that day at the project site.

Deliberation and Recommendation:

CHB Member Schafer asked the applicant questions regarding the significance of some the character defining features. CHB Member Schafer had concerns with removing the original Dutch doors on Building 2 as they could be considered character defining features. CHB Member Schafer agreed with Staff that the tower element should not be raised as this could create conjectural feature. CHB Member Schafer mentioned that without

Everett Woody

Subject: FW: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

From: James H. Smith

Sent: Friday, April 17, 2020 4:37 PM

To: Ward, Dave <Dave.Ward@ventura.org>

Cc: 'Ruben.Barrera@ventura.org' <Ruben.Barrera@ventura.org>; 'Porche, Marina' <Marina.Porche@ventura.org>; 'adrian.paniagua@ventura.org' <adrian.paniagua@ventura.org>; 'Amanda.Ahrens@ventura.org' <Amanda.Ahrens@ventura.org>

Subject: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Dear Mr. Ward:

1. Your denial letter dated 04.14.2020 fails to disclose some key facts that attempts have been made to satisfy the violation items a-d listed in your notice of violation dated 06.25.2019. We submitted drawings to the Cultural Heritage Board (CHB) that would have satisfied the violations. The staff report was prepared and presented to the CHB on 08.12.2019 to approve the project as submitted. Board member Schaffer and staff member Denise Thomas stated as a point of fact that the property would require **Landmark Status** in order to use the California Historical Building Code (CHBC). To set the record straight we received a letter from the State Historical Building Safety Board stating the Billiwhack Ranch was eligible for use of the CHBC and subsequently the County conceded that we may use the CHBC. If staff was informed about the use of the CHBC we would have an approved Certificate of Appropriateness and the code compliance case against our property would be satisfied and the historic preservation of the property would be protected.

Applying the below sections of the CHBC as agreed would resolve the code compliance case:

- a. *"8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or **reconstruction** of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users."*
- b. *"Section 8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code."*

Therefore; (1) if the CHBC applies as the County has conceded in your email dated April 3, 2020 and; (2) Sections 8 -101.2 & 8-302.2 mean what they say, and in particular *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the*

requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code", I would appreciate your assistance in informing me how you reconcile the application of the CHBC with the reasons for your denial as set forth in points 1 through 4, starting on page 3, of your denial letter dated April 14, 2020.

2. Your correspondence of April 14, 2020, also leaves unanswered the status the Building Permit that was issued for the Project (B19-000857). That Permit was issued for the structural repair of the of the "main residence." Your attention is directed to the Construction Permit Application wherein the Structural Type is shown to be *"Residential"*. The Description of Work in the Application is stated to be *"Structural repair of an existing 17,939 square-foot main residence. (Building 4)."* The occupancy on the Permit is shown to be *"R-3"*. In reliance on that Permit, and in anticipation that the structure would be used, and in fact can be used under the CHBC, as a residence, over \$750,000 has been spent. In your denial letter of April 14, at page 4, you state *"The request to convert the creamery to the principal dwelling and utilize the existing dwelling as an accessory dwelling unit is denied because H-1 is too large to be designated as an accessory dwelling unit."* That of course raises several issues: (1) Is it your position that the Building Permit issued for the Project (B19-000857) has been unilaterally revoked by the County?; (2) Is it your position that the County of Ventura can disregard Section 8-302.2 of the CHBC which states: *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historic use or character, provided the qualified historical building or property conforms to the requirements applicable to the use or character of occupancy as set forth in the California Historic Building Code. Such change in you shall not mandate conformance with new construction requirements as set forth in regular code."*

Unfortunately, it appears that at each step taken by the County, rather than clarify and assist the Owner of the property, the County appears intent on further clouding the issues and obstructing the Project. Your prompt response in clarifying the position of the County, with respect to the unreconciled issues now created by your denial letter of April 14, 2020, will be appreciated.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

t 805.963.9721 f 805.845.2356

rogerssheffield.com

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Cultural Heritage Board Meeting 08.12.2019

Transcription.

[Member Schafer] The most important part of all of Judy's. 523 forms is this really boring one at the very end with no photographs. That is the district record. So I want to state on the record that I think everything is a district in the way that [inaudible] has told me. And the way I remember how to operate under a district is the district is the property. So we're not looking at any one building we are always looking at how it affects the district. It's definitely a district and my opinion is it's probably a national register eligible district and I think before any work is done if there is a condition or if conditions are to be put on this historic American building survey photography should be done because what I did was basically a quick record of what needs to be captured before it changes. I think. There's a lot of value showing it as is and putting that in the Library of Congress before it changes. And I think there can be varied changes that so I'm not opposed to that. I also can't imagine this doesn't need a discretionary permit at some point at the end of this and if it does the whole of the action becomes discretionary.

[Denise Thomas] Correct.

[Member Schafer] And it's so I think [inaudible].

[Denise Thomas] So here's Denise Thomas planning in response to that comment. So essentially what they've done is they're coming in for a piece of an overall project. And the way that CEQA is interpreted is the whole of the action once a discretionary permit is required the whole of the action becomes important and you have to evaluate for environmental impact reasons the whole of the action. And right now they're in for a certificate of appropriateness. But if at the end of it say for instance some sort of discretionary permit is required a CUP or some sort of a permit that requires the planning director approval Planning Commission approval or for a supervisor approval then this is subject to CEQA. And then you will have to do a CEQA determination whether or not the impacts of what they want to do will adversely impact the resource. We seem to be in front of that because right now you're only getting a piece of it. They want a COA to do the interior remodel and to change out these doors and windows. If at the end of this it's determined that for them to have those caretaker units that they want or for them to be able to change the site they need some sort of a discretionary permit. Then it changes what your review is. And you could have approved the COA prior to doing any kind of CEQA analysis and so it's the cart. It could be construed as the cart before the horse. It's unclear at this stage what. Which one is going to come first because the owner could say I just want to do this renovation and stop. Well if they only want to do this renovation and stop you're only reviewing this is a COA. But if they want to do something more than this renovation like make those two caretaker units and they exceed what the ministerial limits are in our code then all of a sudden it's a different review for you. And so you do have the ability to place conditions on the COA. That's the good news. So in the event that a discretionary permit is required you know you could trigger your COA approval possibly. But at this stage what's in front of you right now is not a CEQA analysis

it's a certificate of appropriateness for these renovations. And that's what you are charged with reviewing.

[Member Schafer] So the second part of that is I'm saying. [inaudible] As well as I can't see them doing major structural repairs under the secretary of interior standards because they would require either the historic building code Or new code. New codes going to destroy more things that are there. Historic Building Code is only applicable To certified buildings. So It's not certified.

[Denise Thomas] No it's not.

[Member Schafer] So that means that, No bueno there.

[Denise Thomas] You could condition it. If the applicant certification or being designated as a county landmark or national or state landmark is within the board's purview. And it's also the applicants choice. So the applicant can come voluntarily and say we want a landmark. This is a district. And then that could get them the historic building code would kick in. And this is a shameless plug but that's the topic that you're going to be discussing when we do our training our CLG training is going to be on this historic building code. They could do that and that would back them in. Could back them into the historic building code. They choose not to. The board has the ability to designate a district over the objections of the applicant as long as the applicant is given advance notice. We have never done that because we'd like to work with property owners as opposed to setting up an adversarial situation. But it is possible. So That's my input



County of Ventura
Board of Supervisors Hearing
Exhibit 18 - Code Compliance
Division Site Inspection Photo of
Caretaker Dwelling (Building H2)



County of Ventura
Board of Supervisors Hearing
Exhibit 19 - Code Compliance
Division Site Inspection Photo of
Creamery Building (Bldg 4)











County of Ventura
 Planning Commission Hearing
 PL20-0032
 Exhibit 19 – Photographs of Creamery
 Building (Building 4)



STATE HISTORICAL BUILDING SAFETY BOARD

April 2, 2020

Mr. James H. Smith, Esq.
Rogers, Sheffield & Campbell, LLP
152 East Carrillo Street
Santa Barbara, CA 93101

Re: Billiwhack Ranch, Ventura County – Request for Opinion Regarding Qualification
of Historical Property and Structures

Dear Mr. Smith

This letter is in response to your request for an informal opinion regarding qualification of certain buildings on the 100-acre ranch in Ventura County known as the "Billiwhack Ranch."

I have reviewed your request and attachments provided by your letter dated March 19, 2020. Based on the letter and attachments, the Billiwhack Ranch was identified as a Site of Merit in the County's Historical Resources Survey, and the all structures on the ranch were awarded National Register ratings of 3D (appears to be eligible as a contributor to a National Register eligible district). Assuming that all the buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by definition of the California Historical Building Code (CHBC), and therefore eligible for use of the CHBC.

Should you have any questions, please contact Derek Shaw, Executive Director of the State Historical Building Safety Board at (916) 324-7178.

Sincerely,

Alan Dreyfus, Chair
State Historical Building Safety Board

County of Ventura
Board of Supervisors Hearing
Exhibit 20 - April 2, 2020 Letter from
the State Historical Building Safety
Board to James H. Smith, Esq.

August 27, 2020

Planning Commission Hearing

Appeal of the Denial to Issue Zoning Clearances Billiwhack Ranch, LLC., Applicant/Appellant Case No. PL20-0032



Resource Management Agency, Planning Division
Franca A. Rosengren, Case Planner

County of Ventura
Board of Supervisors Hearing
Exhibit 21 - Staff's Planning
Commission Powerpoint

Public Comments



CASE NUMBER PL20-0032 – Agenda Item #8

Please email your comments, 250 words or less, to:

Planning.PCComments@ventura.org

Please indicate in the Subject Line: Agenda Item #8

Staff will read your comment to the Planning Commission.

The Chair will announce the final time period to receive any comments.



Central Reasons for Denial

- Scope of Work does not conform to the regulations of the Non-Coastal Zoning Ordinance.
- The submitted plans included erroneous information and inaccurately identified the existing, legal uses of the buildings on the property.
- Planning staff cannot make the findings to issue a Zoning Clearance.

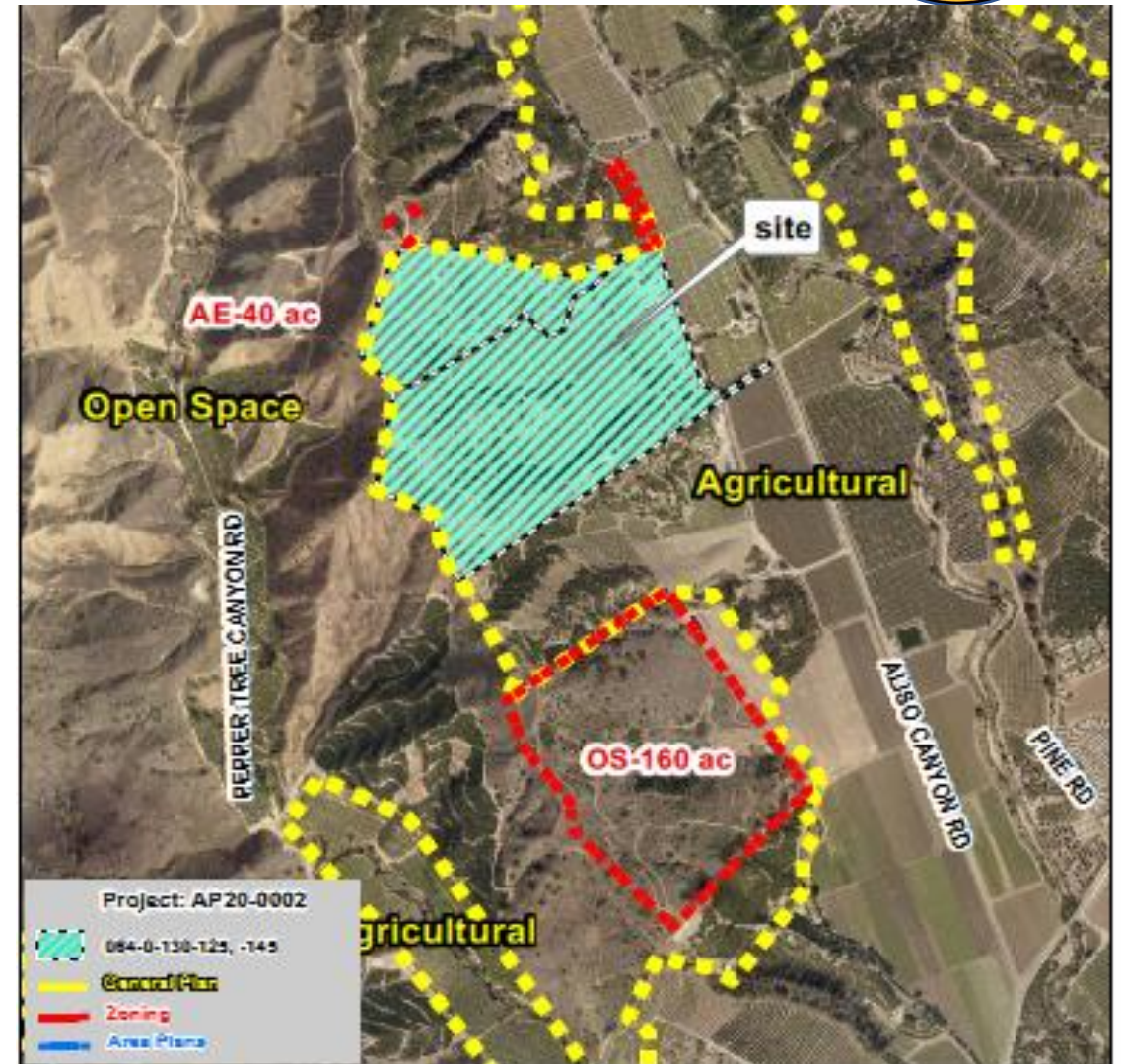
Project Location



Address: 2275 Aliso Canyon Road,
unincorporated area of Santa Paula

General Plan Land Use Designation:
Agriculture

Zoning: Agricultural Exclusive – 40 Acres
Minimum Lot Size, (AE-40ac)



Aerial



- Combined total of approx. 97 acres
- Approx. 60 acres of planted crops

RESOLUTION NO. _____

**VENTURA COUNTY BOARD OF SUPERVISORS RESOLUTION MAKING FINDINGS
OF FACT AND CONCLUSIONS OF LAW REGARDING PLANNING DIVISION CASE
NUMBER PL20-0032 (APPEAL OF DENIAL OF ZONING CLEARANCES 19-0684
and 19-1390) REGARDING BILLIWHACK RANCH**

RECITALS

1. The subject property known as the Billiwhack Ranch is located at 2275 Aliso Canyon Road, in the unincorporated area of Ventura County, in the Area of Interest of the City of Ventura;
2. The Billiwhack Ranch is identified as a Site of Merit by the Western Santa Clara Valley Historic Resources Survey commissioned by the County of Ventura, Resource Management Agency and has been identified as being potentially eligible for listing in the National Register through the California Office of Historic Preservation;
3. The existing buildings on the Billiwhack Ranch were constructed approximately between 1925 and 1926 and are considered legal nonconforming buildings since they were constructed prior to 1947, the date the County's Zoning Ordinance and Building Code were adopted;
4. The most recent transfer of ownership of the Billiwhack Ranch occurred on December 20, 2018, to Billiwhack Ranch LLC (applicant or property owner), which leased the property to R.A. Cortez, Inc., a Los Angeles-based general building contracting company, for a 35-year period;
5. In early 2019, the County of Ventura Code Compliance Division (CCD) received a complaint that the property was being used for a commercial and industrial business without the required permits and, on May 25, 2019, the CCD conducted a site inspection of the property and found unpermitted alterations, construction, demolition and changed uses of structures;

Notice of Violation CV19-0100

6. On June 25, 2019, the CCD issued a Notice of Violation (NOV) CV19-0100 to the property owner for alterations, construction, demolition and change of uses of structures without the required permits;
7. The property owner did *not* file an appeal of the violations outlined in NOV CV19-0100 to the Planning Commission;
8. On September 24, 2019, a Notice of Noncompliance was recorded against the property for the unresolved violations outlined in NOV CV19-0100;

Zoning Clearance Application Nos. ZC19-0684 and ZC19-1390

9. On June 19, 2019, prior to the formal issuance of NOV CV19-0100, the property owner's representative submitted to the Planning Division a Zoning Clearance Application No. ZC19-0684 and a Cultural Heritage Board Certificate of Appropriateness (COA) Application No. CH19-0021¹ to be reviewed simultaneously to authorize after-the-fact unpermitted alterations to the historic property;
10. On July 9, 2019, the Planning Division issued a correction notice to the property owner advising that in order to continue further review of Zoning Clearance Application No. ZC19-0684, additional information was needed regarding the legal nonconforming status of the caretaker dwelling (Building H2 identified on site plan), the proposed and existing uses for each building, the floor and elevation drawings for each building, and the actual total acreage of crops on the property to verify the number of allowed farmworker dwelling units to verify compliance with the regulations of the Non-Coastal Zoning Ordinance (NCZO);
11. On August 14, 2019, the property owner submitted a separate Zoning Clearance Application No. ZC19-0896 (not part of this appeal) to authorize structural repairs to the creamery building (i.e., Building 4). On August 29, 2019, Zoning Clearance Application No. ZC19-0896, administrative COA No. CH19-0027, and Building Permit No. B19-000857 were issued to the property owner specifically for the structural repair of the creamery building. Building Permit No. B19-000857 for the repair to the creamery building is still active and several building inspections have been conducted;
12. On December 19, 2019, the property owner submitted a second Zoning Clearance Application No. ZC19-1390 to request to separate-out the proposed interior remodel of the creamery building (i.e., Building 4) from the original Zoning Clearance Application No. ZC19-0684;
13. On December 20, 2019, the property owner's representative requested and received an Early Plan Check Agreement from the Planning Division for Zoning Clearance Application No. ZC19-1390 pending zoning approval of the project;
14. On February 13, 2020, CCD staff and the property owner's representative met to discuss the unresolved violations;
15. On March 16, 2020, CCD staff, Planning Division staff, and Building and Safety staff held a joint meeting with the property owner's representative (the property

¹ COA Application No. CH19-0021 was ultimately denied by the Cultural Heritage Board on September 9, 2019. The Cultural Heritage Board did approve one aspect of the overall project – the stabilization and structural repair of a failing portion of the creamery building (i.e., Building 4 on the site plan) – which was approved by way of COA No. CH19-0027.

owner was not present). County staff advised the property owner's representative that the proposed project under Zoning Clearance Application No. ZC19-0684 was inadequate and that a revised project description was needed to accurately reflect the existing and proposed uses in order to determine which land use entitlement(s) would be required for the new scope of work and to show compliance with the NCZO;

16. On April 3, 2020, the Planning Director advised the applicant's representative that the California Historic Building Code (HBC) may be applied to those structures that qualify under this code, since the property is identified as eligible for listing as a district on the National Register of Historic Places pursuant to Historic Building Code section 18955;
17. On April 14, 2020, the Planning Division issued the property owner a Zoning Clearance Denial letter for Zoning Clearance Application Nos. ZC19-0684 and ZC19-1390, which included detailed reasons for the denials and provided potential solutions to comply with the regulations of the NCZO;
18. On April 20, 2020, the property owner submitted a timely appeal of the Planning Director's decision to deny the Zoning Clearance Applications;
19. On August 27, 2020, a Planning Commission appeal hearing was held, and the Planning Commission adopted Resolution 20-11 by a unanimous vote (5-0), denying Zoning Clearance Application Nos. ZC19-0684 and ZC19-1390, denying related Appeal No. PL20-0032, and declining to refund any appeal fees; and
20. On September 8, 2020, the property owner timely appealed the Planning Commission's decision to the Ventura County Board of Supervisors;
21. A de novo hearing was originally scheduled before the Board of Supervisors on March 16, 2021. The hearing was postponed at the request of the property owner. The subject appeal hearing was then rescheduled for April 27, 2021, but was again postponed at the request of the property owner;
22. On October 5, 2021, the Board of Supervisors conducted a de novo public hearing regarding the denial of Zoning Clearance Nos. ZC19-0684 and ZC19-1390 (Case No. PL20-0032). In conjunction with this hearing, the Board reviewed and considered the County staff letter and all exhibits thereto, and considered all evidence, comments and testimony received during the public hearing process.

FINDINGS OF FACT AND CONCLUSIONS OF LAW

NOW THEREFORE, the Board hereby adopts the following findings of fact and conclusions of law:

23. All statements of fact set forth in the **RECITALS** section above are incorporated herein by this reference;

24. NCZO section 8111-1.1.1.b sets forth the requirements that must be met in order for a Zoning Clearance to be approved by the County, and provides as follows:

“[A] zoning clearance shall be issued if the proposed use of land, structures, or construction:

- (1) Is permissible under the present zoning on the land and complies with the standards of Division 8, Chapter 1 and 2 of the Ordinance Code;*
- (2) Is compatible with the policies and land use designations specified in the General Plan;*
- (3) Complies with the applicable terms and conditions of any applicable permit or other entitlement granting the use in question, and the decision granting said permit is considered “effective” pursuant to Sec. 8111-4.4;*
- (4) Is not located on the same lot where a violation exists of standards found in said Chapters 1 and 2 or of any Ventura County Ordinance regulating land use, such as the Ventura County Building Code or any grading ordinance, or of the terms of an existing permit covering the lot, unless the Zoning Clearance is necessary for the abatement of the existing violation;*
- (5) Is not being requested by or for the same party that owes the County fees or billings, fines, civil penalties, or forfeitures associated with this Chapter;*
- (6) Is consistent with portions of the County Hazardous Waste Management Plan which identify specific sites or sitting criteria for hazardous waste facilities;*
- (7) Is located on a legal lot;*
- (8) Is being undertaken by an owner and/or tenant, who, along with the associated contractors or agents, are in compliance with the Ventura County Business License Tax Ordinance;*
- (9) Is determined to be consistent with conditions and requirements established by the Ventura Countywide Stormwater Quality Management Program, National Pollutant Discharge Elimination System (NPDES) Permit No. CAS06339 and the Ventura Stormwater Quality Management Ordinance No. 4142 and as these permits and regulations may be hereafter amended; and*
- (10) Has, in the case of a designated or potentially eligible Cultural Heritage Site been issued a Certificate of Appropriateness or is otherwise authorized to proceed with the project in compliance with that ordinance. Any Zoning Clearance requested for a designated historic site issued a Planning Development permit pursuant to Sect. 8107-32 et seq. must also comply with the provision of that permit.*

25. NCZO section 8113-6.1.2, which applies to nonconforming structures such as those subject of Zoning Clearance Application Nos. ZC19-0684 and ZC19-1390, states that “[w]henver any such structure is voluntarily removed, damaged or destroyed to the extent of more than 50 percent of its floor or roof area which existed before destruction, no structural alterations, repairs or reconstruction shall be made unless every portion of such structure and the use are made to conform to the regulations of the zone classification in which they are located.”

Zoning Clearance No. ZC19-0684

26. Zoning Clearance Application No. ZC19-0684 seeks to legalize and permit the “remodel and structural repair of an existing 2,646 square foot five (5) bedroom caretaker dwelling year built circa 1926 [Building H2], remodel and structural repair of an existing 17,310 square foot five (5) bedroom residence year built circa 1926 [Building 4], remodel of an existing 4,564 square foot four (4) bedroom caretaker dwelling unit year built circa 1926 [Building 2], and interior remodel of an existing 2,385 square foot four (4) bedroom guesthouse year built circa 1926 [Building H1].”
27. The property owner’s Zoning Clearance applications indicate that the property is currently developed with four dwelling units totaling 27,399 sq. ft. gross floor area (identified on the plans as Buildings 2, 4, H1, and H2), six agricultural accessory buildings totaling 39,060 sq. ft. in gross floor area, three grain silos, and is planted with 82 acres of crops;
28. County records show that the property was legally developed with (and currently contains) only two dwelling units (identified on the plans as Buildings H1 and H2) totaling 4,992 sq. ft., a two-story agricultural creamery building (identified on the plans as Building 4), seven additional agricultural buildings totaling 37,613 sq. ft., and three grain silos;
29. Zoning Clearance Application No. ZC19-0684 provides an incorrect label on the site plan showing 82.50 acres in crop production when there is only approximately 56 acres in crop production on the property according to the County’s Geographical Information System (GIS);
30. Zoning Clearance Application No. ZC19-0684 provides an incorrect label of Building 4 as an existing “five (5) bedroom residence,” although this building has never been legally permitted as a dwelling and is shown in County records as an agricultural creamery building;
31. Zoning Clearance Application No. ZC19-0684 provides an incorrect label of Building H2 as an “existing caretaker dwelling,” although all the walls and the floor have been voluntarily demolished, leaving only a steel frame supporting a concrete roof;

32. Zoning Clearance Application No. ZC19-0684 provides an incorrect label of Building 2 as an “existing caretaker dwelling,” although this building has never been legally permitted as a dwelling and is shown in County records as a barn;
33. Zoning Clearance Application No. ZC19-0684 fails to meet NCZO section 8111-1.1.1.b, subdivision (1), a prerequisite to the granting of a Zoning Clearance. Section 8111-1.1.1.b, subdivision (1) provides that a zoning clearance shall be issued only if *“the proposed use of land, structures, or construction”... “[i]s permissible under the present zoning on the land and complies with the standards of [the NCZO].”*
34. The Billiwhack Ranch is approximately 97 acres in size and is located in the AE (Agricultural Exclusive) Zone. The AE Zone allows a principal dwelling, an accessory dwelling unit (ADU) of 1,800-sq. ft. (NCZO, § 8107-1.7.2(a)(3)), and a maximum of 1,800 sq. ft. farmworker dwelling unit (i.e., one farmworker dwelling unit for each 40 acres of planted orchards or row crops) (NCZO, § 8107-26.1 and -26.2) that can be permitted with a ministerial Zoning Clearance;
35. Permitting the illegal conversion of a barn to a 4,564 sq. ft. caretaker dwelling unit (Building 2) by way of a ministerial Zoning Clearance would not be “permissible under the present zoning under the land” nor “compl[y] with the standards of [the NCZO]” because the proposed dwelling is larger than the 1,800 sq. ft. maximum allowed pursuant to NCZO section 8107-26.1 and -26.2. NCZO section 8107-26.1 provides a table of agricultural land uses (e.g., grazing, field crops) and the maximum number of farmworker/animal caretaker dwelling units allowed per acres in crops (i.e., one unit per 40 acres of orchards). NCZO section 8107-26.2 states: *“No farmworker or animal caretaker dwelling units ministerially approved for construction after June 27, 1995, shall exceed 1,800 square feet in gross floor area. A CUP for a farmworker or animal caretaker dwelling unit exceeding 1,800 square feet may be granted for compelling reasons.”* Because the proposed dwelling is larger than 1,800 sq. ft., this requirement for the issuance of a Zoning Clearance cannot be met.
36. Permitting the redesignation of the existing 2,385 sq. ft. single-family dwelling (Building H1) to an ADU by way of a ministerial Zoning Clearance would not be “permissible under the present zoning under the land” nor “compl[y] with the standards of [the NCZO]” (NCZO, § 8111-1.1.1.b(1).) because the existing 2,385 sq. ft. single-family dwelling exceeds the maximum size allowed for an ADU pursuant to NCZO section 8107-1.7.2.a(3). NCZO section 8107-1.7.2.a(3) states: *“lots that are 10 acres or more in area are allowed an accessory dwelling unit up to 4 bedrooms and a gross floor area of 1,800 square feet.”* Because the proposed size of the ADU exceeds 1,800 sq. ft., this requirement for the issuance of a Zoning Clearance cannot be met.
37. The property owner’s Zoning Clearance application ZC19-0684 also fails to meet the requirements of NCZO section 8111-1.1.1.b, subdivision (1) because the

proposed reconstruction of the 2,646 sq. ft. caretaker dwelling (Building H2) by way of a ministerial Zoning Clearance does not comply with the nonconforming use provisions of the NCZO. Building H2 is governed by the provisions of the NCZO applicable to nonconforming structures, including NCZO section 8113-6.1.2, because Building H2 was constructed prior to the adoption of the NCZO in 1947. NCZO section 8113-6.1.2 states: *“Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of more than 50 percent of its floor or roof area which existed before destruction, no structural alterations, repairs or reconstruction shall be made unless every portion of such structure and the use are made to conform to the regulations of the zone classification in which they are located.”* Building H2 was constructed circa 1926 as a 2,646 sq. ft. dormitory for farmworkers. Upon taking ownership of the property, the property owners voluntarily demolished all of the walls and floor of Building H2. Because more than 50 percent of the nonconforming building was voluntarily demolished, Building H2 lost its nonconforming status as a dwelling pursuant to NCZO section 8113-6.1.2 and is required to meet current code standards pertaining to dwellings. The proposed 2,646 sq. ft. farmworker dwelling unit exceeds the 1,800 sq. ft. maximum size allowed for a ministerial farmworker dwelling unit pursuant to NCZO section 8107-26.2. Similarly, based on the number of acres of crop production on the property (i.e., approximately 56 acres), only one 1,800 sq. ft. farmworker dwelling is allowed with a ministerial Zoning Clearance pursuant to NCZO section 8107-26.1. Therefore, Building H2 cannot be permitted by way of a ministerial zoning clearance.

38. Zoning Clearance Application Nos. ZC19-0684 also fails to meet the requirements of NCZO section 8111-1.1.1.b, subdivision (4), which states that a Zoning Clearance shall only be issued if it *“[i]s not located on the same lot where a violation exists of standards found in [the NCZO]... or the terms of an existing permit covering the lot, unless the Zoning Clearance is necessary for the abatement of the existing violation.”* The proposed interior remodel of the existing single-family dwelling (Building H1) is not part of the existing violation (Case No. CV19-0010). Building H1 is “located on the same lot where a violation exists” and is not “necessary for the abatement of the existing violation.” (NCZO, § 8111-1.1.1.b(4).) The permitting of the remodel of the existing single-family dwelling would not be permissible under NCZO section 8111-1.1.1.b, subdivision 4, and therefore, this requirement for the issuance of a Zoning Clearance cannot be met.

Zoning Clearance No. ZC19-1390²

39. Zoning Clearance Application ZC19-1390 seeks to *“separate the interior remodel of the 17,310 sq. ft. [gross floor area] main residence [Building 4] from the request in ZC19-0684.”*

² The applicant’s request for zoning clearance regarding Building 4 was originally set forth in ZC19-0684 and is identical to that requested in ZC19-1390. The applicant’s request as to Building 4 in ZC19-0684 is denied for the same reasons as those set forth in sections 39-40 of this Resolution.

40. Zoning Clearance Application No. ZC19-1390 fails to meet the requirements of NCZO section 8111-1.1.1b, subdivision (1) because the proposed remodel of Building 4 involves the conversion of an agricultural structure to a principal dwelling, which requires the existing 2,385 sq. ft. principal dwelling (Building H1) to be redesignated as an ADU or farmworker/caretaker dwelling unit, since only one principal dwelling is allowed on a property. Pursuant to NCZO section 8107-1.7.2, subdivision (a)(2), the maximum size of an ADU on a lot 10 acres or more is 1,800 sq. ft. gross floor area. Pursuant to NCZO section 8107-26.2, the maximum size of a farmworker/caretaker dwelling unit that can be permitted with a zoning clearance is 1,800 sq. ft. Thus, permitting the remodel/conversion of Building 4 to a residential use (i.e., principal dwelling) would not be “permissible under the present zoning under the land” nor “compl[y] with the standards of [the NCZO]” unless Building H1 was redesignated as either an ADU or farmworker/caretaker dwelling unit and decreased in size to a maximum of 1,800 sq. ft. Therefore, Building 4 cannot be permitted as a principal dwelling by way of a ministerial zoning clearance.

**BOARD ACTIONS AND ADDITIONAL FINDINGS OF FACT AND
CONCLUSIONS OF LAW**

NOW THEREFORE, the Board hereby takes the following actions and adopts the additional findings of fact and conclusions of law:

- a) **ADOPT** all findings of fact and conclusions of law as set forth above.
- b) Based on the findings of fact and conclusions of law set forth above, including but not limited to those set forth in paragraphs numbered 26 through 40, **DENY** the applicant’s Zoning Clearance Application Nos. ZC19-0684 and ZC19-1390, **DENY** the applicant’s related Appeal No. PL20-0032, and **DECLINE** to refund any administrative appeal fees to the applicant.

Upon motion of Supervisor _____, seconded by Supervisor _____, and duly carried, the Board of Supervisors hereby adopts this resolution on ____ day of _____, 2021.

Linda Parks, Chair, Board of Supervisors
County of Ventura

ATTEST:

Deputy Clerk of the Board of Supervisors
County of Ventura, State of California

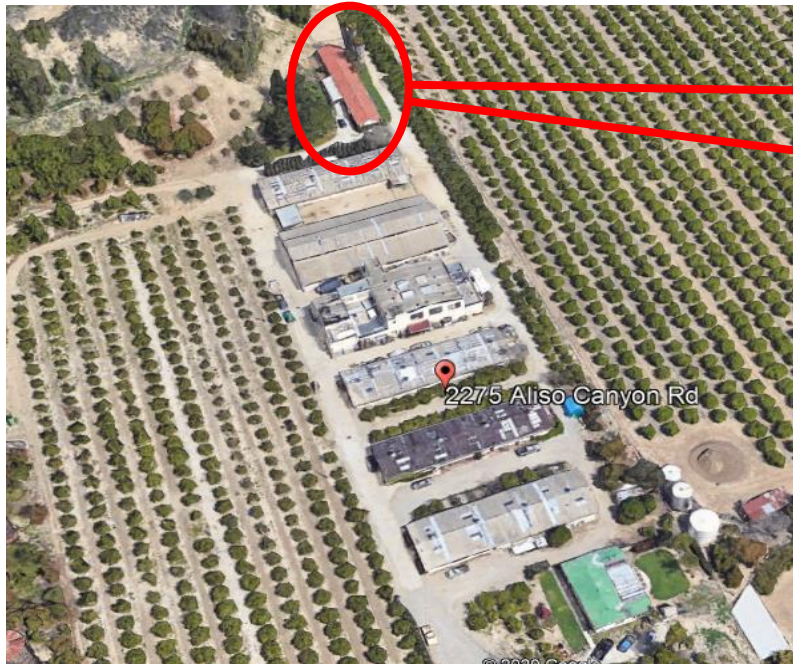
Notice of Violation CV19-0100



Notice of Violation Issued June 2019

Violation 1. Non-permitted modification to the following structures:

a) Caretaker dwelling (H2) – removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slabs. The legal nonconforming use of the structure as a caretaker dwelling has been lost since more than 50% of its walls and floors have been voluntarily demolished.



BUILDING H2 (FARMWORKER DWELLING UNIT) - BEFORE DEMOLITION

Notice of Violation CV19-0100



BUILDING H2 (FARMWORKER DWELLING UNIT) - BEFORE DEMOLITION

Notice of Violation CV19-0100



BUILDING H2 (FARMWORKER DWELLING UNIT) - AFTER DEMOLITION

Notice of Violation CV19-0100



Roof

Steel
Columns

BUILDING H2 (FARMWORKER DWELLING UNIT) - AFTER DEMOLITION

Notice of Violation CV19-0100



BUILDING 4 (CREAMERY BUILDING)

b) Two-story main residence (4) - removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).



Notice of Violation CV19-0100



BUILDING 4 (CREAMERY BUILDING)

Notice of Violation CV19-0100



BUILDING 4 (CREAMERY BUILDING)

Notice of Violation CV19-0100



BUILDING 2 (AGRICULTURAL STORAGE BUILDING)

c) Caretaker dwelling (2) - non-permitted conversion of storage building to a caretaker dwelling unit and office.





Western Santa Clara Valley Historic Resources Survey, Phase V, dated July 1996

D6. Significance: Theme *agriculture*

Area *Santa Clara Valley*

Period of Significance *1925-1943*

Applicable Criteria *A & C*

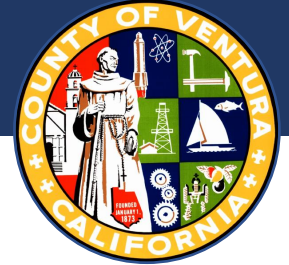
Discuss district's importance in terms of its

historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley. This was the largest dairy farm in the county when it was built by August Rubel between 1925 and 1934. A number of smaller family dairies were established in the area between 1920 and 1950, including the Orr Family's Orange Grove Dairy and the Golden State Dairy operated by the Lindsey Family, and later by the Pinkerton family. However, no other dairy compared in size to the Billiwhack Stock Farm & Dairy and its "state of the art" buildings. [Continued]

The Billiwhack Stock Farm & Dairy buildings are significant because of the role they played in the history of dairy farming and stock breeding in the Santa Clara Valley.

County of Ventura Historic Site of Merit



Cow stables (Agricultural Storage Buildings)



P1. Other Identifier: Cow stables

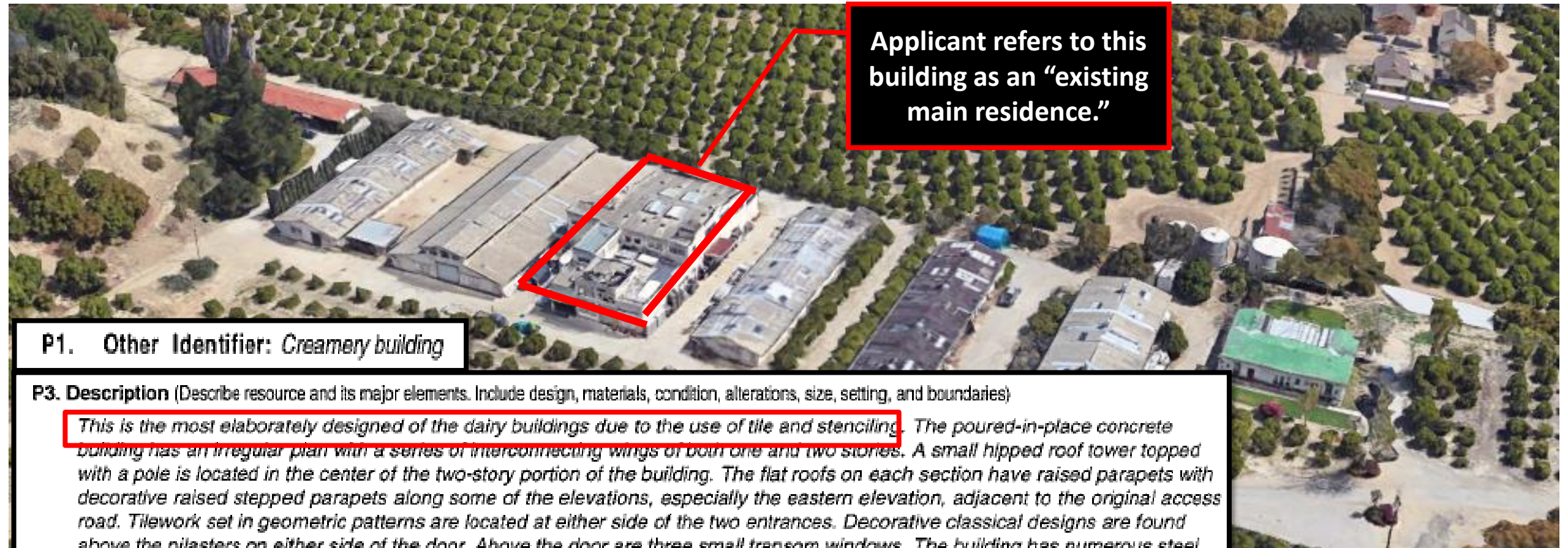
P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Four identical buildings were used to house the dairy herd. These long narrow buildings, constructed of concrete, have low gable roofs with overhanging eaves. The low concrete ceilings are supported with metal trusses. The floors have a patterned tile with drains. Each animal had its own stall with a small window and door leading to the corrals. The corrals have been removed, except for one at the north end between the milking barn and the feed shed. Two sets of double doors on tracks are located at each end of the building. Three of the sheds remain fairly unaltered, but in the process of converting one shed to an office, some doors and windows were enclosed.

County of Ventura Historic Site of Merit



Creamery Building (Building 4)



Applicant refers to this building as an “existing main residence.”

P1. Other Identifier: *Creamery building*

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This is the most elaborately designed of the dairy buildings due to the use of tile and stenciling. The poured-in-place concrete building has an irregular plan with a series of interconnecting wings of both one and two stories. A small hipped roof tower topped with a pole is located in the center of the two-story portion of the building. The flat roofs on each section have raised parapets with decorative raised stepped parapets along some of the elevations, especially the eastern elevation, adjacent to the original access road. Tilework set in geometric patterns are located at either side of the two entrances. Decorative classical designs are found above the pilasters on either side of the door. Above the door are three small transom windows. The building has numerous steel multi-paned windows with concrete sills varying in size from four to sixteen panes. The walls at the western end of the building have been damaged from water leakage. Several windows have been broken and some openings are boarded up. This building is in poor condition. The interior is unique because of the stenciled ceiling, skylights and the heavy use of tile both on walls and floors. The second floor is a mezzanine.

County of Ventura Historic Site of Merit



Nonconforming Farmworker Dwelling Unit (Building H2)



P1. Other Identifier: *Milker's Dormitory*

Parcel No. 64-130-12/14

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This long, narrow building is one-story in height with a low-pitched gable roof covered with clay tile. The wide eaves are open. The wide windows have wood sashes and wood casings. The building is covered with smooth stucco finish. A shed roof extends from the west side of the building to form a carport. This building once served as a dormitory for the milkers who worked at the dairy. It now serves as a single family residence.

Zoning Clearance Application ZC19-0684 Project Description

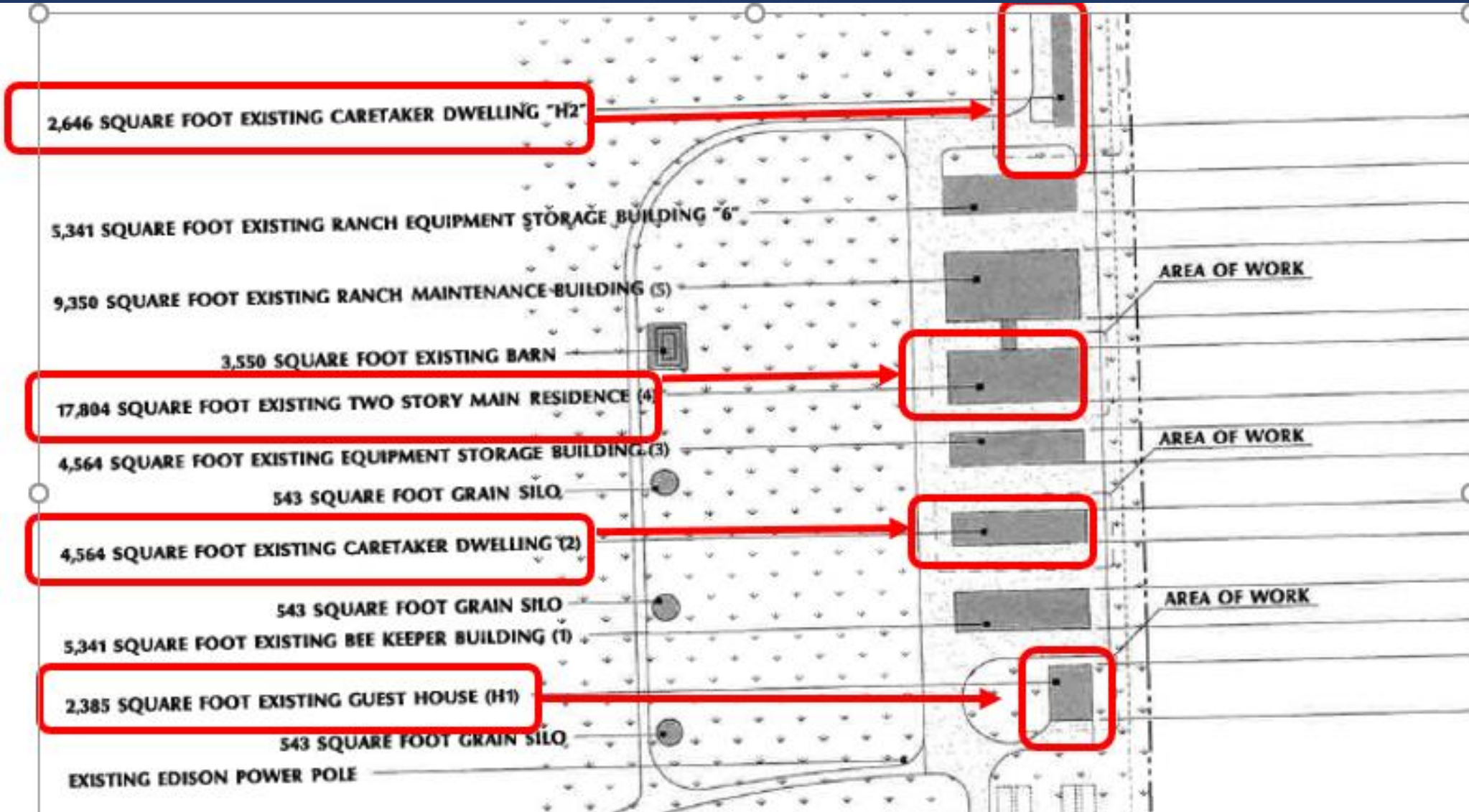


June 2019 – Application ZC19-0684 submitted to Planning and Cultural Heritage Board with mislabeled permitted uses of the existing buildings among other discrepancies.

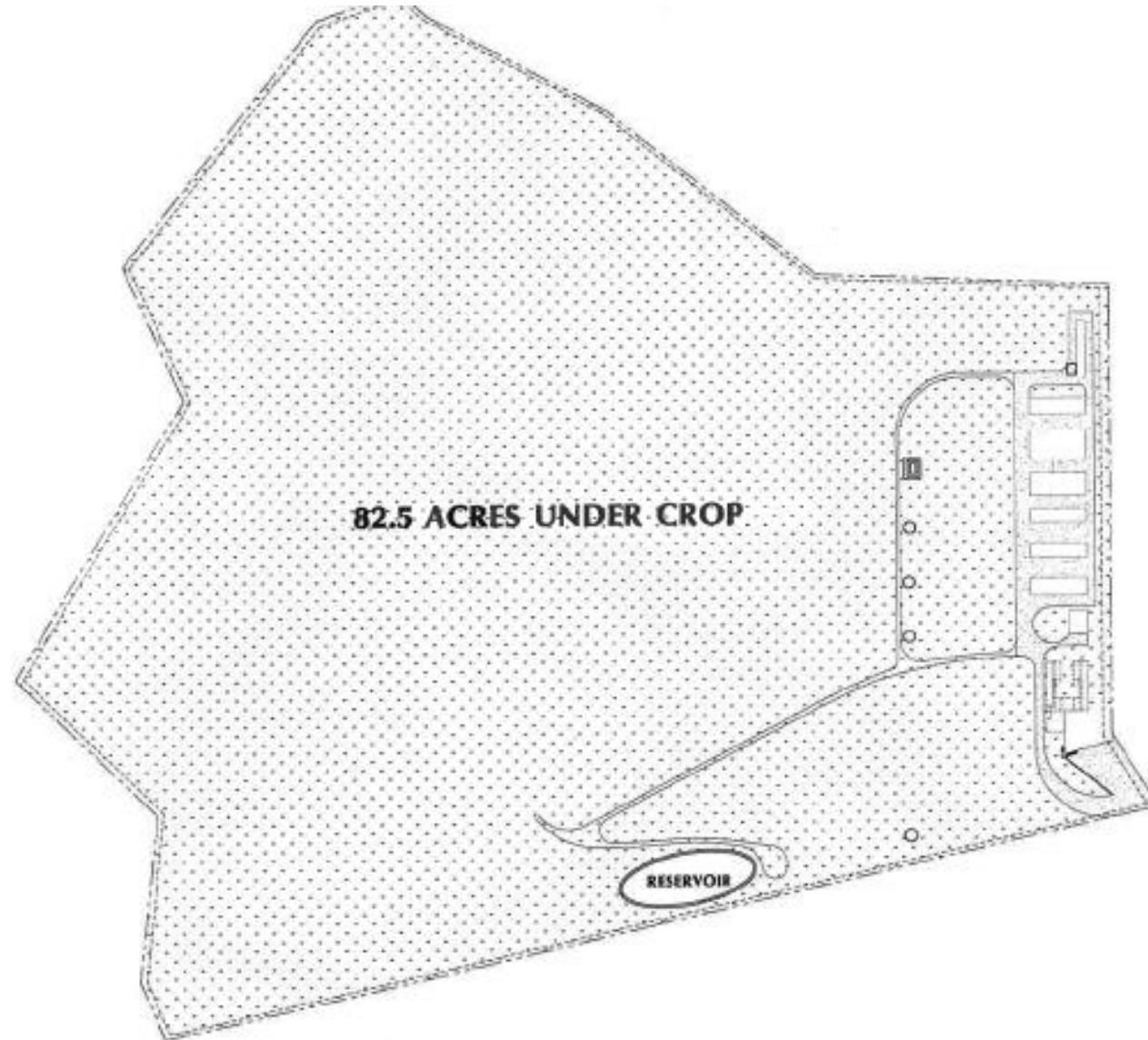
Project Description:

- Reconstruct a 2,646-sq. ft. legal nonconforming “caretaker dwelling” which has had all of its walls and floors removed (Building H2, **Partially Demolished Farmworker Dwelling Unit**);
- Remodel and repair the interior of a 17,310-sq. ft. gross floor area “main residence” (Building 4, **Creamery Building**);
- Remodel a 4,564-sq. ft. “caretaker dwelling” (Building 2, **Agricultural Building**); and,
- Remodel a 2,385-sq. ft. “guest house” (Building H1, **Principal Single-Family Dwelling**).

Zoning Clearance Application ZCI9-0684 Site Plan



Zoning Clearance Application ZCI 9-0684 Crop Acreage



Non-Coastal Zoning Ordinance Requirements vs Applicant's Request



Allowed uses with ministerial Zoning Clearance:

- One principal single-family dwelling (no size requirements)
- One farmworker dwelling unit (maximum of 1,800-sq. ft. gross floor area) (one per 40 acres of crops)
- One detached accessory dwelling unit (ADU) (maximum of 1,800-sq. ft. gross floor area (one detached on lots 10 acres or more)

Applicant's requests:

- Two farmworker dwelling units, both exceeding 1,800-sq. ft. gross floor area (total of 7,210 sq. ft.)
- One detached ADU over 1,800-sq. ft.
- One principal single-family dwelling

The applicant has exceeded the maximum number of dwelling units allowed on the property and the maximum size allowed. An approved Discretionary Permit is required to allow a farmworker dwelling unit and an ADU (cultural heritage deviation) to exceed 1,800-sq. ft gross floor area.



Site Plan/Code Discrepancies

Issue No. 1: The legal, permitted uses of each of the buildings and structures were inaccurately identified on the site plans.

Official records confirm that the property was developed with and still contains:

- Two dwelling units, one of which no longer retains its nonconforming status (identified as Buildings H1 and H2 on the site plan) totaling 4,992 sq. ft.;
- Two-story agricultural creamery building (identified as Building 4 on the site plan);
- Seven additional agricultural buildings totaling 37,613 sq. ft.; and,
- Three grain silos.



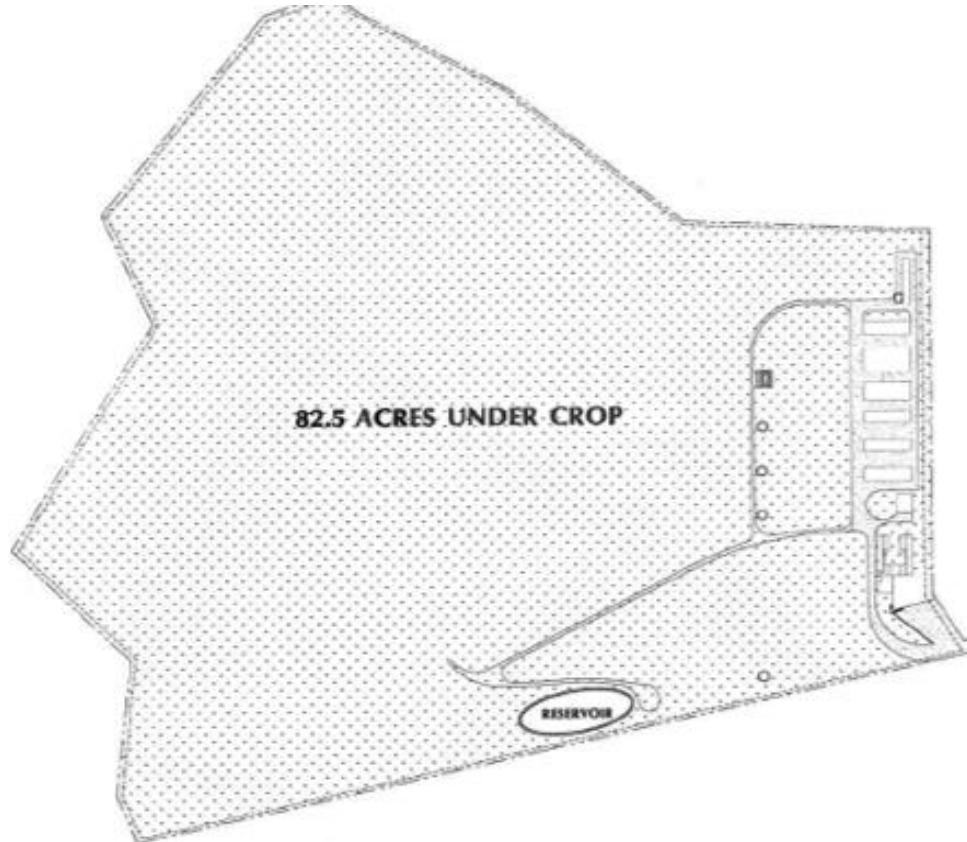
- The legal nonconforming farmworker dwelling unit (Building H2) is incorrectly labeled as an “existing caretaker dwelling”
- The creamery building (Building 4) is incorrectly labeled as an existing “main residence,”
- Building 2 on the plans is a “cow stable” and is incorrectly labeled as an existing “caretaker” dwelling unit
- Building H1 is incorrectly labeled as an existing “guest house”

Planning Division Research and Review



Issue No. 2: Incorrect acreage of planted crops/orchards on the site plan.

The applicant indicates that there are 82.50 acres of crops planted on the property and, therefore, the property qualifies for two farmworker dwelling units (i.e., one per 40 acres of crops).



Planning Division Research and Review



Issue No. 3: Over 50% of Building H2 (legal nonconforming farmworker dwelling unit) was *voluntarily* demolished and cannot be rebuilt back to its original size and use unless modified to conform to the standards of the Non-Coastal Zoning Ordinance.

Sec. 8113-6.1.1

Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of 50 percent or less of its floor or roof area which existed before destruction, or is involuntarily damaged or destroyed in whole or in part, the structure may be restored to its original state existing before such removal, damage or destruction. The occupancy or use of the structure or part thereof which existed at the time of the damage or destruction may be continued if a complete building permit application for a replacement structure has been submitted to the Building and Safety Division within a period of 12 months after the occurrence of the damage or destruction, and said building permit once approved is diligently pursued to completion prior to permit expiration.

Sec. 8107-26.2 - Dwelling Unit Size

No farmworker or animal caretaker dwelling units ministerially approved for construction after June 27, 1995, shall exceed 1,800 square feet in gross floor area. A CUP for a farmworker or animal caretaker dwelling unit exceeding 1,800 square feet may be granted for compelling reasons.



Issue No. 4: The existing creamery building is labeled as a repair and remodel of an “existing main residence.”

The creamery building (Building 4) should be correctly identified as a “conversion” of an agricultural building to a single-family dwelling, not a remodel of an existing dwelling unit. Numerous doors, walls, and windows must be replaced in order to make this building habitable.

Since Building 4 is not an existing legal dwelling, the only legal dwelling (H1) on the property (2,352 sq. ft) cannot be converted to an ADU unless it is reduced in size to not exceed 1,800 sq. ft.



Issue No. 5: A Zoning Clearance cannot be issued to remodel the only existing, legally permitted single-family dwelling (H1) on the property because the remodel is not necessary to abate the violations of CV19-0100.

NCZO, Section 8111-1.1.1b(4) states:

Is not located on the same lot where a violation exists of standards found in said Chapters 1 and 2 or of any Ventura County Ordinance regulating land use, such as the Ventura County Building Code or any grading ordinance, or of the terms of an existing permit covering the lot, unless the Zoning Clearance is necessary for the abatement of the existing violation.

A Zoning Clearance cannot be issued for any new projects on the property (such as the remodel of Building H1) until all the violations outlined in Violation Case No. CV19-0100 have been abated.

Planning Division Correction Notice #1 – ZC19-0684



July 9, 2019 – Planning Division reviewed the first application (ZC19-0684) for compliance with the Non-Coastal Zoning Ordinance and provided a Correction Notice (Exhibit 8)

The applicant was notified that in order to continue further review of the application, additional information was needed regarding:

- (1) the legal nonconforming status of the caretaker dwelling (Building H2);
- (2) the proposed and existing uses for each building;
- (3) the floor and elevation plans for each building; and,
- (4) the actual total acreage of planted crops on the property to verify the number of farmworker dwelling units allowed on the property.

Cultural Heritage Board First Review – ZC19-0684



August 12, 2019 – Cultural Heritage Board (CHB) review:

- One aspect of the proposed project can be approved by CHB for the “stabilization and structural repair of the failing portion of [the creamery building] Building 4.” (A Zoning Clearance and Building Permit were issued for this project.)
- The CHB could not make a determination on the other aspects of the proposed project without a Historic Resources Report identifying the character defining features of the buildings.
- The CHB identified several discrepancies on the plans, including incorrect window sizes/types, missing windows/doors on elevations.

Planning Division Correction Notice #2 – ZC19-0684



August 13, 2019 – Planning Division Correction Notice No. 2:

- Provide floor plans for all buildings, including the existing barn.
- Provide evidence that the caretaker dwelling unit meets the ordinance standards for a caretaker dwelling and provide a farmworker employment verification form.
- Update plans to reflect the comments of the CHB.

To date, the applicant has not resubmitted a revised project description or set of revised plans for Application ZC19-0684



September 9, 2019 – Cultural Heritage second review:

- Chair indicated that the project was an adaptive re-use and not a restoration project.
- Applicant opted not to provide a Historic Resources Report for project because “*the bids for the report were coming in too high.*”
- The CHB denied the Certificate of Appropriateness – unable to determine the character defining features without report
- Appellant did not appeal CHB’s decision

Zoning Clearance Application ZC19-1390 Project Description

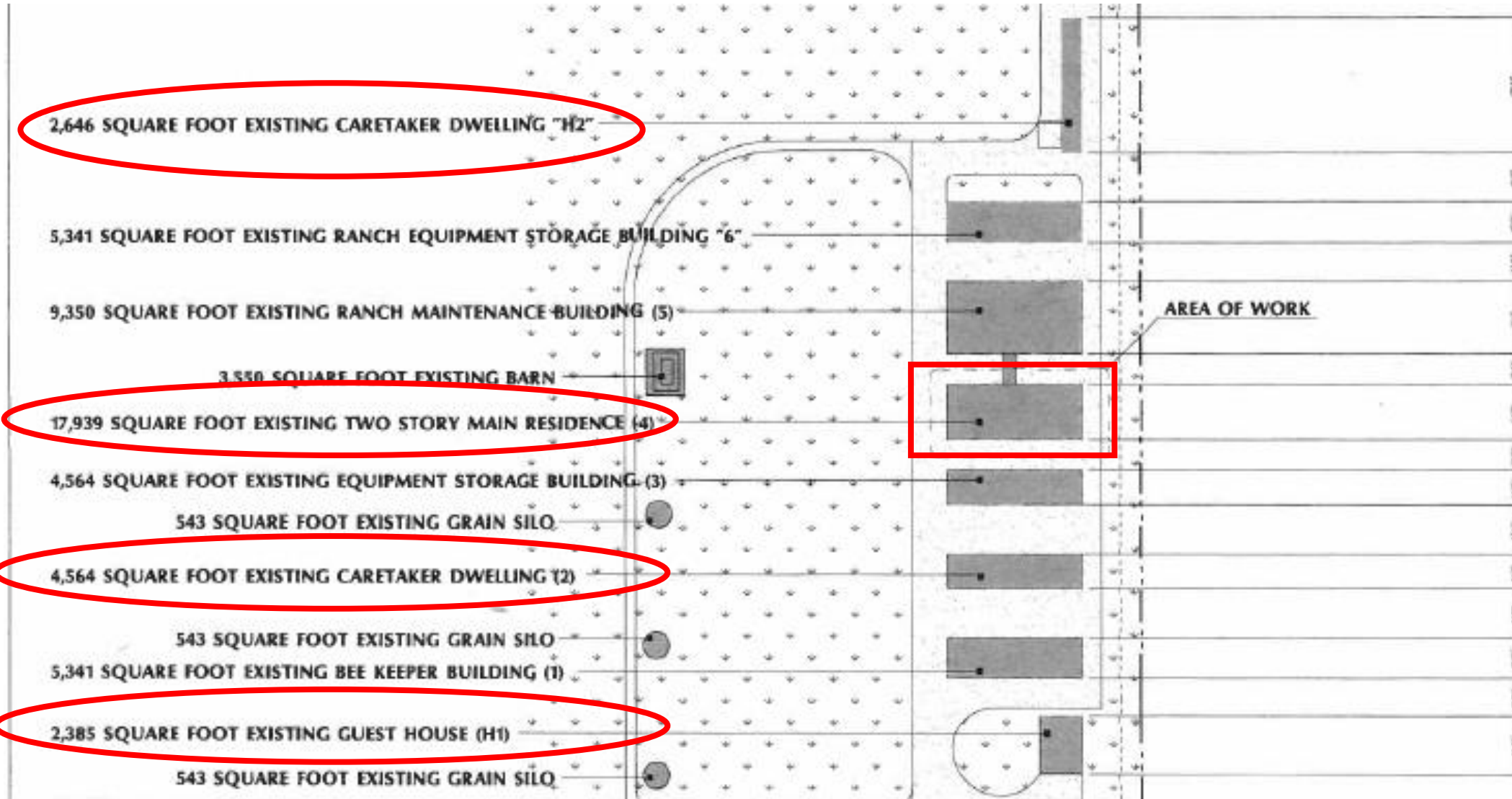


December 2019: The applicant submitted the second Zoning Clearance application (ZC19-1390)

Project Description:

Separate out the interior remodel of a 17,310-sq. ft. gross floor area “main residence” (Building 4, Creamery Building) from the Zoning Clearance application ZC19-0684.

Zoning Clearance Application ZC19-1390 Site Plan



2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

AREA OF WORK



December 20, 2019 – Planning Division reviewed application and provided a Correction Notice:

Advised that the project could not be approved until the project, as a whole, is approved by the CHB.

The proposed interior residential renovations to the creamery building affects the principal dwelling on the property and would need to be re-designated as an accessory dwelling unit and those applicable standards. One aspects affects the other buildings.

Meetings/Correspondence with Applicant



- February 2020: Code Compliance staff met with applicant to discuss the legal existing use of the creamery building.
- March 2020: Planning, Building and Safety, and Code Compliance Divisions held a coordination meeting with the applicant's team – advised that a revised project description was needed to accurately reflect the existing and proposed uses, to show compliance with the NCZO regulations, and submit a final Historic Resources Report.
- April 3, 2020: At the request of the applicant, the Planning Director advised the applicant that the Historic Building Code could be used for those buildings that qualify as "historic."

Zoning Clearances Denied



April 14, 2020: Planning Director advised the applicant that applications ZC19-0684 and ZC19-1390 were denied (subject of today's appeal).

The following findings cannot be made to issue a Zoning Clearance:

NCZO section 8113-6.1.2 (Nonconformities and Substandard Lots) states:

“Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of more than 50 percent of its floor or roof area which existed before destruction, no structural alterations, repairs or reconstruction shall be made unless every portion of such structure and the use are made to conform to the regulations of the zone classification in which they are located.”

Zoning Clearances Denied



NCZO sections 8111-1.1.1b(4) states:

“b. Zoning Clearance: Issuance Of - A Zoning Clearance shall be issued if the proposed use of land, structures, or construction:

(1) Is permissible under the present zoning on the land and complies with the standards of Division 8, Chapter 1 and 2 of the Ordinance Code;

(4) Is not located on the same lot where a violation exists of standards found in said Chapters 1 and 2 or of any Ventura County Ordinance regulating land use, such as the Ventura County Building Code or any grading ordinance, or of the terms of an existing permit covering the lot, unless the Zoning Clearance is necessary for the abatement of the existing violation.

Meetings/Correspondence with Applicant



- April 20, 2020: Applicant filed an appeal of the denial of the Zoning Clearances.
- May 28, 2020: Applicant submitted a **third** Zoning Clearance request for a transformer pad and water pump house.
- June 17, 2020: Applicant submitted a **fourth** Zoning Clearance to convert the creamery building to an accessory dwelling unit (ADU)
- July 15, 2020: Planning Division denied these two Zoning Clearance requests (which were not appealed by the appellant):
- Scope of work not necessary to abate the violation
 - The conversion of the 17,000+ sq. ft. gross floor area creamery building to an accessory dwelling unit exceeds the maximum size of an accessory dwelling unit of 1,800 sq. ft.

Meetings/Correspondence with Applicant



- July 17, 2020: Appellant's representative emailed staff another conceptual scope of work to meet the ordinance requirements.
- July 24, 2020: Planning staff provided feedback on conceptual scope of work.
- July 28, 2020: First Zoom meeting between Planning staff and appellant to discuss conceptual scope of work
- August 7, 2020: Second Zoom meeting between Planning staff and applicant and appellant's representatives to discuss conceptual proposal
- August 17, 2020: Third Zoom meeting between RMA Director, Planning staff and the appellants to discuss appeal points
- August 25, 2020: Fourth Zoom meeting with the RMA Director, Planning staff and the appellants

Applicant's Ground of Appeal



The County has conceded that the Historical Building Code (“HBC”) applies to this Project. Also confirmed by the State Historical Building Safety Board. However, the Planning & Building Dept. elected to disregard the required application of the HBC including, but not limited to, Sections 8-101.2 & 8-302.2. The required application of the CHBC prohibits the action taken. See attached letter from State Historical Board dated 4/2/20; Email from Dave Ward to Everett Woody dated 4/3/20; Email from James H. Smith to Marina Porche dated 4/3/20 and; Ventura Heritage Board Minutes of 8/12/19, Item 3b, staff recommendation to approve the Certificate of Appropriateness.

- Stated Verbatim from Applicant's Appeal Form

Planning Division's Response to Ground of Appeal



The Planning Division did not disregard the application of the HBC but rather determined that the provisions of the HBC **do not preempt** the requirements of the NCZO as they apply to this project.

The HBC simply provides **certain exceptions to California building code standards** whose application would otherwise hinder the preservation of historic buildings.

The HBC **does not dictate what is permissible on the property** under present zoning standards, nor does it allow the issuance of Zoning Clearances on a property with existing violations unless the project is necessary to abate such violation.

The subject Zoning Clearance applications **fail to comply with the NCZO** which precludes their approval.

THEREFORE THIS GROUND OF APPEAL LACKS MERIT



Exempt from Environmental Review:

- The California Environmental Quality Act (CEQA) does not apply to a public agency's denial or disapproval of a requested land use project or permit. (Public Resources Code ("PRC"), § 21080(b)(5).)
- CEQA does not apply to a public agency's approval of a ministerial permit or project. (Public Resources Code § 21080(b)(1).)



- Property owners within 300 feet of the project
- Legal advertisement in the Ventura County Star
- Notified interested parties
- Posted on Planning Division website and in Public Hearing Notification bulletin board at County Government Center

Applicant's Recommended Actions



The the [sic] Board direct the Planning & Building Dept. to:

- (1) Apply the 2019 California Historical Building Code to Project;*
- (2) Reinstate the Building Permit for the structural repair;*
- (3) The Building Dept. be directed to proceed with the Plan Check and;*
- (4) Zoning Clearance for the Project be approved.*

-Stated Verbatim from Applicant's Appeal Form



1) Apply the 2019 California Historical Building Code to Project;

The HBC may be applied in the design/construction of the restoration of the qualifying historic portion of the property to meet building code requirements.

2) Reinstate the Building Permit for the structural repair;

Building Permit B19-000857, issued on August 29, 2019, for structural repairs to the creamery building (Building 4) has not been revoked and is still active.



3) The Building Dept. be directed to proceed with the Plan Check and;

The project as proposed (interior remodel of the creamery building) cannot receive zoning approval, for the reasons set forth in Sections A(11) and C of the staff report (and this presentation), the building plan check has been suspended until the applicant can present a project that comports with the requirements of the NCZO.

4) Zoning Clearance for the Project be approved.

The Planning Director could not make the Zoning Clearance findings based on the information contained in Sections A(11) and C of the staff report (and in this presentation) and, therefore, a Zoning Clearance cannot be issued.

Planning Divisions Recommended Actions



1. **CERTIFY** that your Commission has reviewed and considered this staff report and all exhibits thereto, and all evidence and testimony received during the hearing;
2. **FIND** that this project is statutorily exempt from CEQA pursuant to sections 21080(b)(1) and 21080(b)(5) of the Public Resources Code;
3. **DENY** Zoning Clearance Application No. ZC19-0684 (Exhibit 2) and Zoning Clearance Application No. ZC19-1390 (Exhibit 3), **DENY** related Appeal No. PL20-0032 (Exhibit 17) and decline to refund any appeal fees; and
4. **SPECIFY** that the Clerk of the Planning Commission is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location of the documents and materials that constitute the record of proceedings upon which this decision is based.

Public Comments



CASE NUMBER PL20-0032 – Agenda Item #8

Please email your comments, 250 words or less, to:

Planning.PCComments@ventura.org

Please indicate in the Subject Line: Agenda Item #8

Staff will read your comment to the Planning Commission.

The Chair will announce the final time period to receive any comments.

Questions?



Planning Commission Resolution

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-2478 • vcrma.org/planning

RESOLUTION 20-11 FOR PL20-0032 REGARDING AN APPEAL OF THE PLANNING DIRECTOR'S DENIAL OF ZONING CLEARANCES

WHEREAS, the Planning Commission ("Commission") held a legally noticed public hearing to consider PL20-0032 in Ventura, California, on August 27, 2020; and

WHEREAS, the Commission considered all written and oral testimony from County staff and public testimony on this matter; and

WHEREAS, Commissioner White moved to approve staff's recommended actions and Commissioner King moved to approve White's motion with the modification to include a recommendation to encourage staff and the appellant to work in good faith to resolve issues and bring the project to the best possible conclusion.

WHEREAS, the motion carried 5-0.

NOW, THEREFORE, BE IT RESOLVED the Commission:

1. **CERTIFIED** that your Commission has reviewed and considered this staff report and all exhibits thereto, and all evidence and testimony received during the hearing;
2. **FOUND** that this project is statutorily exempt from CEQA pursuant to sections 21080(b)(1) and 21080(b)(5) of the Public Resources Code;
3. **DENIED** Zoning Clearance Application No. ZC19-0684 (Exhibit 2) and Zoning Clearance Application No. ZC19-1390 (Exhibit 3), **DENIED** related Appeal No. PL20-0032 (Exhibit 17) and declined to refund any appeal fees; and
4. **SPECIFIED** that the Clerk of the Planning Commission is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location of the documents and materials that constitute the record of proceedings upon which this decision is based.

This is to certify that the foregoing is a true and correct copy of the resolution of said meeting.

A handwritten signature in blue ink, appearing to read "Dave Ward".

Dave Ward, AICP, Secretary to the
Ventura County Planning Commission

County of Ventura
Board of Supervisors Hearing
PL20-0032
Sub-exhibit 22 - Planning
Commission Resolution R-20-11



Appeal Form

County of Ventura • Resource Management Agency • Planning Division

800 South Victoria Avenue, Ventura, CA 93009 • 805 654-2488 • www.vcrma.org/divisions/planning

Appeal Number:

To: ___ Board of Supervisors
 ___ Planning Commission
 ___ PWA Advisory Agency

I hereby appeal the decision of the _____, which was given on _____, 20____.

The decision was as follows:

The grounds of appeal are (attach extra sheets as needed):

I request that the appropriate decision making body take the following action:

Name of Appellant:

Address of Appellant:

Telephone Number of Appellant:

Is the appellant a party in the application?
"aggrieved person."

. If not, state the basis for filing the appeal as an

Signature of Appellant

Date

Appeal and deposit fee of \$1,000.00 (pursuant to fee schedule specified by Resolution No. 222
of the Ventura County Board of Supervisors) received by the Planning Division at _____(time) on
_____, 20_____.

Dave Ward, AICP
Director- Planning Division

By _____

State of California

PUBLIC RESOURCES CODE

Section 5020.7

5020.7. The Legislature recognizes that the long-term preservation and enhancement of historical resources is dependent, to a large extent, on the good will and cooperation of the general public and of the public and private owners of those resources.

Therefore, it is the intent of the Legislature that public agencies, including the commission and the office, shall endeavor to carry out their responsibilities under this article in a manner designed to elicit the cooperation of the owners of both identified and unidentified resources, to encourage the owners to perceive these resources as assets rather than liabilities, and to encourage the support of the general public for the preservation and enhancement of historical resources.

(Added by Stats. 1992, Ch. 1075, Sec. 3. Effective January 1, 1993.)

State of California

HEALTH AND SAFETY CODE

Section 18951

18951. It is the purpose of this part to provide alternative regulations and standards for the rehabilitation, preservation, restoration (including related reconstruction), or relocation of qualified historical buildings or structures, as defined in Section 18955. These alternative standards and regulations are intended to facilitate the rehabilitation, restoration, or **change of occupancy** so as to preserve their original or restored architectural elements and features, to encourage energy conservation and a cost-effective approach to preservation, and to provide for the safety of the building occupants.

(Amended by Stats. 2003, Ch. 504, Sec. 1. Effective January 1, 2004.)

State of California

PUBLIC RESOURCES CODE

Section 5028

5028. (a) No structure that is listed on the National Register of Historic Places, on the California Register of Historic Places, or on any local public register of historic places, and that has been damaged due to a natural disaster, including, but not limited to, an earthquake, fire, or flood, may be demolished, destroyed, or significantly altered, except for restoration to preserve or enhance its historical values, unless the structure presents an imminent threat to the public of bodily harm or of damage to adjacent property, or unless the State Office of Historic Preservation determines, pursuant to subdivision (b), that the structure may be demolished, destroyed, or significantly altered.

(b) Any local government may apply to the State Office of Historic Preservation for its determination as to whether a structure meeting the description set forth in subdivision (a) shall be demolished, destroyed, or significantly altered. That determination shall be based upon the extent of damage to the structure, the cost of rehabilitating or reconstructing the structure, the structure's historical significance, and any other factor deemed by the State Office of Historic Preservation to be relevant. In making that determination, the State Office of Historic Preservation shall consider the recommendation made by a team selected by the State Office of Historic Preservation, composed of three residents with historic preservation expertise who reside in the affected county. The determination of the State Office of Historic Preservation shall be issued no later than 30 days after the structure was damaged, or 30 days after the receipt of the application, whichever occurred later.

(Added by Stats. 1989, 1st Ex. Sess., Ch. 3, Sec. 6. Effective November 7, 1989.)

CHAPTER 8-1

ADMINISTRATION

Note: The *California Historical Building Code*, Part 8 of Title 24, governs for all qualified historical buildings or properties in the State of California.

SECTION 8-101

TITLE, PURPOSE AND INTENT

8-101.1 Title. These regulations shall be known as the *California Historical Building Code* and will be referred to herein as “the CHBC.”

8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or reconstruction of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users. The CHBC requires enforcing agencies to accept solutions that are reasonably equivalent to the regular code (as defined in Chapter 8-2) when dealing with qualified historical buildings or properties.

8-101.3 Intent. The intent of the CHBC is to facilitate the preservation and continuing use of qualified historical buildings or properties while providing reasonable safety for the building occupants and access for persons with disabilities.

SECTION 8-102

APPLICATION

8-102.1 Application. The CHBC is applicable to all issues regarding code compliance for qualified historical buildings or properties. The CHBC may be used in conjunction with the regular code to provide solutions to facilitate the preservation of qualified historical buildings or properties. The CHBC shall be used by any agency with jurisdiction and whenever compliance with the code is required for qualified historical buildings or properties.

1. The state or local enforcing agency shall apply the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, reconstruction, rehabilitation, relocation or continued use of a qualified historical building or property when so elected by the private property owner.
2. **State agencies.** All state agencies shall apply the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, rehabilitation, safety, relocation, reconstruction or continued use of qualified historical buildings or properties.

8-102.1.1 Additions, alterations and repairs. It is the intent of the CHBC to allow nonhistorical expansion or addition to a qualified historical building or property, pro-

vided nonhistorical additions shall conform to the requirements of the regular code. See Chapter 8-2.

8-102.1.2 Relocation. Relocated qualified historical buildings or properties shall be sited to comply with the regular code or with the solutions listed in the CHBC. Nonhistorical new construction related to relocation shall comply with the regular code. Reconstruction and restoration related to relocation is permitted to comply with the provisions in the CHBC.

8-102.1.3 Change of occupancy. For change of use or occupancy, see Chapter 8-3, Use and Occupancy.

8-102.1.4 Continued use. Qualified historical buildings or properties may have their existing use or occupancy continued if such use or occupancy conformed to the code or to the standards of construction in effect at the time of construction, and such use or occupancy does not constitute a distinct hazard to life safety as defined in the CHBC.

8-102.1.5 Unsafe buildings or properties. When a qualified historical building or property is determined to be unsafe as defined in the regular code, the requirements of the CHBC are applicable to the work necessary to correct the unsafe conditions. Work to remediate the buildings or properties need only address the correction of the unsafe conditions, and it shall not be required to bring the entire qualified historical building or property into compliance with regular code.

8-102.1.6 Additional work. Qualified historical buildings or properties shall not be subject to additional work required by the regular code, regulation or ordinance beyond that required to complete the work undertaken. Certain exceptions for accessibility and for distinct hazards exist by mandate and may require specific action, within the parameters of the CHBC.

SECTION 8-103

ORGANIZATION AND ENFORCEMENT

8-103.1 Authority. The state or local enforcing agency, pursuant to authority provided under Section 18954 of the Health and Safety Code, shall administer and enforce the provisions of the CHBC in permitting repairs, alterations and additions necessary for the preservation, restoration, reconstruction, rehabilitation, relocation or continued use of a qualified historical building or property.

8-103.2 State enforcement. All state agencies pursuant to authority provided under Section 18954 and Section 18961 of the Health and Safety Code shall administer and enforce the CHBC with respect to qualified historical buildings or properties under their respective jurisdiction.

CHAPTER 8-3

USE AND OCCUPANCY

SECTION 8-301 PURPOSE AND SCOPE

8-301.1 Purpose. The purpose of the CHBC is to provide regulations for the determination of occupancy classifications and conditions of use for qualified historical buildings or properties.

8-301.2 Scope. Every qualified historical building or property for which a permit or approval has been requested shall be classified prior to permit issuance according to its use or the character of its occupancy in accordance with the regular code and applicable provisions of this chapter.

SECTION 8-302 GENERAL

8-302.1 Existing use. The use or character of occupancy of a qualified historical building or property, or portion thereof, shall be permitted to continue in use regardless of any period of time in which it may have remained unoccupied or in other uses, provided such building or property otherwise conforms to all applicable requirements of the CHBC.

8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

8-302.3 Occupancy separations. Required occupancy separations of more than one hour may be reduced to one-hour fire-resistive construction with all openings protected by not less than three-fourths-hour fire-resistive assemblies of the self-closing or automatic-closing type when the building is provided with an automatic sprinkler system throughout the entire building in accordance with Section 8-410.2. Doors equipped with automatic-closing devices shall be of a type which will function upon activation of a device which responds to products of combustion other than heat.

Required occupancy separations of one hour may be omitted when the building is provided with an automatic sprinkler system throughout.

8-302.4 Maximum floor area. Regardless of the use or character of occupancy, the area of a one-story qualified historical building or property may have, but shall not exceed, a floor area of 15,000 square feet (1393.5 m²) unless such an increase is otherwise permitted in regular code. Multistory qualified historical buildings (including basements and cellars) shall be in accordance with regular code requirements.

Exception: Historical buildings may be unlimited in floor area without fire-resistive area separation walls:

1. When provided with an automatic sprinkler, or
2. Residential occupancies of two stories or less when provided with a complete fire alarm and annunciation system and where the exiting system conforms to regular code.

8-302.5 Maximum height. The maximum height and number of stories of a qualified historical building or property shall not be limited because of construction type, provided such height or number of stories does not exceed that of its historical design.

8-302.5.1 High-rise buildings. Occupancies B, F-1, F-2 or S in high-rise buildings with floors located more than 75 feet above the lowest floor level having building access may be permitted with only the stories over 75 feet provided with an automatic fire sprinkler system if:

1. The building construction type and the exits conform to regular code, and
2. A complete building fire alarm and annunciation system is installed, and
3. A fire barrier is provided between the sprinklered and nonsprinklered floors.

8-302.6 Fire-resistive construction. See Chapter 8-4.

8-302.7 Light and ventilation. Existing provisions for light and ventilation which do not, in the opinion of the enforcing agency, constitute a safety hazard may remain. See Section 8-303.6 for residential requirements. See Section 8-503 for Escape or Rescue Windows and Doors.

SECTION 8-303 RESIDENTIAL OCCUPANCIES

8-303.1 Purpose. The purpose of this section is to provide regulations for those buildings designated as qualified historical buildings or properties and classified as residential occupancies. The CHBC requires enforcing agencies to accept any reasonably equivalent alternative to the regular code when dealing with qualified historical buildings and properties.

8-303.2 Intent. The intent of the CHBC is to preserve the integrity of qualified historical buildings and properties while maintaining a reasonable degree of protection of life, health and safety for the occupants.

8-303.3 Application and scope. The provisions of this section shall apply to all qualified historical buildings used for human habitation. Those dwelling units intended only for display, or public use with no residential use involved, need not comply with the requirements of this section.

8-303.4 Fire escapes. See Chapter 8-5.

8-303.5 Room dimensions. Rooms used for sleeping purposes may contain a minimum of 50 square feet (4.6 m²) floor area, provided there is maintained an average ceiling height



STATE HISTORICAL BUILDING SAFETY BOARD

April 2, 2020

Mr. James H. Smith, Esq.
Rogers, Sheffield & Campbell, LLP
152 East Carrillo Street
Santa Barbara, CA 93101

Re: Billiwhack Ranch, Ventura County – Request for Opinion Regarding Qualification
of Historical Property and Structures

Dear Mr. Smith

This letter is in response to your request for an informal opinion regarding qualification of certain buildings on the 100-acre ranch in Ventura County known as the "Billiwhack Ranch."

I have reviewed your request and attachments provided by your letter dated March 19, 2020. Based on the letter and attachments, the Billiwhack Ranch was identified as a Site of Merit in the County's Historical Resources Survey, and the all structures on the ranch were awarded National Register ratings of 3D (appears to be eligible as a contributor to a National Register eligible district). Assuming that all the buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by definition of the California Historical Building Code (CHBC), and therefore eligible for use of the CHBC.

Should you have any questions, please contact Derek Shaw, Executive Director of the State Historical Building Safety Board at (916) 324-7178.

Sincerely,

Alan Dreyfus, Chair
State Historical Building Safety Board

- (3) Has at least one of the criteria for significance of Section 1365-5.a. 1-8
- (4) Complies with the criteria for integrity contained in Section 1365-5.a.6.

Sec. 1365-6. ADDITIONAL DESIGNATION STANDARDS. In addition to meeting the criteria in Sec. 1365-5 et seq, all the following standards must be met before a site becomes a designated Cultural Heritage Site:

- a. It shall have historic, aesthetic or special character or interest for the general public, and not be limited in interest to a special group of persons;
- b. Its designation shall not require the expenditure by the County of Ventura of any amount of money not commensurate with the value of the object to be preserved; and
- c. Its designation shall not infringe upon the rights of a private owner thereof to make any and all reasonable uses thereof which are not in conflict with the purposes of this Article.

Sec. 1366. Certificate of Appropriateness (COA): Certificates of Appropriateness shall be required for the following categories of sites only: 1. Landmark 2. Points of Interest 3. Demolition of Sites of Merit 4. Demolition of potential sites 5. Designated Cultural Heritage Sites seeking a Planned Development Permit pursuant to Section 8107-37 of the Ventura County Zoning Ordinance. Certificates of Appropriateness (and as they may be conditioned) are authorizations issued by the Cultural Heritage Board, or support staff in accordance with criteria adopted by the Board, which indicate that the proposed maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, relocation, or subdivision of a designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated Cultural Heritage Site.

Sec. 1366-1. Prior to commencement of or receipt of necessary permits for maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, subdivision or relocation, of designated Cultural Heritage Sites or sites potentially eligible for such designation, the land owner shall have:

- a. obtained a Certificate of Appropriateness from the Cultural Heritage Board or staff, as the Board may delegate such authority, or
- b. filed for a COA and waited the time specified in Section 1366-5 without any action being taken on his request for a COA; or
- c. filed for a Certificate of Appropriateness and the relevant time specified in Section 1366-8 has expired;

Sec. 1366-2. The County Resource Management Agency and other applicable County agencies shall report any application for a permit to work on a designated Cultural Heritage Site or potentially eligible site to the Cultural Heritage Board and its staff as soon as the application has been received;

Sec. 1366-3. In evaluating requests for Certificates of Appropriateness, the Cultural Heritage Board and staff shall consider the existing architectural style, design, arrangement, texture, materials, and any other factors with regard to the site's original distinguishing characteristics. Using the Secretary of the Interior's Standards for Historic Preservation Projects as a guide, the Cultural Heritage Board or its staff, as delegated, shall approve a Certificate of Appropriateness, for any proposed work site if, and only if, one of the following findings can be made:

- a. The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the site.
- b. In the case of construction of a new improvement, addition, building or structure upon the site, the use and exterior of such construction will not adversely affect, and will be compatible with the use and, or exterior of the site.
- c. The denial of a Certificate of Appropriateness will deprive the owner of the property of all reasonable use of or economic return on the property.
- d. If the applicant presents facts and clear evidence demonstrating that failure to approve the request for a Certificate of Appropriateness will cause a hardship because of conditions peculiar to the structure or other feature involved, or damage to the property owner is unreasonable in comparison to the benefit conferred to the community, the Board may conditionally approve such Certificate, even though it does not meet the standards set forth herein.
- e. If the request for a COA involves a non-designated site and the proposed work would not compromise the potential future designation of the site.

Sec. 1366-4. Requests for Certificates of Appropriateness shall be signed by the land owner or their designated agent and filed with the County's Resource Management Agency for processing. Requests shall include plans and specifications, and the relationship of the proposed work to the surrounding environs. The request shall be accompanied by any other information the Cultural Heritage Board determines is required to make an informed judgment of the proposed work according to the standards of review pursuant to Section 1364-12.

Sec. 1366-5. If the Cultural Heritage Board or staff, as applicable, fails to act on a request for a Certificate of Appropriateness within ninety (90) days of submission of a complete COA application, a Certificate of Appropriateness shall not be required; proposed projects on undesignated and designated Cultural Heritage Sites may proceed without an approved COA, provided an action is not pending on the designation of the site, and all other necessary permits have been obtained.

Sec. 1366-6. If no building, planning or other permit is required to pursue work on a designated Cultural Heritage Site or potentially eligible site, where the owner has been notified of the site's eligible status; whoever is responsible for the work, whether it is the tenant, resident or property owner, shall apply to the Cultural Heritage Board staff directly for the appropriate authorization pursuant to Sec. 1364-12 or Sec. 1366.;

Sec. 1366-7. The Cultural Heritage Board or staff may disapprove the issuance of said Certificate or Certificates for any proposed work if, and only if, it makes one of the following applicable findings:

- a. The proposed project is to remove or demolish a designated Cultural Heritage site that is determined by the Cultural Heritage Board to be significant and important to the history of the County.
- b. The proposed project would adversely affect the historical significance of the site or would not be compatible with the use and/or exterior of the designated Cultural Heritage site.
- c. The proposed project would adversely affect the eligibility of a potential site to become a designated Cultural Heritage Site.

A decision of staff may be appealed to the Cultural Heritage Board and a Board decision may be appealed to the Board of Supervisors within 15 days of notification of the decision.

Sec. 1366-8. If the request for a Certificate of Appropriateness for a specific project proposal is denied by the Cultural Heritage Board or staff, the property owner of a designated Cultural Heritage Site shall be prohibited from taking action for 180 days from the date of the disapproval. Notwithstanding the provisions of section 1366-7 or any other provision of the Cultural Heritage Ordinance, following the date of denial of a complete Certificate of Appropriateness application by the Ventura County Cultural Heritage Board or by staff, a Certificate of Appropriateness shall not be required as follows: (a) in the case of a designated or interim basis Cultural Historical Site, one hundred eighty (180) days beyond; and (b) in the case of an undesignated site, immediately following such denial. Said decisions may be appealed to the Board of Supervisors within 15 days or decisions by staff may be appealed to

Everett Woody

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Friday, April 03, 2020 3:46 PM
To: Everett Woody
Cc: Thomas, Denice; RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith; Barrera, Ruben; Wright, Winston; Paniagua, Adrian
Subject: Follow up to March 16 2020 meeting -- Billiwhack Ranch: Use of Historic Building Code and Zoning Questions
Attachments: Billiwhack Ranch DPR forms.pdf; NRSC's.pdf

Case Nos. BP-C19001283; ZC-19-1390 and ZC-19-0684

Hello Everett

On March 16, 2020, staff met with you to discuss the Billiwhack Ranch project located at 2275 Aliso Canyon Road in unincorporated Ventura County (case number CV19-0100). During the meeting you wanted Planning Division Staff to advise whether the Historic Building Code may be used for this project and you wanted to know what status or decision is for the application currently under process listed above. We indicated that since your focused interest was on the historic building code, we prioritized that response which concluded this week.

With respect to the Historic Building Code, after research and consultation with the County Counsel, staff finds the Historic Building Code can be used for a portion(s) of this project. Section 18955 of the Historic Building Code states, in pertinent part, "[A] qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or such structures on existing or future national, state, or local historical registers or official inventories, [...] and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks." The Billiwhack Ranch is identified in the Western Santa Clara Survey Phase V, 1995 prepared for the County of Ventura by the San Buenaventura Research Associates (SBRA). The Department of Parks and Recreation form prepared for this property by SBRA identifies the site as eligible for listing as a District on the National Register of Historic Places (National Register Status Code 3D) (See attached Billiwhack Ranch DPR forms).

Additionally, Section 1365-5 (b)(2) of the Ventura County Cultural Heritage Ordinance states, in pertinent part, "For the purposes of this Ordinance, an improvement, natural feature or site may become a designated Cultural Heritage Site if it meets the following criteria: [...] Site of Merit – Satisfy the following criteria: 1) Sites of historical, architectural, community or aesthetic merit which have not been designated as landmarks or points of interest, but which are deserving of special recognition; and 2) County approved survey sites with a National Register status code of 5 or above." The subject site has a National Register status code in a County-approved survey of 3D, whose place in the hierarchy is higher than 5 (see attached NRSC's Document).

With respect to responses on the Zoning Clearances, a letter is being prepared which provides the information you are requesting. The letter will be finalized next week and forwarded to you under separate cover.

Thank you and stay well,

Dave Ward, AICP
Planning Director
dave.ward@ventura.org

Everett Woody

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 03, 2020 4:31 PM
To: Everett Woody
Subject: FW: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

For your information, please see below email exchange.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: James H. Smith
Sent: Friday, April 3, 2020 4:30 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good Afternoon Ms. Porche:

Thank you for your email. For whatever reason, I believe several individuals involved in this matter, certainly not yourself nor Mr. Ward, have had an inexcusable agenda, lack of understanding regarding their role and lack of knowledge regarding the applicable law involved. Moving forward, I believe it would be in everyone's best interests if the County could excuse Amanda Ahrens and Denice Thomas from further involvement in this Project. How those 2 individuals, in the positions they hold with the County, could have so misunderstood the application of the Historical Building Code to this project is an absolute mystery, which cost my client tens of thousands of dollars.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: Porche, Marina [<mailto:Marina.Porche@ventura.org>]
Sent: Friday, April 3, 2020 4:15 PM
To: James H. Smith <james@rogerssheffield.com>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good afternoon Mr. Smith,

Without agreeing with your characterization of the County's course of conduct, I appreciate the additional information that you have set forth in your email. I am copying Principal Assistant County Counsel Jeffrey Barnes and Assistant County Counsel Charmaine Buehner on this reply, because after Mr. Ward asked me to provide a legal opinion during that meeting, County Counsel management determined that others within the County Counsel Office could more appropriately respond to Mr. Ward's request. Mr. Barnes and Ms. Buehner are involved with that effort. I want to provide Mr. Barnes and Ms. Buehner with the benefit of the information that you have presented in your email, and I defer to them to determine who should further respond to your email.

Regards,

Marina Porche
Assistant County Counsel
800 South Victoria Avenue, L/C #1830
Ventura, CA 93009

Tel (805) 654-2583
Fax (805) 654-2185

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 3, 2020 3:56 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>
Subject: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Good Afternoon Ms. Porche:

The purpose of this email is to follow-up on the meeting we attended regarding the above referenced project on March 16, 2020. As you are aware, due to indecision by County, and conflicting positions by its various departments, the County has failed to further review the Project and has refused to issue the requested *Certificate of Appropriateness*. From our meeting of March 16, it is clear that the County is struggling with whether the Project to restore the historic structures does or does not fall under the Historic Building Code and, to a lesser degree, whether the main structure was or was not used as a main residence. This position seems to be perpetuated by several individuals that were attending the meeting that, in my opinion, were less

than informed regarding the applicable law. This of course is curious as a permit was issued allowing application of the Historic Building Code for structural repairs to the "main residence (Building #4)". That permit has not been revoked. Additionally, substantial documentation has been provided to the County, including a *Historical Resource Report*, all of which overwhelmingly establish the historical significance of the buildings and the use of Building #4 as a main residence.

At the conclusion of our March 16 meeting, it was my understanding that David Ward requested you to provide an opinion as to whether the Historic Building Code applies to the structures in question. I understood you would be making that determination within 2 weeks of our meeting of March 16, 2020. To date, I have not been informed that any progress has been made with respect to the foregoing. Additionally, no one at the County is responding to my client's inquiries regarding this matter. I certainly understand that you would like to carefully look into the issue. However, given the facts and circumstances, together with the documentation provided, it does not seem to be an overly complex issue.

Simply stated, our client believes the structures on the site may be restored using the California Historical Building Code. The grounds for qualification require the buildings to be designated as a historical building or structure. Under Section 18955 of the Health & Safety Code, a qualified historical building or structure is:

"...any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction."

As is apparent from the foregoing section, a property or structure qualifies for the California Historical Building Code if it is on a state or county register of inventories of historical or architectural significant sites. Our client's property and structures appear as a "Site of Merit" on an official county inventory of historical sites, **and are listed in a state record of historical resources**. Therefore, the Ranch and its structures qualify as a historical property and structures under Health and Safety Code section 18955.

The failure of the County to apply the applicable law to this Project, and issue the necessary approvals and permits, which the County is charged with responsibility to do, is costing my client a considerable amount of money arising from being denied the use of the property, which is slowly morphing into a taking by the County of Ventura. It was my understanding that we were attempting to work together to allow this Project to proceed thereby protecting the historic character of the property. Unfortunately, it appears several individuals in the County are doing everything possible to delay and increase the cost of this Project. Not only is that wrong, it is also contrary to Section 8107-37.1 which is very clear in its dictates when it comes to Cultural Heritage Sites: *"The purpose of this designation is to promote the enhancement, preservation, rehabilitation, restoration, reconstruction and maintenance of sites and structures of historical and cultural heritage value through the imposition of design standards. Fulfillment of this purpose can be impeded by strict adherence to various standards in the Zoning Ordinance. Therefore, this section promotes the stated purpose by creating a mechanism whereby appropriate deviations from the regulations of this chapter can be granted."*

Finally, if there is any remaining doubt regarding the application of the Historic Building Code to this Project, I encourage your review of the attached letter, dated April 2, 2020, from the State Historical Building Safety

Board, which states the obvious ***"Assuming that all buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by Definition of the California Historic Building Code (see HBC), and therefore eligible for use of the CHBC."***

Given the foregoing, further delay is simply unacceptable to my client. I would appreciate hearing from you regarding this matter at your earliest convenience.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

☎ 805.963.9721 ☎ 805.845.2356

rogerssheffield.com

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Ventura County Cultural Heritage Board Minutes

August 12, 2019 at 1:15 p.m.– Item 3b

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **11:00 A.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 2275 ALISO CANYON ROAD, SANTA PAULA, CA 93060 (BILLIWHACK RANCH)**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

A quorum could not be established, meeting was not called to order. The tour was still given to Staff and CHB members present however, CHB members present were instructed that they could not have any discussion or ask questions.

3. **1:15 P.M. CONVENE THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 800 S. VICTORIA AVENUE, VENTURA, CA 93009 (VENTURA COUNTY GOVERNMENT CENTER, ADMINISTRATION BUILDING, ATLANTIC CONFERENCE ROOM, SECOND FLOOR).**

4. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Gary Blum, John Kulwiec, Ricki Mikkelsen and Stephen Schafer.

CHB Members Absent:

Miguel Fernandez, Phil Englander, Darwin McCredie

Staff Present:

Denice Thomas, Cultural Heritage Program Manager

Ashley Cook, Cultural Heritage Planner.

5. **APPROVAL OF AGENDA**

- 6.a. **Vote to approve the July 12, 2019 Agenda**

CHB Member Mikkelsen made a motion to approve the agenda. CHB Member Kulwiec seconded the motion. Motion Passed; 4-0.

7. **PUBLIC COMMENTS**

8. **CONTINUED ITEMS**

None.

9. **NEW BUSINESS**

9.a. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No. CH19-0021)

Disclosures:

CHB Member Schafer disclosed that he was in attendance at the tour earlier in the day. CHB Member Kulwiec disclosed that he was also in attendance at the tour earlier in the day as well.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos as well as the history of the site. He answered questions from the CHB members.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

1. **CONDUCT** public hearing, **RECEIVE** oral and written testimony, and **CONSIDER** the County Planning staff report and all exhibits and attachments hereto; and,
2. **MAKE** the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.
3. Based on the preceding evidence and analysis, **APPROVE** a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Photo Presentation by CHB Member Schafer

CHB Member Schafer presented the photos taken during the tour earlier that day at the project site.

Deliberation and Recommendation:

CHB Member Schafer asked the applicant questions regarding the significance of some the character defining features. CHB Member Schafer had concerns with removing the original Dutch doors on Building 2 as they could be considered character defining features. CHB Member Schafer agreed with Staff that the tower element should not be raised as this could create conjectural feature. CHB Member Schafer mentioned that without

Everett Woody

Subject: FW: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

From: James H. Smith

Sent: Friday, April 17, 2020 4:37 PM

To: Ward, Dave <Dave.Ward@ventura.org>

Cc: 'Ruben.Barrera@ventura.org' <Ruben.Barrera@ventura.org>; 'Porche, Marina' <Marina.Porche@ventura.org>; 'adrian.paniagua@ventura.org' <adrian.paniagua@ventura.org>; 'Amanda.Ahrens@ventura.org' <Amanda.Ahrens@ventura.org>

Subject: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Dear Mr. Ward:

1. Your denial letter dated 04.14.2020 fails to disclose some key facts that attempts have been made to satisfy the violation items a-d listed in your notice of violation dated 06.25.2019. We submitted drawings to the Cultural Heritage Board (CHB) that would have satisfied the violations. The staff report was prepared and presented to the CHB on 08.12.2019 to approve the project as submitted. Board member Schaffer and staff member Denise Thomas stated as a point of fact that the property would require **Landmark Status** in order to use the California Historical Building Code (CHBC). To set the record straight we received a letter from the State Historical Building Safety Board stating the Billiwhack Ranch was eligible for use of the CHBC and subsequently the County conceded that we may use the CHBC. If staff was informed about the use of the CHBC we would have an approved Certificate of Appropriateness and the code compliance case against our property would be satisfied and the historic preservation of the property would be protected.

Applying the below sections of the CHBC as agreed would resolve the code compliance case:

- a. *"8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or **reconstruction** of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users."*
- b. *"Section 8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code."*

Therefore; (1) if the CHBC applies as the County has conceded in your email dated April 3, 2020 and; (2) Sections 8 -101.2 & 8-302.2 mean what they say, and in particular *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the*

requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code", I would appreciate your assistance in informing me how you reconcile the application of the CHBC with the reasons for your denial as set forth in points 1 through 4, starting on page 3, of your denial letter dated April 14, 2020.

2. Your correspondence of April 14, 2020, also leaves unanswered the status the Building Permit that was issued for the Project (B19-000857). That Permit was issued for the structural repair of the of the "main residence." Your attention is directed to the Construction Permit Application wherein the Structural Type is shown to be *"Residential"*. The Description of Work in the Application is stated to be *"Structural repair of an existing 17,939 square-foot main residence. (Building 4)."* The occupancy on the Permit is shown to be *"R-3"*. In reliance on that Permit, and in anticipation that the structure would be used, and in fact can be used under the CHBC, as a residence, over \$750,000 has been spent. In your denial letter of April 14, at page 4, you state *"The request to convert the creamery to the principal dwelling and utilize the existing dwelling as an accessory dwelling unit is denied because H-1 is too large to be designated as an accessory dwelling unit."* That of course raises several issues: (1) Is it your position that the Building Permit issued for the Project (B19-000857) has been unilaterally revoked by the County?; (2) Is it your position that the County of Ventura can disregard Section 8-302.2 of the CHBC which states: *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historic use or character, provided the qualified historical building or property conforms to the requirements applicable to the use or character of occupancy as set forth in the California Historic Building Code. Such change in you shall not mandate conformance with new construction requirements as set forth in regular code."*

Unfortunately, it appears that at each step taken by the County, rather than clarify and assist the Owner of the property, the County appears intent on further clouding the issues and obstructing the Project. Your prompt response in clarifying the position of the County, with respect to the unreconciled issues now created by your denial letter of April 14, 2020, will be appreciated.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

t 805.963.9721 f 805.845.2356

rogerssheffield.com

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Transcription.

[Member Schafer] The most important part of all of Judy's. 523 forms is this really boring one at the very end with no photographs. That is the district record. So I want to state on the record that I think everything is a district in the way that [inaudible] has told me. And the way I remember how to operate under a district is the district is the property. So we're not looking at any one building we are always looking at how it affects the district. It's definitely a district and my opinion is it's probably a national register eligible district and I think before any work is done if there is a condition or if conditions are to be put on this historic American building survey photography should be done because what I did was basically a quick record of what needs to be captured before it changes. I think. There's a lot of value showing it as is and putting that in the Library of Congress before it changes. And I think there can be varied changes that so I'm not opposed to that. I also can't imagine this doesn't need a discretionary permit at some point at the end of this and if it does the whole of the action becomes discretionary.

[Denise Thomas] Correct.

[Member Schafer] And it's so I think [inaudible].

[Denise Thomas] So here's Denise Thomas planning in response to that comment. So essentially what they've done is they're coming in for a piece of an overall project. And the way that CEQA is interpreted is the whole of the action once a discretionary permit is required the whole of the action becomes important and you have to evaluate for environmental impact reasons the whole of the action. And right now they're in for a certificate of appropriateness. But if at the end of it say for instance some sort of discretionary permit is required a CUP or some sort of a permit that requires the planning director approval Planning Commission approval or for a supervisor approval then this is subject to CEQA. And then you will have to do a CEQA determination whether or not the impacts of what they want to do will adversely impact the resource. We seem to be in front of that because right now you're only getting a piece of it. They want a COA to do the interior remodel and to change out these doors and windows. If at the end of this it's determined that for them to have those caretaker units that they want or for them to be able to change the site they need some sort of a discretionary permit. Then it changes what your review is. And you could have approved the COA prior to doing any kind of CEQA analysis and so it's the cart. It could be construed as the cart before the horse. It's unclear at this stage what. Which one is going to come first because the owner could say I just want to do this renovation and stop. Well if they only want to do this renovation and stop you're only reviewing this is a COA. But if they want to do something more than this renovation like make those two caretaker units and they exceed what the ministerial limits are in our code then all of a sudden it's a different review for you. And so you do have the ability to place conditions on the COA. That's the good news. So in the event that a discretionary permit is required you know you could trigger your COA approval possibly. But at this stage what's in front of you right now is not a CEQA analysis

it's a certificate of appropriateness for these renovations. And that's what you are charged with reviewing.

[Member Schafer] So the second part of that is I'm saying. [inaudible] As well as I can't see them doing major structural repairs under the secretary of interior standards because they would require either the historic building code Or new code. New codes going to destroy more things that are there. Historic Building Code is only applicable To certified buildings. So It's not certified.

[Denise Thomas] No it's not.

[Member Schafer] So that means that, No bueno there.

[Denise Thomas] You could condition it. If the applicant certification or being designated as a county landmark or national or state landmark is within the board's purview. And it's also the applicants choice. So the applicant can come voluntarily and say we want a landmark. This is a district. And then that could get them the historic building code would kick in. And this is a shameless plug but that's the topic that you're going to be discussing when we do our training our CLG training is going to be on this historic building code. They could do that and that would back them in. Could back them into the historic building code. They choose not to. The board has the ability to designate a district over the objections of the applicant as long as the applicant is given advance notice. We have never done that because we'd like to work with property owners as opposed to setting up an adversarial situation. But it is possible. So That's my input

Rosengren, Franca

From: Wright, Winston
Sent: Wednesday, September 16, 2020 2:43 PM
To: Rosengren, Franca
Subject: FW: Revised Site Plan and Scope of Work:
Attachments: 003 A-3 Enlarged Site Plan.pdf

From: Everett Woody <ejw@adcarch.com>
Sent: Tuesday, September 15, 2020 5:14 PM
To: Wright, Winston <Winston.Wright@ventura.org>
Cc: Tracy Cortez <tracy@racdb.com>; RAC architects (rick@racdb.com) <rick@racdb.com>; Nate Whitson <nate@nmconstructionco.com>
Subject: Revised Site Plan and Scope of Work:

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Good afternoon Winston,

I have attached a revised site plan with revised scope of work to resolve the code compliance case CV19-0100. The owners would like to request that the county change the denial to a correction based upon the revision we are proposing. Please call me to discuss 805 452 2999
Thank you,

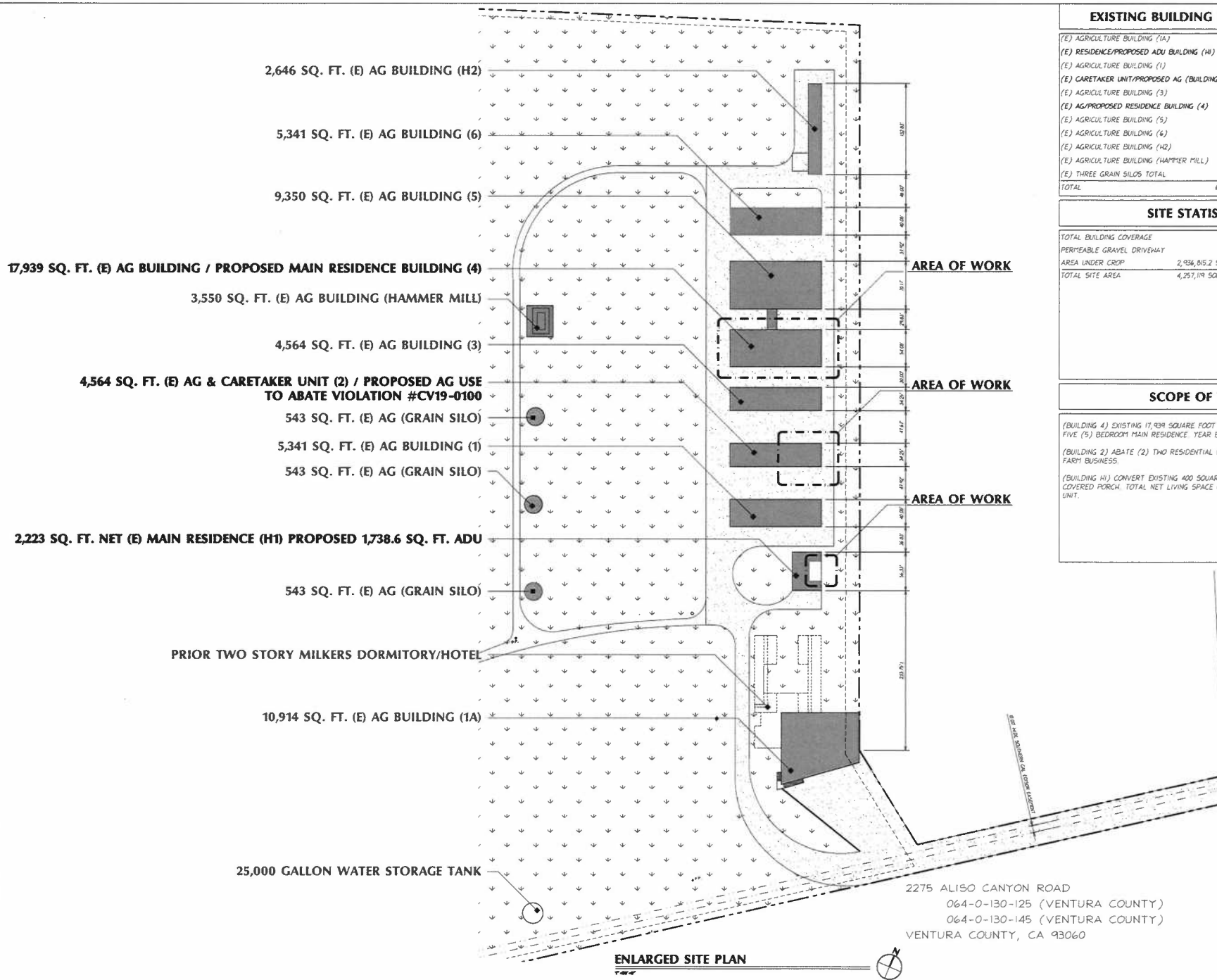
Regards,

Everett Jay Woody
Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, CA. 93101



Please consider the environment before printing this email.

County of Ventura Board of Supervisors Hearing PL20-0032 Exhibit 25 - Applicant's Email Request Dated 9-15-20



EXISTING BUILDING FLOOR AREAS

(E) AGRICULTURE BUILDING (1A)	10,914 SQUARE FEET GROSS
(E) RESIDENCE/PROPOSED ADU BUILDING (H1)	1,738.6 SQUARE FEET GROSS
(E) AGRICULTURE BUILDING (1)	5,341 SQUARE FEET GROSS
(E) CARETAKER UNIT/PROPOSED AG (BUILDING 2)	4,564 SQUARE FEET GROSS
(E) AGRICULTURE BUILDING (3)	4,564 SQUARE FEET GROSS
(E) AG/PROPOSED RESIDENCE BUILDING (4)	17,939 SQUARE FEET GROSS
(E) AGRICULTURE BUILDING (5)	9,350 SQUARE FEET GROSS
(E) AGRICULTURE BUILDING (6)	5,341 SQUARE FEET GROSS
(E) AGRICULTURE BUILDING (HAMMER MILL)	3,550 SQUARE FEET GROSS
(E) THREE GRAIN SILOS TOTAL	1,629 SQUARE FEET GROSS
TOTAL	67,577 SQUARE FEET GROSS

SITE STATISTICS

TOTAL BUILDING COVERAGE	55,683 SQUARE FEET
PERMEABLE GRAVEL DRIVEWAY	1,264,621 SQUARE FEET
AREA UNDER CROP	2,936,852 SQUARE FEET OR 67.42 ACRES
TOTAL SITE AREA	4,257,119 SQUARE FEET OR 97.7348 ACRES

SCOPE OF WORK

(BUILDING 4) EXISTING 17,939 SQUARE FOOT STORAGE BUILDING/PROPOSED FIVE (5) BEDROOM MAIN RESIDENCE YEAR BUILT CIRCA 1986.

(BUILDING 2) ABATE (2) TWO RESIDENTIAL UNITS AND CONVERT AREA TO FARM BUSINESS.

(BUILDING H1) CONVERT EXISTING 400 SQUARE FOOT NET LIVING AREA TO A COVERED PORCH. TOTAL NET LIVING SPACE OF 1,738.6 ACCESSORY DWELLING UNIT.

Rosengren, Franca

From: Tracy Cortez <tracy@racdb.com>
Sent: Monday, September 21, 2020 5:50 PM
To: Rosengren, Franca
Cc: Wright, Winston
Subject: Re: Thank you

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Thank you. We will review carefully. I appreciate the help today!

Tracy Cortez
RAC
3048 North Coolidge Avenue
Los Angeles, CA 90039
c | 213.308.0015
www.racdb.com

On Sep 21, 2020, at 4:50 PM, Rosengren, Franca <Franca.Rosengren@ventura.org> wrote:

Hello Ms. Cortez,

Thank you for your time today, too. I wanted to remind you to review the emails that I have sent you previously regarding what corrections need to be made to the plans. I noticed that the site plans do not address all of the corrections I have provided previously, such as providing the building footprint of each building (not only the GFA). I suggest going down the correction list(s) and making a check next to each one that has been addressed to verify it's done.

In addition to the other corrections we previously provided, please see a few corrections below to the recently submitted site plan:

1. Please relabel H2 on the plans and in the Existing Building Floor Areas Table to say: Legalization of a partial demolition (all walls and floors removed) of an existing 2,646-sq. ft. caretaker dwelling proposed as an agricultural shade structure.
2. Under the Scope of Work table, please remove the term "farm business" for building 2. It sounds like an office (commercial activity) will be located in this building. Instead, as you mentioned, please rephrase that to state "agricultural storage building" or if it's going to be an 1800 sq. ft. farmworker dwelling unit, then please note it as such. Also, under scope of work, we need to have a run-down of everything that you are doing and have done. For each building, please describe all of the work that will be or has been done to make the conversions and to legalize the new use. For example, removing and replacing 4 exterior doors (give sizes) in the living room, dining room, etc., removing and replacing windows (sizes) where?, adding interior walls, adding/removing plumbing plumbing, etc. (this is just my example, not your specific project). The more detailed the better for the Cultural Heritage Review Board's review.
3. I noticed that you only referenced the violation case number next to building 2, when in fact the violation involves the proposed main dwelling, building H2 and building 2. Please make that correction.

When you have submitted the entire application packet for review and paid the fees for Zoning Clearance and CHB review, a formal review of all of the plans will be conducted.

If you have any questions, please let me know.

County of Ventura Board of Supervisors Hearing PL20-0032 Exhibit 26 - September 21, 2021 Corrections to Applicant's Potential Revised Project Description
--

Sincerely,
Franca

Franca Abbatiello Rosengren | Senior Planner

Planning Permit Administration Section

Franca.Rosengren@ventura.org

Ventura County Resource Management Agency | Planning Division

P. 805.654-2045 | F. 805.654.2509

Additional Planning Division information is available at vcrma.org/planning

Ventura County General Plan Update. Join the conversation at VC2040.org

For online permits and property information, visit [VC Citizen Access](#)

<image001.jpg>

Pursuant to the California Public Records Act, emails retained by the County of Ventura may constitute public records subject to public disclosure.

From: Tracy Cortez <tracy@racdb.com>

Sent: Monday, September 21, 2020 3:26 PM

To: Wright, Winston <Winston.Wright@ventura.org>; Rosengren, Franca <Franca.Rosengren@ventura.org>

Subject: Thank you

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Thank you for your time today. I appreciate it.

Tracy Cortez
RAC
3048 North Coolidge Avenue
Los Angeles, CA 90039
c | 213.308.0015
www.racdb.com

Rosengren, Franca

From: Ayala, Jose@HCD <Jose.Ayala@hcd.ca.gov>
Sent: Thursday, October 29, 2020 7:40 AM
To: Rosengren, Franca; Barrera, Ruben; Ward, Dave; Wright, Winston
Subject: RE: 2275 Aliso Canyon Project

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Good morning,

I am reporting back on the team's findings. Upon a deeper analysis of the case, HCD will not be pursuing further Accountability and Enforcement actions at this time.

We appreciate you reaching out to the team and for your collaboration during the process. If you have any questions, please do not hesitate to reach out. Thank you, and have a good rest of your week.

Sincerely,



Jose Ayala

Housing Policy Analyst
Housing and Community Development
2020 W. El Camino Avenue, Suite 500 | Sacramento, CA 95833
Phone: 916.263.5116



From: Rosengren, Franca <Franca.Rosengren@ventura.org>
Sent: Friday, October 2, 2020 4:04 PM
To: Ayala, Jose@HCD <Jose.Ayala@hcd.ca.gov>; Barrera, Ruben <Ruben.Barrera@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Wright, Winston <Winston.Wright@ventura.org>
Subject: RE: 2275 Aliso Canyon Project

Hello Mr. Ayala,

The Planning Division would be happy to have a teleconference with you regarding the Billiwhack Ranch. The soonest I can tentatively schedule a meeting that includes the Planning Director and the Planning management is October 15 at 4 p.m. Please advise if this would work for you.

Ruben, please let me know if this also works for you. If it works for all, I'll send out a telecom meeting invite.

Sincerely,
Franca

Franca Abbatiello Rosengren | Senior Planner

County of Ventura Board of Supervisors Hearing PL20-0032 Exhibit 27 - October 29, 2020 Email from Jose Ayala (HCD) to Franca Rosengren

Planning Permit Administration Section

Franca.Rosengren@ventura.org

Ventura County Resource Management Agency | Planning Division

P. 805.654-2045 | F. 805.654.2509

Additional Planning Division information is available at vcrma.org/planning [vcrma.org]

Ventura County General Plan Update. Join the conversation at VC2040.org [vc2040.org]

For online permits and property information, visit VC Citizen Access [vcca.ventura.org]



Pursuant to the California Public Records Act, emails retained by the County of Ventura may constitute public records subject to public disclosure.

From: Ayala, Jose@HCD <Jose.Ayala@hcd.ca.gov>

Sent: Friday, October 2, 2020 10:32 AM

To: Rosengren, Franca <Franca.Rosengren@ventura.org>; Barrera, Ruben <Ruben.Barrera@ventura.org>

Subject: 2275 Aliso Canyon Project

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

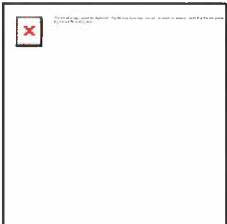
Good morning,

My name is Jose Ayala, and I am a Housing Policy Analyst with the California Department of Housing and Community Development. I am contacting you in regards to the project at 2275 Aliso Canyon, also known as the Billiwhack Ranch, to define the circumstances surrounding the issues, and to gain an understanding of the County's perspective.

I would like to set up a phone call to discuss the particulars of the case. Please let me know of some available time slots for next week.

Thank you, and please let me know if you have any questions.

Sincerely,



Jose Ayala

Housing Policy Analyst

Housing & Community Development

2020 W. El Camino Avenue, Suite 500 | Sacramento, CA 95833

Phone: 916.263.5116




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Angeli de Covolo, Inc.

122 East Arrellaga Street, Santa Barbara, California 93101
805-452-2999  ejw@adc-arch.com

Correction to staff report regarding Billiwhack Ranch

The following are corrections to the staff report. It will show that staff's recounting of events is flawed and the events as they happened were disorganized, unclear, misleading, and in certain cases fabricated. We are attempting to show that the County was adversarial and did not work to assist us. Rather the put up road block after road block, avoiding our questions for clarification to the extent that we had to hire an attorney, whose questions were also not answered, and we had to contact the state Architect to get the answer to the use of the CHBC which is stated plainly in 1366. This delay alone delayed us 8 months.

Sections from the staff report are in black and are numbered to match

Corrections to staff report are in blue

Additional events that are relevant to the understanding of the topic are in green italics

A.1. Statement of Case, paragraph 1

The property owner was issued a Notice of Violation for **construction and remodeling of structures and for the conversion of buildings from non-habitable to habitable uses** on property that has a County cultural heritage Site of Merit designation without the required permits and authorizations from multiple County agencies, including the Planning and Building and Safety Divisions.

The description in bold above is not what the violation states. It states the following:

Violation 1. Non-permitted modifications to the following structures;

- a) **Caretaker dwelling** (H2) – removal of attached carport; removal of exterior and interior walls; removal of plumbing, electrical, and mechanical systems; removal of floor/slab. The amount of work complete has exceeded the threshold of 50% of the walls and 50% of the floors. The legal non-conforming use of the structure as a caretaker dwelling has been lost.
- b) **Two-story main residence** (4) – removal of interior walls; removal of plumbing, electrical, and mechanical systems. Structure has deteriorated ceiling, floor, wall, and supports on all levels under the original location of the brine tank(s).
- c) **Caretaker dwelling (2) – non-permitted conversion of storage building to a caretaker dwelling unit and office.**
- d) Pool area adjacent to ranch maintenance and storage building (1A) – large concrete pool/structure, empty and with no barrier.

*The violation notice a through d above from **Staff Exhibit 4**, uses the naming convention for each building as used on our of June 19th submittal where we were actively trying to solve violation items. Additionally, the building in Item c was never seen by the Code Compliance Officer during her site visit. We believe her use of these labels and knowledge of the non-conforming use of building 2 was taken directly from our submittal on 6/19/19. We have posed the question of the appropriateness of the Code Compliance Officer's actions to the county a number of times. The question remains unaddressed.*

A.1. Statement of Case, paragraph 2

The property owner submitted the subject Zoning Clearance applications with scopes of work that did not address the violations cited in the Notice of Violation and were found to be contrary to and inconsistent with the regulations of the Non-Coastal Zoning Ordinance (NCZO). The submitted plans include erroneous information and inaccurately identify the existing, legal uses of the buildings on the property.

-Applications addressed the violations in the drawings. Staff agreed with and approved the project as evidenced by their action of giving clearance to the project to go to CHB for approval.

-Our submissions can only be considered contrary and inconsistent if the strictest read of the NCZO is used and if no consideration is given for cultural heritage sites.

-The inclusion of erroneous information accused of us has come down to our labeling of the drawings. This labeling was suggested and agreed upon by our original planning team who are no longer on our Project. Our plan labels have not changed throughout the entire process yet no one mentioned it as a problem until April of 2020 and, additionally, we have been given a residential permit with the drawings. We contend that if it was an issue for the County, it's the County's job to correct through the use of a correction notice. Mislabeling drawings was never discussed or noted as a correction.

A.4. Decision-Making Authority and Decision, paragraph 2

The Planning Director could not make this finding because the proposed project is both inconsistent with the standards to issue a Zoning Clearance (NCZO sections 8111-1.1.1 b(1) and (4)) and provisions in the NCZO governing the rebuilding of a nonconforming structure voluntarily removed, damaged, or destroyed (NCZO section 8113- 6.1.2).

- Refers to the NCZO section 8113-6.1.2 which was not cited in the correction notice. **Staff exhibit 10** refers to section 8113-6.1.1 which gives two options related to the damage at H2; voluntarily vs involuntarily damaged. Everett Woody's email to staff, dated 06.25.2019, memorializing the meeting of the same date, cites 8113-6.1.1 involuntary as the reason for the damage and explains why. **See exhibit B.** The planning director offered to consider involuntary damage if we could provide photographic evidence. When we presented a preponderance of images showing the state of the building at the time of purchase, he stated he could not consider it because we had an existing path available to us. The path is a CUP.

10. Background and Permit/Violation History; paragraph 2

The property has transferred ownership numerous times over the past 90 years but has always remained in agricultural use. Only a handful of building permits were issued after 1947, which consisted of electrical upgrades to the existing buildings. County records indicate that no building permits for new construction or conversion of the buildings have been issued for this property.

Identification of historic use has been a disagreement. The County insists on relying on Assessor records. The Assessor records are the least reliable source we have found. Our research shows the following:

- a. No assessor information was available from 1926-1955. The first existing assessor report was filed in 1956 only describing building 4 and the razed hotel. In 1956 the report indicated the owner was Houston Fearless Corp., a defense contractor. Not a rancher or farmer. This record names the Creamery building but the owner did not use it as a Creamery. We have an annual report describing their operations at that time. It was not agriculture use as stated by staff.
- b. This record indicates there were 13 pages yet only 4 exist.
- c. In 1956 Building 4 records shows only 2 water closets and 1 lavatory. Photographs prove this record to be inaccurate. Abandoned waste lines and infilled holes in the floor tell a different story. As many as six fixtures total.
- d. Historical aerial photographs also show a building built between the Creamery and Milking Barn. No permit exists to indicate this building was built or was removed but it was there.
- e. In 1956 the razed Hotel is described as unfinished and open. This would account for the prior owner's declaration stating that the building was unfinished and dangerous.
- f. The next existing record of assessor visit was in 1974 and assumed that building H2 was built in 1960. We know this is inaccurate because a circa 1934 home movie along with the 1994 Santa Clara Valley historic report show building H2 as being original to the site.
- g. The 1974 assessor report indicates that building 2 is a storage shed. The report also states that building 2 is estimated to be renovated and is deemed 78% good. Billiwhack Ranch has employed the same caretaker for over forty-five (45) years and he has always been and still is living in Building 2 so it was not a storage shed in 1974. **See exhibit C.** The Assessor clearly didn't go into the building and either copied the building label from a prior record, now lost, or stated what he thought it was. Proves unreliability.
- h. The Creamery is not listed on this record. The drawing of the Creamery is present but not labeled. It is crossed out and No Value is noted. This leaves only one Assessor over 90 years that states the use of the building and it is not accurate to the owner's use at that time.
- i. The dairy farm goes out of business in 1943 and the property is sold. Subsequent owners range from a Dude Ranch Developer to Defense Contractors to a Religious Academy until 1969 when the property is converted to citrus and avocado ranch. **See exhibit D** and presentation by the applicant.

We have provided the County with a great deal of research and evidence of the uses on the property from our research of historical newspapers, county recorder records, aerial photos, and people. These records have not been considered and the staff declare the property has always remained in agriculture use. If the county requires actual records to determine fact, they can't determine it was ever a dairy because there are no permits.

10. Background and Permit/Violation History; paragraph 3

In early 2019, the Code Compliance Division received a complaint that the property was being used for a commercial/industrial business without the required County permits or licenses. The Code Compliance Division issued a Courtesy Notice on March 25, 2019, advising the property owner of the alleged complaint. After the issuance of the Courtesy Notice, a considerable amount of communication occurred between the County and the property owner's representatives regarding the modifications made to several of the buildings on the property without the required County

permits. On May 25, 2019, the Code Compliance Division conducted a site inspection of the property and found unpermitted construction on the property (Exhibit 7).

Complaint made by an angry tenant that was inherited with the property, who stored and sold over a hundred motorcycles in a cow barn, and who we asked to move out. His complaint included running a business (false), renting for storage (false as we removed him and other unapproved uses). None of his accusations were true. What the code compliance officer found was existing issues we inherited when we purchased the property. We were in the midst of clearing out tenants who had 10s of years of accumulated items. One family member was living in the creamery and stored movie props which we had to clear. We rented (26) 40 yard dumpsters to clear all the accumulated material in these buildings. During that cleanup, H2 was "cleaned up" too far which is one violation caused by us and an infill wall and scabbed on electrical was cleaned up in the creamery. These were temporary and poorly done and were not original. We take responsibility for these as well.

Staff's exhibit 7 is a series of site photos from the inspection and we feel it's misleading. Only one of the photos in this exhibit is showing a violation.

The Code Compliance Officer did not find unpermitted construction on the property. She found unpermitted demolition of one structure.

10. Background and Permit/Violation History; paragraph 7

August 12th 2019 CHB Hearing One (1). Cultural Heritage Board (CHB) staff presented findings to approve a Certificate of Appropriateness (COA) for the project as submitted.

CHB supervisor Denise Thomas argued against the staff recommendation that was submitted. **See exhibit E.**

Board member at large Mr. Schaffer promoted the requirement of an historic report, even though we had a staff recommendation to approve.

Mr. Schaffer, along with, Ms. Thomas made a statement of fact that the California Historical Building Code (CHBC) may not be used on this project because The Billiwhack Ranch is not on the national register for historic buildings. **See exhibit F.** Mr. Schaffer compels the CHB board and the board votes unanimously to require an historic report. At the request of Mr. Woody, the board agrees to provide a recommendation for a permit for the structural repair of the Main Residence (building 4).

After the meeting, Mr. Schaffer contacts Mr. Woody by phone and by text message recommending his historian and 4 others. Highly inappropriate and intimidating. **See exhibit G.**

10. Background and Permit/Violation History; paragraph 8

On August 13, 2019, in response to the Cultural Heritage Board's direction, Planning Division staff issued a second Correction Notice (Exhibit 10) for Zoning Clearance Application No. ZC19-0684 advising the applicant that, among other corrections, the Cultural Heritage Board's requested changes must be reflected on the resubmitted plans. To date, the applicant has not resubmitted a revised project description or set of revised plans to address the August 13, 2019, Planning Division and August 12, 2019, Cultural Heritage Board's corrections regarding Zoning Clearance Application No. ZC19-0684.

Staff report claims that the CHB recommended a zoning correction notice **staff exhibit 10**. There is no record of the CHB recommending a correction notice

The CHB requested the addition of a missing window and correction of building 2 window sizes. These items were corrected for submission at CHB hearing 2. Staff report appears to be suggesting the CHB was commenting on the "mislabeling of drawings". They had no issue with the drawing labels.

10. Background and Permit/Violation History; paragraph 9

On August 14, 2020, in response to the approval by the Cultural Heritage Board to make structural repairs to the creamery building (Building 4), the applicant submitted Zoning Clearance Application No. ZC19-0896. On the same day, at the request of the applicant's representative, the Planning Division issued an Early Plan Review Agreement to allow the applicant to submit the project plans to the Building and Safety Division pending approval of Zoning Clearance Application No. ZC19-0896.

Subsequently, on August 29, 2019, Zoning Clearance Application No. ZC19-0896 (Exhibit 11), administrative Certificate of Appropriateness No. CH19-0027, and Building Permit No. B19-000857 (Exhibit 12) were issued to the applicant specifically for the repair of Building 4.

Staff neglects to mention the following:

Permit issued based on drawings submitted and clearly noting "*Building 4 structural repair of an existing 17,939 square foot main residence*". **See exhibit J**. We still had no idea that the labeling of the drawings was an issue.

Permit was issued as an R3 Occupancy, **See exhibit K**.

The permit drawings for the structural repair clearly defined all the building uses as submitted to CHB for review. **See exhibit L**. The labels had not changed and there was no indication they were mislabeled.

Staff report "*Planning Division Staff's Response*" claims Everett Woody was always told they could use the CHBC on the project. The use of the CHBC was not granted until April 3, 2020 by the Planning Director after numerous requests, a meeting with numerous staff members and our attorney, follow up by our attorney, and a letter from the State Architect obtain by us. **See exhibit H**.

10. Background and Permit/Violation History; paragraph 10

On September 9, 2019, the applicant's representative returned to the Cultural Heritage Board to apply for a Certificate of Appropriateness for the rest of the project (i.e., the "rehabilitation [and conversion] of existing structures" on the property) under Zoning Clearance Application No. ZC19-0684. However, the project description and site plan discrepancies had not been addressed by the board or by the applicant as requested in the July 9, 2019 and August 13, 2019 Correction Notices (Exhibits 8 and 10, respectively).

July 9th Notice states; The submitted photograph does not provide sufficient information to defend the applicants request for continuation of a non-conforming use within subject structure "H2" (as referenced in the violation).

Everett disagreed with planner's interpretation of the ordinance and the photographic evidence.

July 9th Notice states; "Submitted site plan indicates there are multiple buildings with various uses. Submit a floor plan and elevation plan for each structure.

July 9th Notice states; "Caretaker units are ministerial permits referenced in VCNCZO Sec. 8107-26, please provide information on exact areas "under crop" and how standards are met for caretaker units."

June 25th 2019. Everett Woody meeting with assigned planner Adrian Paniagua who agreed to allow both caretaker units if we provided proof of tree order to bring under crop to requirement. Everett Woody discussed the issue of the unavailability of trees due to the Thomas Fire and that Owner had trees on order but could not get an order for over 1000 trees. Planner said to submit the receipt, **See exhibit A.**

Additionally, the applicant's representative explained that the property owner opted not to provide a Historic Resources Report for the project, as required by the Cultural Heritage Board at its August 12, 2020 meeting, because the applicant stated, "the bids for the report were coming in too high."

The discussion was about the necessity of an historic report for a project where the changes are not seen from the street, whose changes are in the creating of new openings drawn to match existing and the modification of existing openings to change windows to doors also drawn to match existing, raising of the tower by a few feet, and changing the solid doors of one building to doors with glass, also matching the style of other doors in these buildings. The whole of the effect on the Creamery building was less than 2% of the exterior and only the tower could possibly be seen by the public. This degree of modification could have been determined by the board who had toured the site in person prior to the meeting. Our subsequent historical report is consistent with this fact. Project recommended. Project in keeping with the Secretary of Interiors guidelines. Even the tower modification was in keeping with the standards. We understood the request to be unnecessary.

September 9th 2019: CHB Hearing Two (2) Everett Woody presents the exact language from the CHBC to the CHB and we receive two votes. Still no mention from any county staffer that the buildings as described in our application and drawings had a problem with building descriptions or building 4 main residence.

Meeting minutes CHB 2 *"Ashley Cook presented a PowerPoint presentation outlining the project and the update since the August 12, 2019, meeting. No new action was recommended as CHB Staff deferred to the CHB."*

CHB decision. *"The CHB started to discuss tabling the item again, Denise Thomas recommended that the CHB either approve or deny the item. The item was tabled before and the applicant stated their client was not going have an HRR prepared; giving the applicant a decision allows the property owner to appeal if they wish."* **CHB votes no HRR no COA 3-2 denied.** No other issues stated. **See exhibit N.**

10. Background and Permit/Violation History; paragraph 11

From the end of September 2019 until December 19, 2019, the applicant did not communicate with the Planning Division nor the Code Compliance Division regarding the pending Zoning Clearance Application No. ZC19-0684 or the outstanding violations.

October 2nd 2019 Everett met with planner Adrian Paniagua to discuss submitting drawings for the interior remodel of the main residence (building 4). Staff claims this meeting never happened. **See exhibit P**

- a. Discussion that no exterior changes would be included in the scope of work.
- b. Everett stated that an Historian was retained for a future CHB submittal.
- c. Planner had no issues with regards to moving forward with the interior remodel.
- d. Still no indication of issues with the project.

The balance of this document represents the balance of the timeline of events that we feel is relevant to the lack of clarity we experienced. It also continues to support our assertion that there was never mention made that the drawings were improperly labeled until April 2020 and that the CHBC was not allowed on this project until April 3, 2020.

- 1. December 19th 2019 Interior remodel of the main residence building 4 submitted for zoning clearance and plan check.
 - a. Early plan review agreement received from planner Adrian Paniagua.
 - b. No issues and project intake completed.
 - c. No mention of a problem with building 4 or any other issues.
 - d. Submitted site plan shows building H-2 as under appeal. **See exhibit Q.**
- 2. January 24th 2020, Everett Woody received plan check comments from the County regarding the interior remodel (C19-1283).
 - a. Mechanical engineer indicated that the project required energy calculations (title 24), this requirement is not consistent with the CHBC, again showing project was not permitted use of the CHBC.
- 3. Early February 2020 Everett Woody makes 4 separate visits to the County regarding status of the zoning clearance application for the interior remodel (ZC19-1390).
 - a. Planner Adrian Paniagua not available and not returning phone calls or emails.
 - b. On February 11th 2020 Everett Woody met with planner Adrian Paniagua. Adrian was checking with CHB and would get back to Everett. Adrian did not get back to Everett.

4. February 13th 2020 met with plans examiner Paul Kim regarding title 24 requirements for historic buildings using the CHBC.
 - a. Everett received email from plans examiner Paul Kim that the code compliance officer Amanda Ahrens instructed the plans examiner Paul Kim to stop the review of the interior remodel immediately. **See exhibit R.**
5. February 13th 2020 met with planner Adrian Paniagua and he indicated that the CHB had concerns about preserving the ceiling murals.
 - a. Code compliance officer Amanda Ahrens takes over meeting and informs me that the main residence is not a residence and that I must provide more proof for the non-conforming structures before we can move forward with the interior remodel.
 - b. Amanda also informed me that the CHBC could not be used on this project because Billiwhack Ranch is not a national landmark.
6. February 14th 2020 met with the Building Official Ruben Barrera regarding use of the CHBC for the interior remodel. **See exhibit S.**
 - a. Building official Ruben Barrera said that he would instruct the plans examiner to send me link to upload new drawings for a CHBC review without charge.
 - 1) Everett uploads the drawings for review.
 - 2) Owner directs plan check to proceed at his own risk.
 - 3) Project was never reviewed using the CHBC per the Building Official instructions without explanation and the project is halted again.
7. February 14th 2020 met with senior planner Winston Wright and planner Adrian Paniagua to discuss my conversation with the code enforcement officer Amanda Ahrens on February 13th.
 - a. Winston informed me that after further review of the project, building H-1 guest house is over the allotted NZCO guest house area by 1,800 square foot by 400 square feet and because it is over the NZCO maximum building, building H-1 is now considered the main residence, rendering building 4 to a useless maximum living area of 1,200 square feet. Winston points to the inaccurate 1956 assessor report provided by Everett in the original 06.11.2019 application.
 - b. Winston accuses me of submitting fraudulent information to the county and that is why the project was halted. We asked about the structural repair permit for the main residence and he eluded to fraud again. The status of that permit has never been addressed in writing. Winston did say if we could prove the site was ever used for government research, would make his decision easier to approve. **See exhibit T.**
 - c. Adrian Paniagua and the staff report claim (see staff exhibit 15 – Zoning Correction Notice) that I was handed and emailed the correction notice by the CHB on 12.20.2019. Mr. Paniagua could not provide proof of email. Also, I was not in the country on 12.20.2019, so the contractor finished the submittal on 12.20.2019 for me. Furthermore, staff has the administrative authority to approve the interior remodel under Ventura County Cultural Heritage Board Resolution No. 2017-2.1. **See exhibit U.**

8. March 16th 2020 a meeting was held with planning director Dave Ward and staff along with Attorney Jim Smith, Nate Whitson and Everett Woody to discuss the entire history of the project. **See exhibit V.**
 - a. The meeting was a complete waste of time. Not one County employee listened with empathy to a single word by Everett and company. Not a single document from the provided Permit History Book rev. 4 we presented was addressed.
 - b. Dave Ward did state that he would investigate the language regarding the use of the CHBC on our project. The use of the CHBC was the predicate for our project moving forward. **See exhibit W.**
9. April 3rd 2020 Dave Ward sends out an email stating that CHBC can be used on our project. It becomes apparent that Dave Ward and Staff have ignored all the additional documentation provided to them in Permit History Book rev. 4 along with verbal conversations during the March 16th meeting as stated below.
 - a. Dave Ward and staff ignored Health and Safety Code Statute Section 18951 regarding change of occupancy as discussed in the march 16th meeting. **See exhibit X.**
 - b. Dave Ward and staff ignore Health and Safety Code Statute Section 17958.12 regarding issuance of a retroactive building permit. **See exhibit Y.**
 - c. Dave Ward and staff also ignored the Secretary of the Interiors Guidelines (SOIG) regarding change of occupancy as described in CHB ordinance 4225 Section – 1366-3 (c).
 - d. Staff report claims that building and safety only disregarded the use of the CHBC regarding the use of specific questions. Then why was the project reviewed using the regular building code?
 - e. Specific questions to Dave Ward and staff have never been answered.
 - 1) CHB ordinance 4225 sec. 1366-3 (c). **See exhibit Z.**
 - 2) Is the structural repair permit (B19-857) of the existing residence still active? The staff report states that the permit is still active. Therefore, we should be allowed to move forward with the interior remodel. **See exhibit L.**
 - 3) CHB ordinance 4225 sec. 1366-8. The 180 day rule. How does this section apply to our project? **See exhibit 1A.**
 - 4) Can we use the CHBC or our project? Finally answered by Dave Ward on 04.03.2020, only after spending \$30,000 on attorney and consultant fees. **See exhibit 2A.**
 - 5) Planning Commission and Board of supervisor hearing notices dated 1948 presented to staff in Renovation Project History book revision 4 has not been addressed. **See exhibit 3A.**
10. April 14th 2020 Senior planner Winston Wright emails a formal denial of our project signed by Dave Ward.
 - a. The staff report failed to answer the above 17.e.1)-6) questions.

11. April 21st 2020 an electrical permit application was submitted to the County to re-wire and update the electrical systems in Building 5.

- a. Electrical permit issued on April 22nd 2020.

12. Recap:

- a. Staff report states that building descriptions and uses provided to the county do not match assessor, building permit and Department of Parks and Recreation DPR records. Staff made no attempt to research a lost 1948 planning commission resolution allowing a special use permit, followed by building permit. Ignoring past property ownership and historic uses.
- b. Because building H-1 is over on area by 400 square feet, building 4 is not allowed residential use. Preservation of a resource or 400 square feet. Easy choice.
- c. Building H-2 was irreparably damaged simply by the age of the building and the lack of maintenance of the grade around the building. **See exhibit B.**
- d. Senior staff should not have allowed a re-review of our project after building permits and vesting in construction had already been started. Because initial staff were no longer employed at the county to explain their research and approval methods and justifications.



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
52303

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

**PLEASE SIGN
& RETURN**

ORDER DATE: 12/20/2018
ORDERED BY: Dave
RECEIVED BY: Andi
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
420	Lamb Hass Avocado on Clonal Duke 7	31.50	0.00	\$13,230.00	6/30/2019

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
3. California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
4. Shipping not included

Sub-total \$13,230.00
Citrus Assessment³ 0.00
Total \$13,230.00

THIS ORDER WILL BECOME EFFECTIVE WHEN SIGNED BY BUYER AND WHEN DEPOSIT IN AMOUNT OF \$ 13,230.00 IS RECEIVED BY SELLER. BUYER'S DEPOSIT IS NOT REFUNDABLE. IF DEPOSIT IS NOT RECEIVED IN 30 DAYS FROM ORDER DATE, THIS ORDER SHALL BE AUTOMATICALLY CANCELED. THE BALANCE OF THE TOTAL PRICE FOR EACH PLANT TYPE ORDERED WILL BE DUE AND PAYABLE IMMEDIATELY WHEN TREES ARE RECEIVED BY BUYER OR UPON PASSAGE OF TITLE, WHICHEVER IS EARLIER.

DEPOSIT: Amount Received \$ 0.00 as of Date 12/21/2018 Paid by CHECK HAS BEEN MAILED

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

1/10/19

DATED

BUYER SIGNATURE

Payment in full for Lamb Hass order is required at the time of placing the order. Please remit \$13230.00 within 30 days.

TRACY CORTEZ OWNER
Buyer name and title: (print)

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

Norma Favila
BROKAW NURSERY, LLC - SELLER
Norma Favila, Sales Manager



Brokaw Nursery LLC

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5501 Elizabeth Road, Ventura California 93004
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SALES ORDER #
52303

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

ORDER DATE: 12/20/2018
ORDERED BY: Dave
RECEIVED BY: Andi
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
500	Hass Avocado on Clonal Duke 7	31.50	0.00	\$15,750.00	6/30/2019

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
3. California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
4. Shipping not included

Sub-total \$15,750.00
Citrus Assessment³ 0.00
Total \$15,750.00

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DEPOSIT: Amount Received \$ 13,230.00 as of Date 6/27/2019 Paid by Billiwhack Ranch LLC

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

DATED

BUYER SIGNATURE

Payment in full for Lamb Hass order is required at the time of placing the order. Please remit \$13230.00 within 30 days.

Buyer name and title: (print)

Norma Favila

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

BROKAW NURSERY, LLC – SELLER
Norma Favila, Sales Manager

6/27/2019

ORIGINAL SALES CONTRACT

Page 1 of 1



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
53252

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

ORDER DATE: 7/26/2019
ORDERED BY: Tracy
RECEIVED BY: Norma
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
420	Lamb Hass Avocado on Clonal Toro Canyon	* 36.30	0.00	\$15,246.00	6/30/2021

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
3. California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
4. Shipping not included

Sub-total \$15,246.00
Citrus Assessment³ 0.00
Total \$15,246.00

THIS ORDER WILL BECOME EFFECTIVE WHEN SIGNED BY BUYER AND WHEN DEPOSIT IN AMOUNT OF \$ 3,811.50 IS RECEIVED BY SELLER. BUYER'S DEPOSIT IS NOT REFUNDABLE. IF DEPOSIT IS NOT RECEIVED IN 30 DAYS FROM ORDER DATE, THIS ORDER SHALL BE AUTOMATICALLY CANCELED. THE BALANCE OF THE TOTAL PRICE FOR EACH PLANT TYPE ORDERED WILL BE DUE AND PAYABLE IMMEDIATELY WHEN TREES ARE RECEIVED BY BUYER OR UPON PASSAGE OF TITLE, WHICHEVER IS EARLIER.

DEPOSIT: Amount Received \$ 13,230.00 as of Date 9/9/2019 Paid by Transfer from SA 52303

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

DATED

7/26/19 Transfer \$13,230.00 from Order #52303

BUYER SIGNATURE

Buyer name and title: (print)

Norma Favila

BROKAW NURSERY, LLC – SELLER

Norma Favila, Sales Manager

* You are on a wait list for these items should they become available

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

9/9/2019

ORIGINAL SALES CONTRACT

Page 1 of 1



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
53252

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

ORDER DATE: 7/26/2019
ORDERED BY: Tracy
RECEIVED BY: Norma
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
420	Lamb Hass Avocado on Clonal Toro Canyon	* 36.30	0.00	\$15,246.00	6/30/2021

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
3. California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
4. Shipping not included

Sub-total \$15,246.00
Citrus Assessment³ 0.00
Total \$15,246.00

THIS ORDER WILL BECOME EFFECTIVE WHEN SIGNED BY BUYER AND WHEN DEPOSIT IN AMOUNT OF \$ 3,811.50 IS RECEIVED BY SELLER. BUYER'S DEPOSIT IS NOT REFUNDABLE. IF DEPOSIT IS NOT RECEIVED IN 30 DAYS FROM ORDER DATE, THIS ORDER SHALL BE AUTOMATICALLY CANCELED. THE BALANCE OF THE TOTAL PRICE FOR EACH PLANT TYPE ORDERED WILL BE DUE AND PAYABLE IMMEDIATELY WHEN TREES ARE RECEIVED BY BUYER OR UPON PASSAGE OF TITLE, WHICHEVER IS EARLIER.

DEPOSIT: Amount Received \$ 13,230.00 as of Date 9/9/2019 Paid by Transfer from SA 52303

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

DATED

7/26/19 Transfer \$13,230.00 from Order #52303

BUYER SIGNATURE

Buyer name and title: (print)

Norma Favila

* You are on a wait list for these items should they become available

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

BROKAW NURSERY, LLC – SELLER
Norma Favila, Sales Manager



Brokaw Nursery LLC

MAILING ADDRESS: P.O. BOX 4818, VENTURA, CALIFORNIA 93007

5501 Elizabeth Road, Ventura California 93004
(805) 647-2262 Fax 805-671-9738
www.brokawnursery.com

SALES ORDER #
53252

BUYER:

Billiwhack Ranch
3048 North Coolidge Ave
Los Angeles, CA 90039

SALES AGREEMENT

PLEASE SIGN
& RETURN

ORDER DATE: 7/26/2019
ORDERED BY: Tracy
RECEIVED BY: Norma
PHONE: 323-663-9899

QUANTITY	PLANT DESCRIPTION (Scion and Rootstock)	UNIT	ROYALTY/TM	TOTAL PRICE	READY DATE ²
1000	Hass Avocado on Clonal Toro Canyon	* 36.30		\$36,300.00	6/30/2021

Hi Tracy,
Please sign this revised contract for 2021.
Craig called and requested 1,000 Hass Toro Canyon.
Thank you. Norma

1. These varieties are patented or protected. Contact Brokaw Nursery, LLC before further propagation.
2. This is an approximate readiness date and, under normal circumstances, the latest date the plants will be ready. They may be ready during the four preceding months.
3. California Citrus Nursery Stock Improvement - 1% will be added as required by Law (citrus only)
4. Shipping not included

Sub-total \$36,300.00
Citrus Assessment³ 0.00
Total \$36,300.00

THIS ORDER WILL BECOME EFFECTIVE WHEN SIGNED BY BUYER AND WHEN DEPOSIT IN AMOUNT OF \$ 9,075.00 IS RECEIVED BY SELLER. BUYER'S DEPOSIT IS NOT REFUNDABLE. IF DEPOSIT IS NOT RECEIVED IN 30 DAYS FROM ORDER DATE, THIS ORDER SHALL BE AUTOMATICALLY CANCELED. THE BALANCE OF THE TOTAL PRICE FOR EACH PLANT TYPE ORDERED WILL BE DUE AND PAYABLE IMMEDIATELY WHEN TREES ARE RECEIVED BY BUYER OR UPON PASSAGE OF TITLE, WHICHEVER IS EARLIER.

DEPOSIT: Amount Received \$ 17,041.50 as of Date 12/12/2019 Paid by Transfer from SA 52303

PLEASE READ THE OTHER TERMS AND CONDITIONS OF YOUR AGREEMENT PRINTED ON THE BACK.

Buyer hereby agrees to buy the plants above described and to be bound by the terms and conditions set forth above and upon the reverse side of this sales agreement.

1/4/20

DATED

REVISED

7/26/19 Transfer \$13,230.00 from Order #52303

BUYER SIGNATURE

TRACY CORTES, OWNER
Buyer name and title: (print)

* You are on a wait list for these items should they become available

This is confirmation of your order. Please sign both copies, keep one for your records and return the other with your deposit.

BROKAW NURSERY, LLC - SELLER
Norma Favila, Sales Manager

12/12/2019

ORIGINAL SALES CONTRACT

Page 1 of 1

Everett Woody

From: Everett Woody <ejw@adcarch.com>
Sent: Tuesday, June 25, 2019 9:11 PM
To: 'Adrian.Paniagua@ventura.org'
Cc: 'amanda.ahrens@ventura.org'; 'ashley.cook@ventura.org'; 'Rick Cortez'; 'Tracy Cortez'; 'Billiwhack (rac)'; 'Nate Whitson'; 'Dean.Pthaneuf@ventura.org'
Subject: Billiwhack Ranch Renovation:
Attachments: Mud damage building H2.pdf

Hello Adrian,

Thank you so much for all the information you provided us in today's meeting. I wanted to get this email out memorializing our meeting this morning while still fresh in my mind.

I will memorialize today's meeting to the best of my recollection and notes by building:

- **Building 1A storage** and the former hotel excavation: It was brought up by Amanda that a re-roof was being done without a permit. I explained that some simple roofing emulsions were applied over the concrete deck where cracking had occurred. Also, Amanda recommended the excavation of the former hotel had to be covered up or fenced off until a future decision was made regarding any possible future reconstruction of the former hotel. In the end we all agreed this building 1A was existing and no violation occurred.
- **Building H1 guest house:** No issues.
- **Building 4 main residence:** Amada explained the formal complaint had identified that demolition had occurred without a permit. The complaint nor Amanda could identify exactly what had been demolished. With that said I explained that plumbing fixtures for the kitchen and bath room had been removed along with two partition walls without any electrical or plumbing associated with them. I also disclosed that a large amount of clothing and personal belongings that had been accumulating for over 75 years had also been removed.
Ashley Cook the planner for the Cultural Heritage Board (CHB) and Adrian Paniagua associate planner assigned to our project agreed to work together in order to expedite a structural repair permit for this building. We also had consensus that no title 24 energy would be required on this building do to its historic significance. However, the final say would need to come from the building official prior to occupancy or building permit issuance.
- **Building 2 caretaker dwelling:** Adrian explained that we would need to provide evidence of additional planting that would prove 80 acres was under crop in order to justify the continual use of Buildings 2 and H2 as dwellings under the current ordinance. I informed Adrian that the owner has over 1,000 trees on order and he requested a copy of the invoice and an updated planting plan. Further discussion included that both of the buildings exceeded the 1800 square foot ordinance allowance and the buildings would require some proof of its nonconforming use over the past 75 years.
I asked Ashley (CHB) if the board was interested in preserving the existing uses? I went on by questioning the role of code enforcement vs historic preservation by stating that both departments seem to have diametrically apposing missions regarding enforcement vs preservation. Code enforcement seems to be more interested in terminating the existing use while CHBs directive is to preserve them. I never really got an answer from CHB. Amanda added to the discussion by stating that the burden of proof was on us to demonstrate the historic use. I pointed out in my synopsis that we have a 75 year old septic system and construction techniques that supersede the 1947 ordinance enactment. Adrian said that an historic report would need to be provided to show conclusively that the building was used as a dwelling prior to the 1947 ordinance adoption.

- **Building H2 caretaker dwelling:** The discussion of this building had a lot of overlap with Building 2, with one distinction. Building H2 interior and exterior walls were damaged then removed without a building permit. Amanda explained that because more than 50% building H2s floor area had been removed, specifically interior and exterior walls. H2 would lose its nonconforming status. I asked Ashley (CHB) if the board would want H2 to be demolished in order to comply with enforcement? I don't think I really received an answer to this specific question. Only that I explained that enforcement and CHB seem to have opposing ideas on how to proceed. Amanda's supervisor Dean Phaneuf jumped in to say that they all want to work together with us to find solutions.
- **Site Electrical:** I said that the ordinance required zoning clearance for site electrical. Both Adrian and Amanda said they would get back to me on this.

My Conclusion:

I am requesting that Adrian Paniaqua submit formal comments to us in writing regarding the project as submitted.

Building 2: I do not see justification to have an historian provide additional documentation that has already been provided to you in my report. We have existing construction techniques and materials along with a 75 year old septic system that predate 1947.

Building H2: We have excellent historic documentation, photographs, newspaper articles, tax information, and a silent movie all predating 1947. But, most importantly The Santa Clara Valley Historic Report ordered by the County supervisors prove conclusively that this building existed prior to 1947. More importantly Sec. 8113-6.1.1 states the 50% rule would not be applicable to our project because the structure was **involuntarily damaged** (see the below in highlighted section). The attached photograph clearly demonstrates involuntary damage to this building because of a mud slide. Involuntary damage would also include 75 years of deferred maintenance i.e. dry rotted floor joists, walls and so forth. The roof, ridged steel frame and foundation of the building remain intact. I don't think it would be prudent or would be in the best interests of this historic building to apply a more restrictive interpretation of this ordinance. Dean proposed in our meeting that we are all looking for solutions to help this property comply with the current ordinance. This would be a good place to start.

Sec. 8113-6.1.1

*Whenever any such structure is voluntarily removed, damaged or destroyed to the extent of 50 percent or less of its floor or roof area which existed before destruction, **OR is involuntarily damaged or destroyed in whole or in part, the structure may be restored to its original state existing before such removal, damage or destruction.** The occupancy or use of the structure or part thereof which existed at the time of the damage or destruction may be continued if a complete building permit application for a replacement structure has been submitted to the Building and Safety Division within a period of 12 months after the occurrence of the damage or destruction, and said building permit once approved is diligently pursued to completion prior to permit expiration.*

Thank you all for your kind consideration and expertise.

Regards,

Everett Jay Woody
 Angeli de Covolo, Inc.
 122 E. Arrellaga Street
 Santa Barbara, CA. 93101



Please consider the environment before printing this email.

ADDRESS Willoughby Road

SHEET 61 OF 13 SHEETS

DESCRIPTION OF BUILDING

CONSTRUCTION RECORD				EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD				RATING (E,G,A,F,P)							BATH & LAVATORY DETAIL											
Permit		Amount	Date			Age	Remain'g Life	Table	%	Cond	Arch. Attr.	Func. Plan	Con- form	Storage Space Cupb'd Closet	Work- manship	Fl.	No.	FINISH		FIXTURES					SHOWER			
No.	For			Floors	Walls													Wc.	La.	Tub	Dr.	Type	Grade	Sf.	O.T.G.D.	Finish		
				1926	26	1956	30	30	0860	78	G	G	G		G	1	Tile	GEN'L Tile	2	1			0	A				
																1			2	1								
685-8															SPECIAL FEATURES													
															Refrigeration:						Built-in Beds:							
															Elevators:													

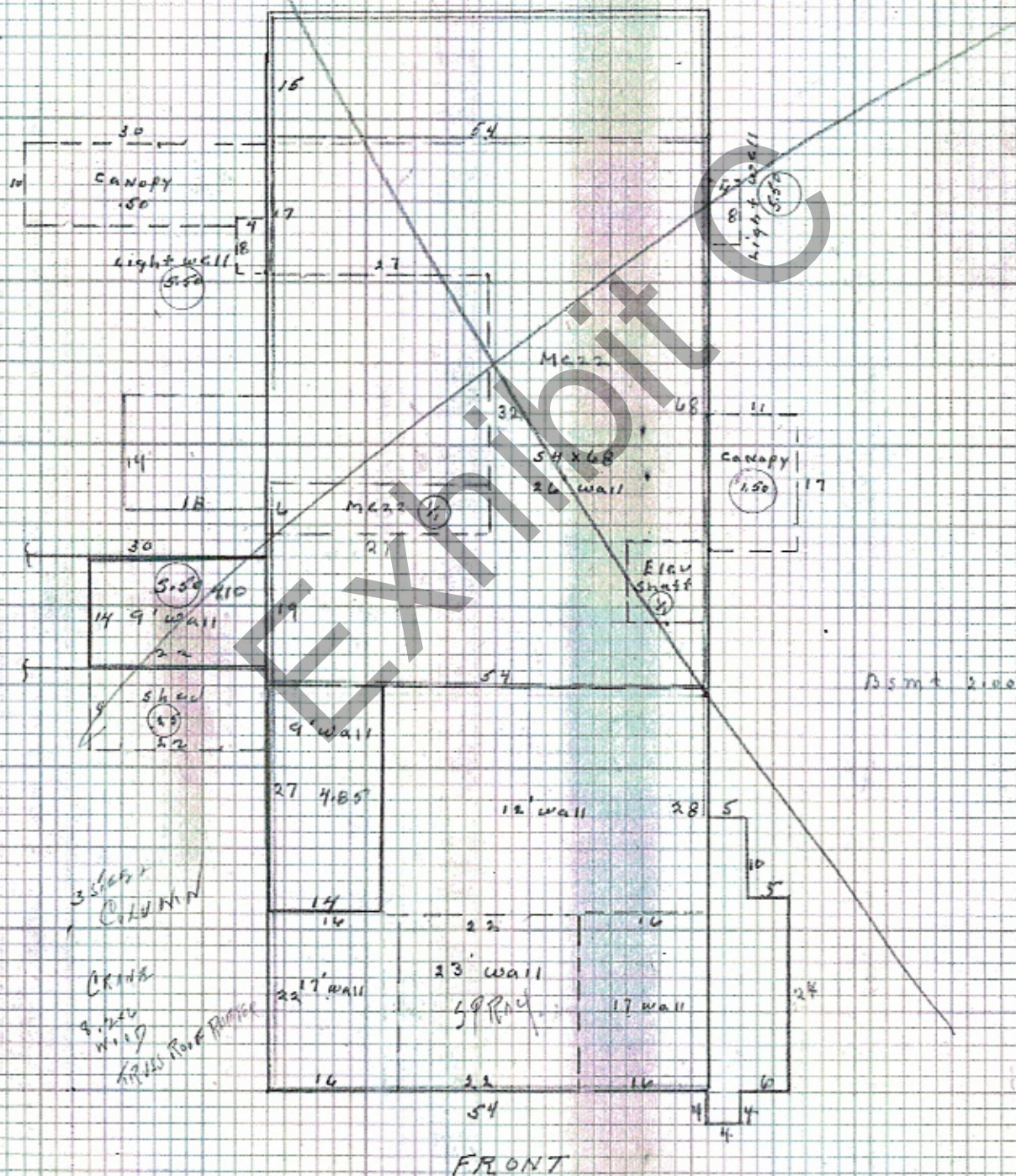
Building 4 Main Residence

MAP _____ COSE

12' Wall	APLA @	6.50
24' "	" "	@ 8.0
17' "	" "	@ 7.25
17' L.C.S. Floor		6.25
23' Wall		8.25
MC22		5.00

Building 4 Main Residence

Chain Link 6x30 @ 1.80



PARCEL 064-0-150-045
SHEET 1 OF 145 SHEETS

Willoughby Road

DESCRIPTION OF BUILDING

CONSTRUCTION RECORD				EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD				RATING (E,G,A,F,P)							BATH & LAVATORY DETAIL												
Permit No. For		Amount	Date			Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con- form.	Storage	Space	Work- manship	Fl.	No.	FINISH		FIXTURES						SHOWER		
																		Floors	Walls	Wc.	La.	Tub	Ur.	Type	Grade	St.	Q.T.	G.O.	Finish
					1954		88.6	F	A	A				A															
																		SPECIAL FEATURES											
																		Refrigeration:						Built-in Beds:					
																		Elevators:											
																		Sprinklers:											

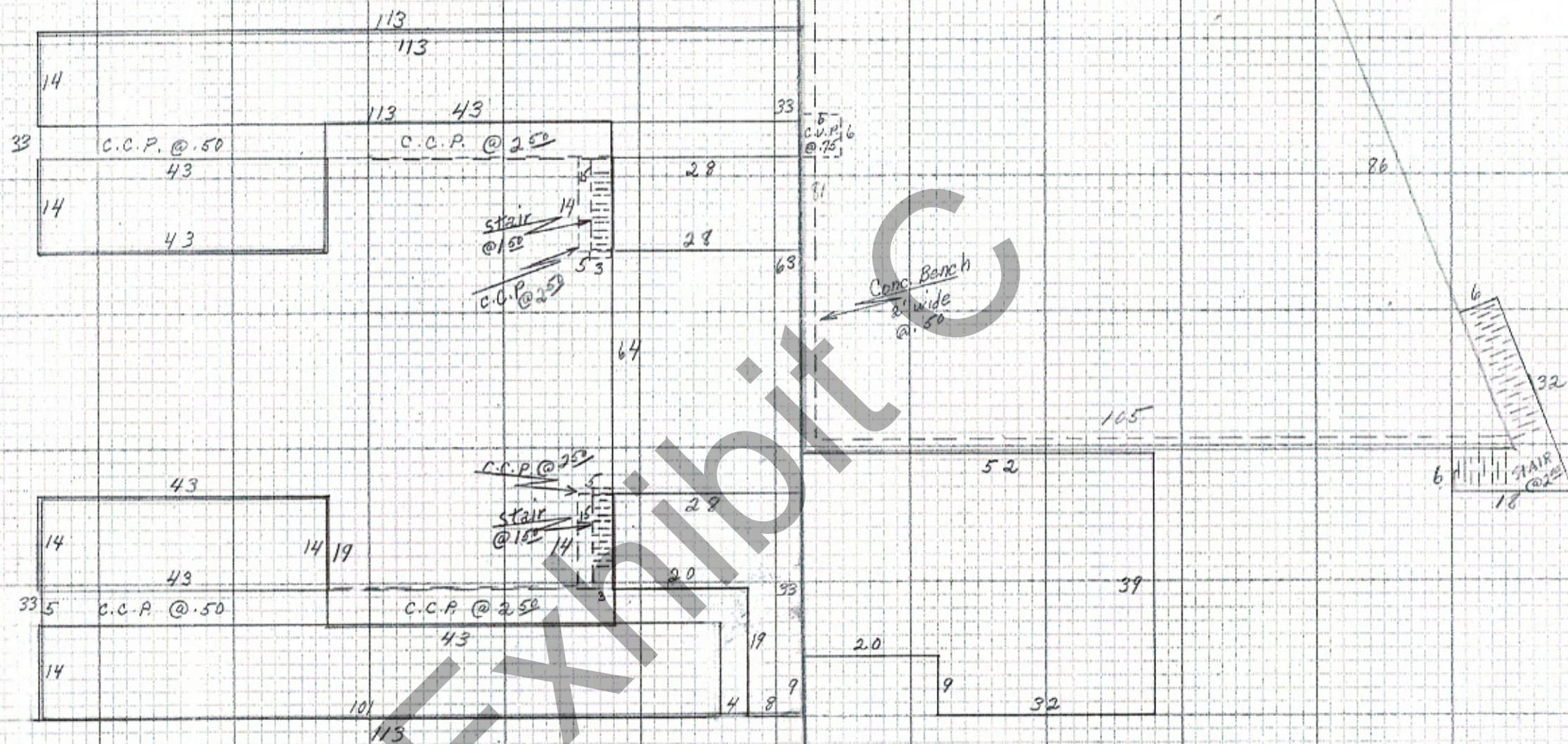
COMPUTATION

Raised Milker's Dormitory and Hotel

EASTC INFL AREA INFL

CLG HGT PTY WALL

GRP CONST ADJ BASIC FACT



RESIDENTIAL BUILDING RECORD

H2 Farm Worker Dwelling

ADDRESS

ALISO CYN. RD.

ZIP
CODE

PARCEL 017-0-130-075

SHEET 3 OF 8 SHEET

DESCRIPTION OF BUILDING

CLASS	SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND INTERIOR FINISH DETAIL E											
D 6A		Light	X Frame	X Stucco on CW	Flat 1/4 Pitch	Wiring	Heating	Cooling	Rooms	Floors	Floor Finish	Trim	Walls	Ceiling					
ARCHITECTURE		Sub-Standard	"x" "x"		X Gable 1/2 M	K.T. Conduit	Forced	Clean'g	All	B 1 2	Hw On	Grade	Pi Sr Wd	Pi Sr Wd					
		Standard	Sheathing	Siding "x"	Hip 1/4	B.X. X Cable	Central	Humid.		X									
		Above-Standard	Concrete Block		Shed 1/4	Fixtures	Gravity												
1 Stories		Special	B & B T & G.		Cut Up	Few Cheap	X Wall Unit		Ent. Hall	2									
TYPE			Brick	Shingle	Dormers	X Avg. X Med.	Floor Unit		Living	2									
Use	Design	FOUNDATION	Adobe	Shake	Raft. "x"	Many Special													
Single		X Concrete	X Floor Joist:	B & B T & G.	Gutters		Fireplace		Dining										
X Double E	X	Reinforced	1st: "x"			PLUMBING	Thermostat		Family										
Duplex		Brick	2nd: "x"	Brick	Shingle	Poor Std. Spec													
Apartment		Wood	Sub-Floor	Stone	Shake		Oil Burner		Bed	5									
Flat-Court		Piers	Concrete Floor	WINDOWS	X Tile	Sink			Bed										
Motel				D.H. X Casement	Tile Trim	X Laundry E	M-B.T.U.												
			Insulated Ceilings	X Metal Sash	Compo.	X Water Htr-Auto.			Kitchen	2									
Units	Light	Heavy	Insulated Walls	Screens	Compo. Shingle				Drain Board	Feet	Splash	Inches							

CONSTRUCTION RECORD

EFFECT. APPR. NORMAL % GOOD RATING (E, G, A, F, P)

Permit No.	For	Amount	Date	EFFECT. YEAR	APPR. YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Space	Work-manship
				1960	1974	14	36	R-50	78	A+	A	A	A		
<div>Constructed 1926</div>															

BATH DETAIL E

Fl. No.	Floors	Walls	Fixtures	Shower
	Ti. Li.	En. Ti.	W L T Type Grade	St. Or. Gd. Ti. C
1 2	X	X	/ /	/ /

SPECIAL FEATURES

Exhaust Fan	Disposal	Built-in-Ref.
Oven & Range	Dishwasher	

COMPUTATION

Appraiser & Date	Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
TYLER-66 11-15-73	Res.	2640	13.75	36300												
	CARPORT	480	1.50	720												
	P /															
	P /															
	A.C.															
	F.P.															
	Gar.															
	F.W.															
* USED CUSTOM SFR COST TABLES.																
TOTAL				37020												
NORMAL % GOOD				78												
R.C.L.N.D				28880												

[illegible]

Structure	Found.	Cons.	Ext.	Roof	Floor	Int.	Size, etc.
-----------	--------	-------	------	------	-------	------	------------

[illegible]

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LOCATED IN NE CORNER OF PARCEL

132

20

CARPENT

12

40

H2 Farm Worker

H1 Guest House

RESIDENTIAL BUILDING RECORD

ADDRESS

2275 ALISO CYN RD

ZIP
CODE

93060

PARCEL

069-0-130-076

SHEET

2

OF

8

SHEET

DESCRIPTION OF BUILDING

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND INTERIOR FINISH DETAIL																		
	Light	Frame	Stucco on	Floor	Pitch	Wiring	Heating	Cooling	Rooms	Floors	Floor Finish	Trim	Walls	Ceiling											
	Sub-Standard	"x" "x"		X Gable	4/12	X K.T.	Conduit	Forced	Clean'g	B	1	2	Hw	Op	At	Grade	Pi	St	Wp	Pi	St	Wp			
C 6 A	Standard	Sheathing	Siding "x"	Hip	4/12	B.X.	X Cable	Central	Humid.	All	X			X	A		X			X					
ARCHITECTURE	Above-Standard	X Concrete Block		Shed	4/12	Fixtures	Gravity																		
/ Stories	Special	B.&B.	T.&G.	Cut Up		Few	Cheap	X Wall Unit																	
TYPE		Brick	Shingle	Dormers		X Avg.	X Med.	Floor Unit		Ent. Hall															
Use	Design	FOUNDATION	Adobe	Shake		Many	Special			Living															
X Single	X	X Concrete	Floor Joist:	B.&B.	T.&G.	Gutters		Fireplace		Dining															
Double		X Reinforced	1st: "x" "x"			X CONC		Thermostat		Family															
Duplex		Brick	2nd: "x" "x"	Brick		Shingle																			
Apartment		Wood	Sub-Floor	Stone		Shake		Oil Burner		Bed															
Flat-Court		Piers	Concrete Floor	WINDOWS		Tile				Bed															
Motel				D.H. X Casement		Tile Trim		Laundry																	
			Insulated Ceilings	X Metal Sash		Compo.		X Water Htr-Auto.		Kitchen															
Units	Light	Heavy	Insulated Walls	X Screens		Compo. Shingle				Drain Board	G	Feet	Splash	4	Inches										
CONSTRUCTION RECORD			EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD			RATING (E, G, A, F, P)					Tile			X	Form	Lino.	Tile			X	Form	Lino.	
Permit No.	For	Amount	Date	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Space	Work-Shop	Fl. No.	Floors	Walls	Fixtures	Shower	Type	Fin					
				1926	1924	48	12	R-50	38	A	A	A		1	1		Ar	X	X	1	1	0	A	1	2

BATH DETAIL

Fl. No.	Floors	Walls	Fixtures	Shower							
	Ti. Li.	En. Ti. Pz	W L T Type Grade	St. Or Gd. Ti. O							
1	1		Ar	X	X	1	1	0	A	1	2

SPECIAL FEATURES

Exhaust Fan	Disposal	Built-in-Ref.
Oven & Range	Dishwasher	

COMPUTATION

Appraiser & Date	Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
TYLER-66 11-15-75	Res.	2352	13.75	32340												
P. /																
P. /																
A.C.																
F.P.																
Gar.																
F.W.																
TOTAL				32340												
NORMAL % GOOD				38												
R.C.L.N.D				12290												

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.

[illegible]
$$56 \times 42 = 2352$$

A large grid of graph paper with a red border and a diagonal watermark reading "Exhibit C".

12

56

SHEET 4 OF 8 SHEETS

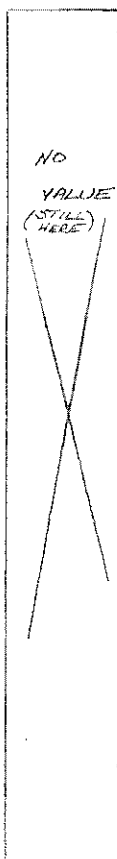
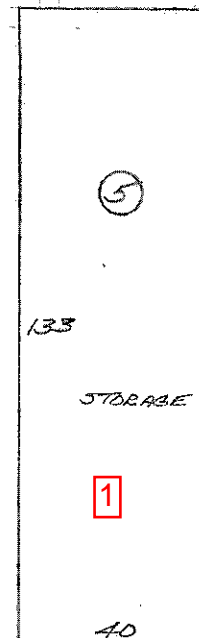
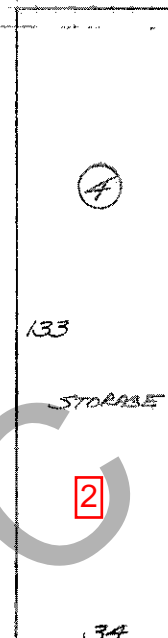
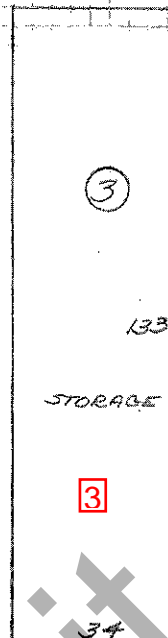
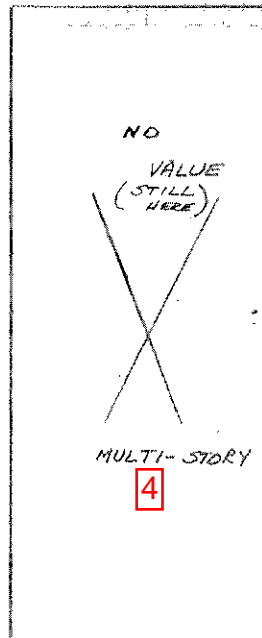
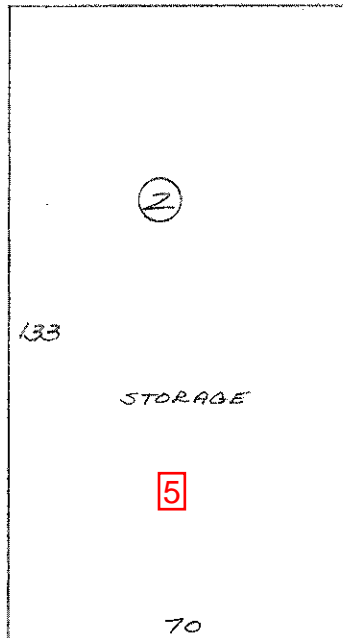
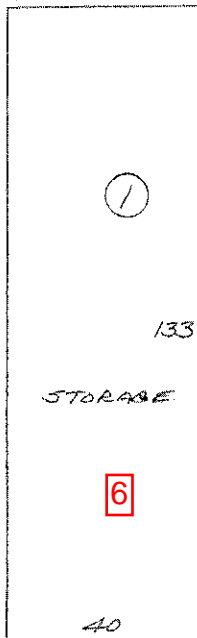
BLDG. NO.	STRUCTURE	SIZE	FOUND.	WALL & EXTERIOR	ROOF		FLOOR & INTERIOR	PLBG. FIXTS.	YEAR BUILT	EFF. YEAR	APPR. YEAR	EST. TOTAL LIFE YRS.
					TYPE	COVER						
1	STORAGE	40X133	CONC	STEEL FR CONC	GABLE	CONC	CONC PL		1926	1926	1974	50
2	STORAGE	70X133	CONC	STEEL FR CONC	GABLE	CONC	ASP TILE & PL		1926	1926	1974	50
3	STORAGE	34X133	CONC	STEEL FR CONC	GABLE	CONC	CONC PL		1926	1926	1974	50
4	STORAGE	34X133	CONC	STEEL FR CONC	GABLE	CONC GRAYEL	CONC PL		1926	1965*	1974	50
5	STORAGE	40X133	CONC	STEEL FR CONC	GABLE	CONC	CONC TILE & PL		1926	1926	1974	50
6	SHED	47X30	CONC	CONC CONC	SHED	CONC	DIRT CONC		1926	1926	1974	50
* BLDG #4 ESTIMATED TO BE RENOVATED. CON SHEDS IN INTERIOR YARD ARE OF NO VALUE. SILOS BEHIND SHEDS ARE OF NO VALUE. SEE CANCELLED SHEETS.												

1101-268 (3/73)

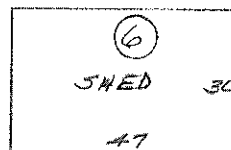
RES.
HERE
H2

1/4 SCALE

RES
HERE **H1**

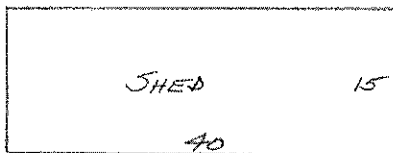
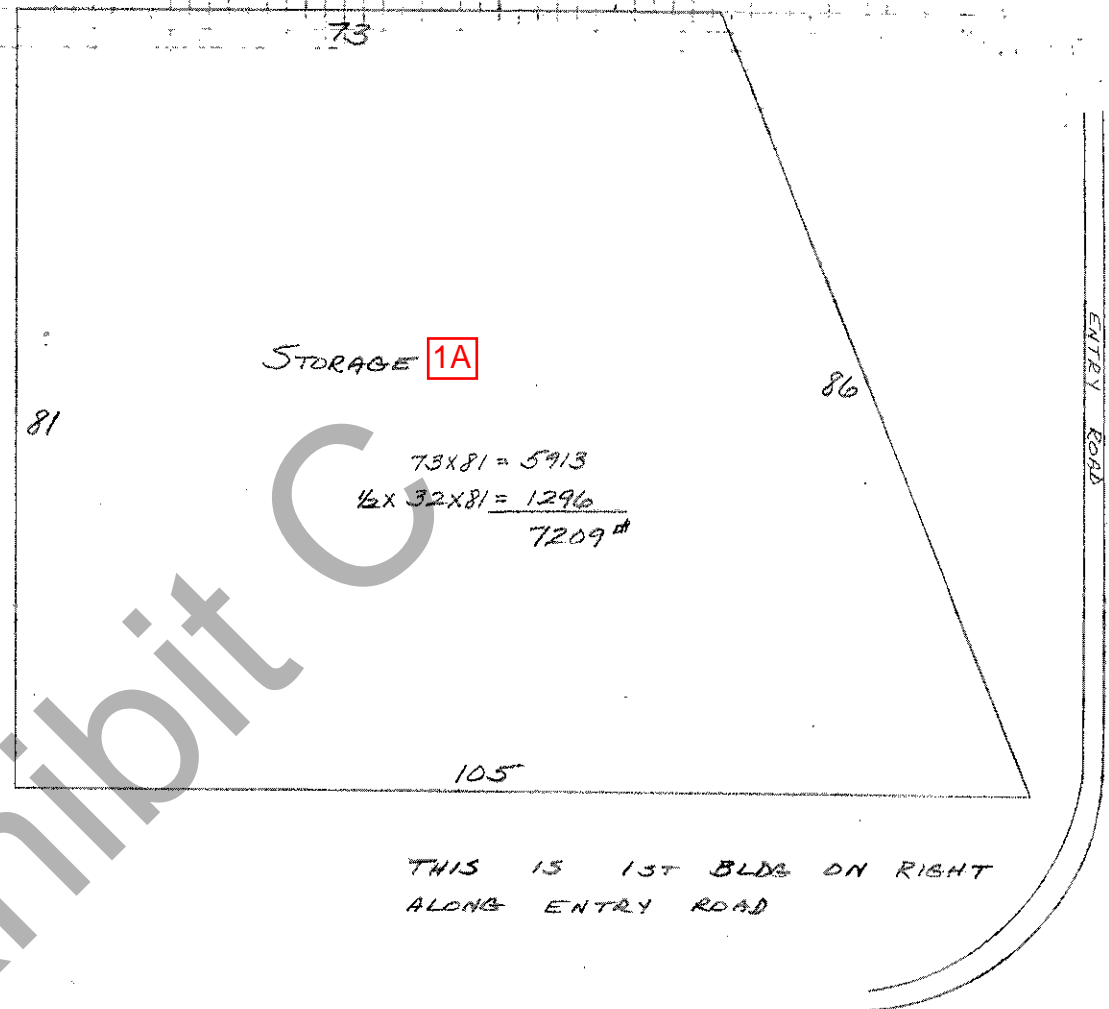


COW SHEDS HERE
(N.Y.)



3 SILOS HERE ON HILLSIDE (N.Y.)

LARGE 2-STORY BLDG HERE
IN VERY POOR COND. - NO VALUE
SEE CANCELLED RECORDS.



LOCATED IN ORCHARD.

Billiwhack Dairy

Billiwhack dairy began operation in 1934 and ceased operation in 1943



George Pezold

The dairy was then sold to George Pezold in 1943

George Pezold began construction of a Dude Ranch

Horse Track



DUDE RANCH DREAM, 1940s. George Pezold, owner of the Santa Paula Super Market, also owned all or part of the Billiwhack Ranch in nearby Aliso Canyon. Born in Brooklyn, he came west as a young man and fell in love with the Wild West. The ranch inspired him to create a Western-style fantasyland for others to share and enjoy. This is a rendering of his planned resort with mechanical rides and lodging set in the wide-open spaces. Unfortunately, ill health robbed him of his visionary dream.

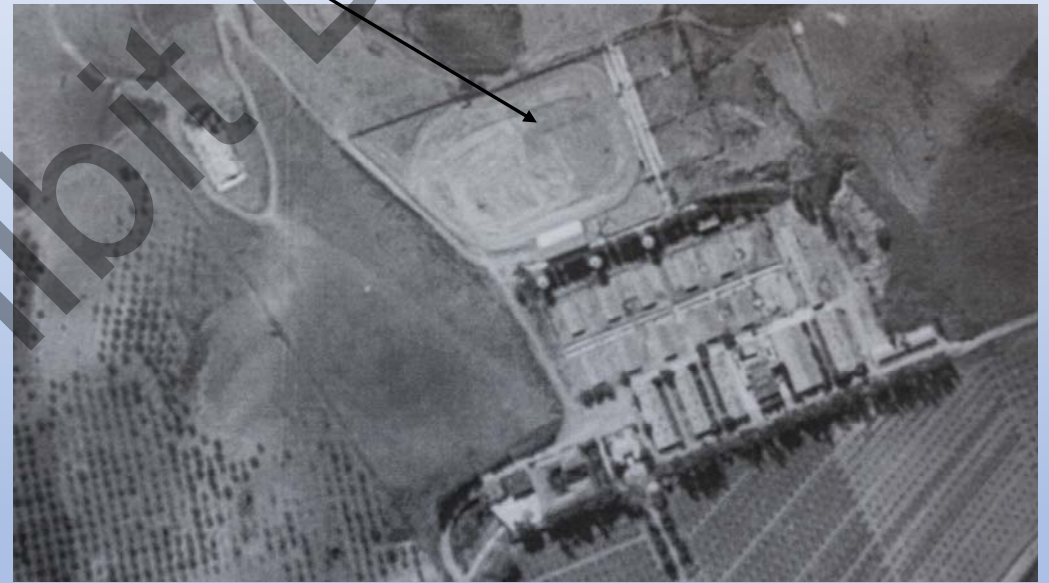
George Pezold

We know some construction of the Dude Ranch from aerial photographs

Horse Track



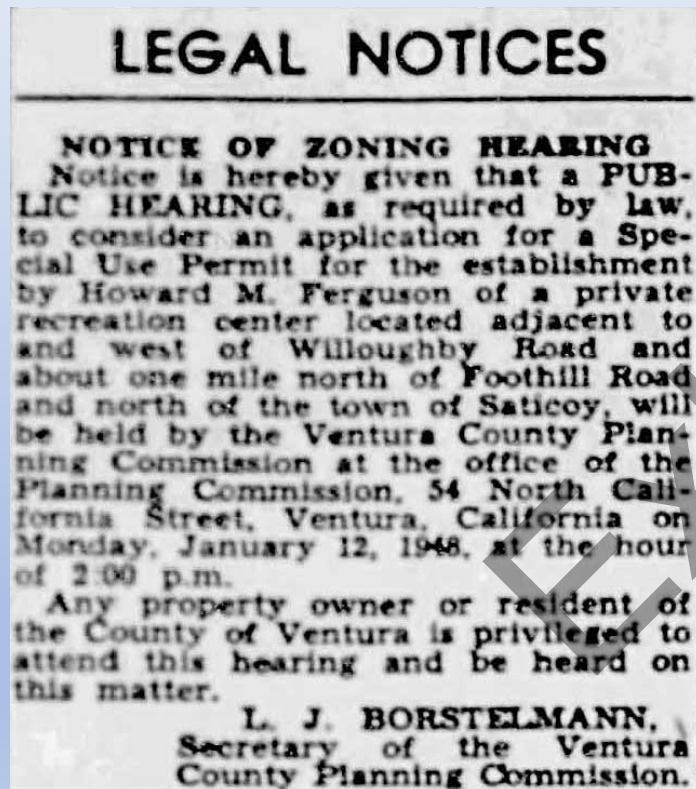
1945



1946

Howard Ferguson

Howard Ferguson purchases property in 1946 and in 1948 he applies for a Special use Permit for a private recreation Center.



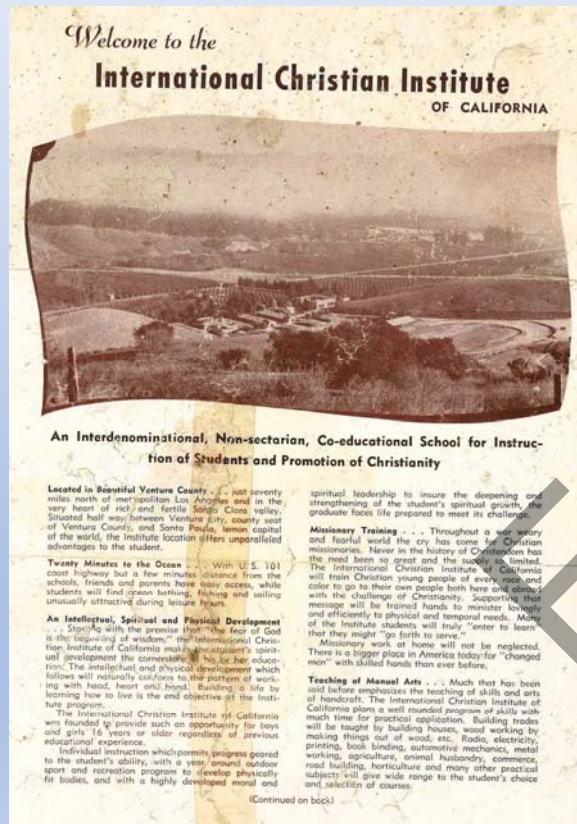
Planning Commission 02.12.1948



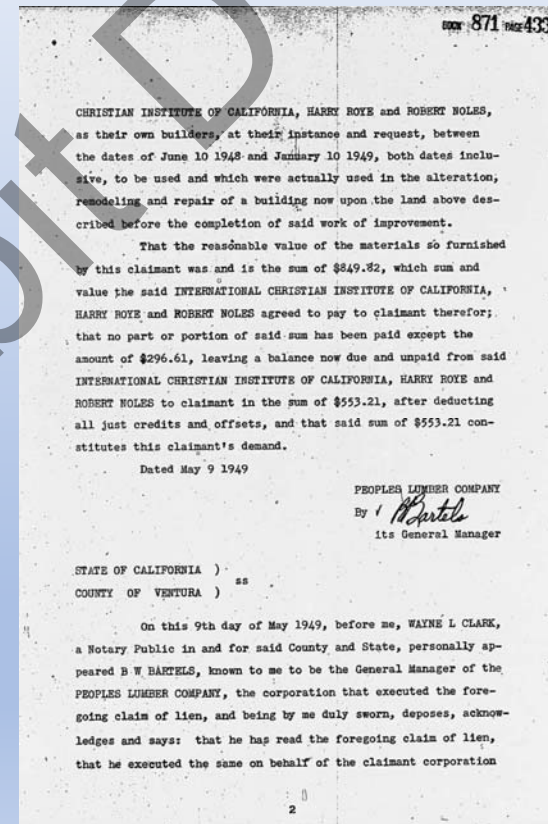
Board of Supervisors 03.22.1948

Harry Roye

Harry Roye purchases the property in May of 1948 and opens the Christian Institute and Retreat.



Christian Institute Pamphlet



Lumber Company Lien

Pacific Electronics

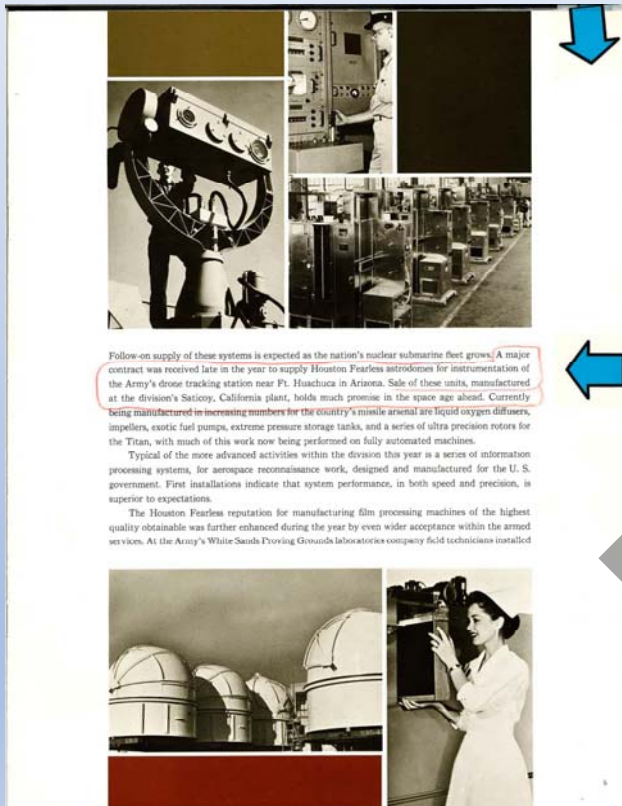
Pacific Electronics is awarded a 4 million dollar government contract and purchases the property in April 1954

A \$100,000 rebuilding program would transfer the Billiwhack Dairy Farm into Pacific Electronic Co., an electronic and tube manufacturing company which would employ more than 1,000 persons to fill \$4 million worth of military contracts. The new owner planned to complete a 50-room hotel, begun by the former dairy owner, to house key personnel. Also planned were a commissary, baseball diamond and tennis courts. The company spokesman noted that television sets would be manufactured after the defense contracts were filled.

As reported in Local Newspress

Houston Fearless, Corp.

Houston Fearless purchases the property in 1959 and continues manufacturing and development of military hardware.



Follow-on supply of these systems is expected as the nation's nuclear submarine fleet grows. A major contract was received late in the year to supply Houston Fearless astrodomes for instrumentation of the Army's drone tracking station near Ft. Huachuca in Arizona. Sale of these units, manufactured at the division's Saticoy, California plant, holds much promise in the space age ahead. Currently

Houston Fearless Press Release

Transcription.

[Member Schafer] The most important part of all of Judy's. 523 forms is this really boring one at the very end with no photographs. That is the district record. So I want to state on the record that I think everything is a district in the way that [inaudible] has told me. And the way I remember how to operate under a district is the district is the property. So we're not looking at any one building we are always looking at how it affects the district. It's definitely a district and my opinion is it's probably a national register eligible district and I think before any work is done if there is a condition or if conditions are to be put on this historic American building survey photography should be done because what I did was basically a quick record of what needs to be captured before it changes. I think. There's a lot of value showing it as is and putting that in the Library of Congress before it changes. And I think there can be varied changes that so I'm not opposed to that. I also can't imagine this doesn't need a discretionary permit at some point at the end of this and if it does the whole of the action becomes discretionary.

[Denise Thomas] Correct.

[Member Schafer] And it's so I think [inaudible].

[Denise Thomas] So here's Denise Thomas planning in response to that comment. So essentially what they've done is they're coming in for a piece of an overall project. And the way that CEQA is interpreted is the whole of the action once a discretionary permit is required the whole of the action becomes important and you have to evaluate for environmental impact reasons the whole of the action. And right now they're in for a certificate of appropriateness. But if at the end of it say for instance some sort of discretionary permit is required a CUP or some sort of a permit that requires the planning director approval Planning Commission approval or for a supervisor approval then this is subject to CEQA. And then you will have to do a CEQA determination whether or not the impacts of what they want to do will adversely impact the resource. We seem to be in front of that because right now you're only getting a piece of it. They want a COA to do the interior remodel and to change out these doors and windows. If at the end of this it's determined that for them to have those caretaker units that they want or for them to be able to change the site they need some sort of a discretionary permit. Then it changes what your review is. And you could have approved the COA prior to doing any kind of CEQA analysis and so it's the cart. It could be construed as the cart before the horse. It's unclear at this stage what. Which one is going to come first because the owner could say I just want to do this renovation and stop. Well if they only want to do this renovation and stop you're only reviewing this is a COA. But if they want to do something more than this renovation like make those two caretaker units and they exceed what the ministerial limits are in our code then all of a sudden it's a different review for you. And so you do have the ability to place conditions on the COA. That's the good news. So in the event that a discretionary permit is required you know you could trigger your COA approval possibly. But at this stage what's in front of you right now is not a CEQA analysis

it's a certificate of appropriateness for these renovations. And that's what you are charged with reviewing.

[Member Schafer] So the second part of that is I'm saying. [inaudible] As well as I can't see them doing major structural repairs under the secretary of interior standards because they would require either the historic building code Or new code. New codes going to destroy more things that are there. Historic Building Code is only applicable To certified buildings. So It's not certified.

[Denise Thomas] No it's not.

[Member Schafer] So that means that, No bueno there.

[Denise Thomas] You could condition it. If the applicant certification or being designated as a county landmark or national or state landmark is within the board's purview. And it's also the applicants choice. So the applicant can come voluntarily and say we want a landmark. This is a district. And then that could get them the historic building code would kick in. And this is a shameless plug but that's the topic that you're going to be discussing when we do our training our CLG training is going to be on this historic building code. They could do that and that would back them in. Could back them into the historic building code. They choose not to. The board has the ability to designate a district over the objections of the applicant as long as the applicant is given advance notice. We have never done that because we'd like to work with property owners as opposed to setting up an adversarial situation. But it is possible. So That's my input

State of California

HEALTH AND SAFETY CODE

Section 18955

18955. For the purposes of this part, a qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction.

(Amended by Stats. 2003, Ch. 504, Sec. 5. Effective January 1, 2004.)



Schaffer Text

Everett Woody

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 03, 2020 4:31 PM
To: Everett Woody
Subject: FW: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

For your information, please see below email exchange.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: James H. Smith
Sent: Friday, April 3, 2020 4:30 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good Afternoon Ms. Porche:

Thank you for your email. For whatever reason, I believe several individuals involved in this matter, certainly not yourself nor Mr. Ward, have had an inexcusable agenda, lack of understanding regarding their role and lack of knowledge regarding the applicable law involved. Moving forward, I believe it would be in everyone's best interests if the County could excuse Amanda Ahrens and Denice Thomas from further involvement in this Project. How those 2 individuals, in the positions they hold with the County, could have so misunderstood the application of the Historical Building Code to this project is an absolute mystery, which cost my client tens of thousands of dollars.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: Porche, Marina [<mailto:Marina.Porche@ventura.org>]
Sent: Friday, April 3, 2020 4:15 PM
To: James H. Smith <james@rogerssheffield.com>
Cc: Ward, Dave <Dave.Ward@ventura.org>; Barnes, Jeffrey <Jeffrey.Barnes@ventura.org>; Buehner, Charmaine <Charmaine.Buehner@ventura.org>
Subject: RE: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

Good afternoon Mr. Smith,

Without agreeing with your characterization of the County's course of conduct, I appreciate the additional information that you have set forth in your email. I am copying Principal Assistant County Counsel Jeffrey Barnes and Assistant County Counsel Charmaine Buehner on this reply, because after Mr. Ward asked me to provide a legal opinion during that meeting, County Counsel management determined that others within the County Counsel Office could more appropriately respond to Mr. Ward's request. Mr. Barnes and Ms. Buehner are involved with that effort. I want to provide Mr. Barnes and Ms. Buehner with the benefit of the information that you have presented in your email, and I defer to them to determine who should further respond to your email.

Regards,

Marina Porche
Assistant County Counsel
800 South Victoria Avenue, L/C #1830
Ventura, CA 93009

Tel (805) 654-2583
Fax (805) 654-2185

From: James H. Smith <james@rogerssheffield.com>
Sent: Friday, April 3, 2020 3:56 PM
To: Porche, Marina <Marina.Porche@ventura.org>
Cc: Ward, Dave <Dave.Ward@ventura.org>
Subject: Rehabilitation of Historic Structures Located at Billiwhack Dairy / 2275 Aliso Canyon Rd.

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Good Afternoon Ms. Porche:

The purpose of this email is to follow-up on the meeting we attended regarding the above referenced project on March 16, 2020. As you are aware, due to indecision by County, and conflicting positions by its various departments, the County has failed to further review the Project and has refused to issue the requested *Certificate of Appropriateness*. From our meeting of March 16, it is clear that the County is struggling with whether the Project to restore the historic structures does or does not fall under the Historic Building Code and, to a lesser degree, whether the main structure was or was not used as a main residence. This position seems to be perpetuated by several individuals that were attending the meeting that, in my opinion, were less

than informed regarding the applicable law. This of course is curious as a permit was issued allowing application of the Historic Building Code for structural repairs to the "main residence (Building #4)". That permit has not been revoked. Additionally, substantial documentation has been provided to the County, including a *Historical Resource Report*, all of which overwhelmingly establish the historical significance of the buildings and the use of Building #4 as a main residence.

At the conclusion of our March 16 meeting, it was my understanding that David Ward requested you to provide an opinion as to whether the Historic Building Code applies to the structures in question. I understood you would be making that determination within 2 weeks of our meeting of March 16, 2020. To date, I have not been informed that any progress has been made with respect to the foregoing. Additionally, no one at the County is responding to my client's inquiries regarding this matter. I certainly understand that you would like to carefully look into the issue. However, given the facts and circumstances, together with the documentation provided, it does not seem to be an overly complex issue.

Simply stated, our client believes the structures on the site may be restored using the California Historical Building Code. The grounds for qualification require the buildings to be designated as a historical building or structure. Under Section 18955 of the Health & Safety Code, a qualified historical building or structure is:

"...any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction."

As is apparent from the foregoing section, a property or structure qualifies for the California Historical Building Code if it is on a state or county register of inventories of historical or architectural significant sites. Our client's property and structures appear as a "Site of Merit" on an official county inventory of historical sites, **and are listed in a state record of historical resources**. Therefore, the Ranch and its structures qualify as a historical property and structures under Health and Safety Code section 18955.

The failure of the County to apply the applicable law to this Project, and issue the necessary approvals and permits, which the County is charged with responsibility to do, is costing my client a considerable amount of money arising from being denied the use of the property, which is slowly morphing into a taking by the County of Ventura. It was my understanding that we were attempting to work together to allow this Project to proceed thereby protecting the historic character of the property. Unfortunately, it appears several individuals in the County are doing everything possible to delay and increase the cost of this Project. Not only is that wrong, it is also contrary to Section 8107-37.1 which is very clear in its dictates when it comes to Cultural Heritage Sites: "*The purpose of this designation is to promote the enhancement, preservation, rehabilitation, restoration, reconstruction and maintenance of sites and structures of historical and cultural heritage value through the imposition of design standards. Fulfillment of this purpose can be impeded by strict adherence to various standards in the Zoning Ordinance. Therefore, this section promotes the stated purpose by creating a mechanism whereby appropriate deviations from the regulations of this chapter can be granted.*"

Finally, if there is any remaining doubt regarding the application of the Historic Building Code to this Project, I encourage your review of the attached letter, dated April 2, 2020, from the State Historical Building Safety

Board, which states the obvious ***"Assuming that all buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by Definition of the California Historic Building Code (see HBC), and therefore eligible for use of the CHBC."***

Given the foregoing, further delay is simply unacceptable to my client. I would appreciate hearing from you regarding this matter at your earliest convenience.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

☎ 805.963.9721 ☎ 805.845.2356

rogerssheffield.com

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Exhibit H



STATE HISTORICAL BUILDING SAFETY BOARD

April 2, 2020

Mr. James H. Smith, Esq.
Rogers, Sheffield & Campbell, LLP
152 East Carrillo Street
Santa Barbara, CA 93101

Re: Billiwhack Ranch, Ventura County – Request for Opinion Regarding Qualification
of Historical Property and Structures

Dear Mr. Smith

This letter is in response to your request for an informal opinion regarding qualification of certain buildings on the 100-acre ranch in Ventura County known as the "Billiwhack Ranch."

I have reviewed your request and attachments provided by your letter dated March 19, 2020. Based on the letter and attachments, the Billiwhack Ranch was identified as a Site of Merit in the County's Historical Resources Survey, and the all structures on the ranch were awarded National Register ratings of 3D (appears to be eligible as a contributor to a National Register eligible district). Assuming that all the buildings the owner is planning to restore were identified and ranked in the survey, these buildings would be considered Qualified Historical Buildings by definition of the California Historical Building Code (CHBC), and therefore eligible for use of the CHBC.

Should you have any questions, please contact Derek Shaw, Executive Director of the State Historical Building Safety Board at (916) 324-7178.

Sincerely,

Alan Dreyfus, Chair
State Historical Building Safety Board



Ventura County Cultural Heritage Board Minutes

August 12, 2019 at 1:15 p.m.– Item 3b

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. **11:00 A.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 2275 ALISO CANYON ROAD, SANTA PAULA, CA 93060 (BILLIWHACK RANCH)**

2. **ROLL CALL AND DETERMINATION OF A QUORUM**

A quorum could not be established, meeting was not called to order. The tour was still given to Staff and CHB members present however, CHB members present were instructed that they could not have any discussion or ask questions.

3. **1:15 P.M. CONVENE THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT 800 S. VICTORIA AVENUE, VENTURA, CA 93009 (VENTURA COUNTY GOVERNMENT CENTER, ADMINISTRATION BUILDING, ATLANTIC CONFERENCE ROOM, SECOND FLOOR).**

4. **ROLL CALL AND DETERMINATION OF A QUORUM**

CHB Members Present:

Gary Blum, John Kulwiec, Ricki Mikkelsen and Stephen Schafer.

CHB Members Absent:

Miguel Fernandez, Phil Englander, Darwin McCredie

Staff Present:

Denice Thomas, Cultural Heritage Program Manager

Ashley Cook, Cultural Heritage Planner.

5. **APPROVAL OF AGENDA**

- 6.a. **Vote to approve the July 12, 2019 Agenda**

CHB Member Mikkelsen made a motion to approve the agenda. CHB Member Kulwiec seconded the motion. Motion Passed; 4-0.

7. **PUBLIC COMMENTS**

8. **CONTINUED ITEMS**

None.

9. **NEW BUSINESS**

9.a. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No. CH19-0021)

Disclosures:

CHB Member Schafer disclosed that he was in attendance at the tour earlier in the day. CHB Member Kulwiec disclosed that he was also in attendance at the tour earlier in the day as well.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos as well as the history of the site. He answered questions from the CHB members.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project location, project description, background, evaluation of historical significance, and recommended the following actions:

1. **CONDUCT** public hearing, **RECEIVE** oral and written testimony, and **CONSIDER** the County Planning staff report and all exhibits and attachments hereto; and,
2. **MAKE** the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.
3. **Based on the preceding evidence and analysis, APPROVE** a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Photo Presentation by CHB Member Schafer

CHB Member Schafer presented the photos taken during the tour earlier that day at the project site.

Deliberation and Recommendation:

CHB Member Schafer asked the applicant questions regarding the significance of some the character defining features. CHB Member Schafer had concerns with removing the original Dutch doors on Building 2 as they could be considered character defining features. CHB Member Schafer agreed with Staff that the tower element should not be raised as this could create conjectural feature. CHB Member Schafer mentioned that without

Angeli de Covolo, Inc.
122 E. Arrellaga Street
San Jose, California 95101
(408) 293-1693

PROJECT DATA

- | | |
|--------------------------|---------------------------------|
| OWNER: | |
| BILLIWHACK RANCH, LLC | |
| 3048 N COOLIDGE AVENUE | |
| LOS ANGELES, CA 90039 | |
| PHONE 213-308-0015 | |
| APN | 064-0-130-125 AND 064-0-130-145 |
| ZONE | AE-40 |
| SITE AREA | 98 ACRES |
| GENERAL PLAN DESIGNATION | ... |
| HIGH FIRE AREA | YES |
| MAXIMUM BUILDING HEIGHT | 35'-0" PRINCIPAL 25'-0" OTHERS |
| FRONT YARD SETBACK | 20'-0" FROM PROPERTY LINE |
| REAR YARD SETBACK | 15'-0" |
| SIDE YARD SETBACK | 10'-0" |

ZONING CLARENCE - ZCI9-0896
CODE ENFORCEMENT VIOLATION - CVI9-0100

FINISHES

ALL FINISH COLORS AND MATERIALS TO MATCH EXISTING.

This set of plans and specifications MUST be kept on the premises at all times and it is unlawful to make changes or alterations on same without written permission from the Building Inspection Dept., County of Ventura. The stamping of this plan and specifications SHALL NOT be held to permit or as approval of the violation of any provisions of the County Ordinance of State Law.

SCOPE OF WORK

BUILDING 4 STRUCTURAL REPAIR OF AN EXISTING 17,939 SQUARE FOOT MAIN RESIDENCE.

APPROVED
AUG 29 2019
Resource Management Agency
Division of Building & Safety
Ventura County

VICINITY MAP

[illegible]

COUNTY OF VENTURA
PLANNING DIVISION
APPROVED
Date: 8/29/19
Permit No: 214-6896
MP/AN/AG/AL
Planner Authorizing
Print Name



COUNTY OF VENTURA
RESOURCE MANAGEMENT AGENCY
PLANNING DIVISION

EARLY PLAN REVIEW AGREEMENT

Your initials and signature on this form signifies your acceptance of the terms of this Agreement

APN: 064-0-130-145

Address: 2275 Aliso Cyn Rd

Case No.: 2019-0896

ATTACHMENTS (if applicable):

- ☐ Preliminary Site Plans
☒ Preliminary Floor Plans
☒ Preliminary Elevations Plans

I, _____, hereby request that my construction plans be submitted to the applicable Division (check below those agencies that apply to your case).

☐ **COUNTY BUILDING AND SAFETY DIVISION** for plan review prior to action being taken on my: (check one)

☐ Cultural Heritage Board Permit or ☐ Preliminary Legal Lot Determination based on the following:

1. I agree to pay all necessary Building and Safety Division plan review fees and I understand that these fees are non-refundable.
2. I understand that no Building Permit will be issued until my discretionary permit (or Preliminary Legal Lot Determination) has been approved and a Zoning Clearance has been issued.
3. I further understand that my discretionary permit (or Preliminary Legal Lot Determination) may not be approved, in which case my plan review fees will not be returned.
4. I acknowledge that this plan review will not establish a "vested interest" with respect to the discretionary permit or establish any right to a Certificate of compliance under Government Code Section 66499.34 (3rd paragraph).

Initial: _____

☐ **COUNTY ENVIRONMENTAL HEALTH DIVISION** for Individual Sewage Disposal System (ISDS) plan review prior to action being taken on my: (check one)

☐ Discretionary Permit or ☐ Preliminary Legal lot Determination based on the following:

1. I agree to pay all necessary Environmental Health Division plan review fees and I understand that these fees are non-refundable.
2. I understand that no ISDS Permit To Construct will be issued until my discretionary permit (or Preliminary Legal Lot Determination) has been approved and a Zoning Clearance has been issued.
3. I further understand that my discretionary permit (or Preliminary Legal Lot Determination) may not be approved, in which case my plan review fees will not be returned.
4. I acknowledge that this plan review will not establish a "vested interest" with respect to the discretionary permit or establish any right to a Certificate of Compliance under Government Code Section 66499.34 (3rd paragraph).

Initial: _____

Applicant Signature _____

A. PANIAGUA
Case Planner Signature

8/14/2019
Date

805-654-2451
Extension



COUNTY OF VENTURA

DIVISION OF BUILDING & SAFETY

Ventura Office Inspection Line (805) 654-2791
East County Office Inspection Line (805) 582-8063

BUILDING PERMIT: B19-000857

Issuing Office:	WCO	Issued by:	M Aldana	Zoning Clearance:	ZC19-0896
Date Applied:	08/29/2019	Date Issued:	08/29/2019		

SITE INFORMATION:

Project Address: 2275 ALISO CYN RD APN: 0640130145 Lot No.: 1 Track No.:
Locality: SANTA PAULA

Owner: BILLIWHACK RANCH LLC 3048 N COOLIDGE AV
Phone No.:

Contractor: N M CONSTRUCTION 2651 BAYSHORE AVENUE, VENTURA, CA 93001
Phone No.: (805) 479-7405 State Lic. No.: 944761

Designer:
Phone No.: State Lic. No.:

WORK DESCRIPTION:

Repair concrete roof, façade and walls, like for like. Reference CV19-00100

BUILDING INFORMATION:

Constr. Type:	Occupancy:	R-3	No. Stories:	1
No. of Bdrm.:	Building Area:	0	Sprinklers:	
High Fire Area:	PT Slab:		Compliance Review:	
Shell Building:	Struc observe:		Soil Bearing Pressure:	
Soil Exp. Index:				
Total Landscaping Area (sq ft.):				
MWELO Compliance:				

Total Permit Fees: \$1,443.98

Valuation:

Occupancy:	Type:	Factor	Square Feet	Value
Accessory Structures	Metal Bldgs & Sheds	\$21.40	520	\$11,128.00
Foundations/Slabs	Footing and slab (sq.ft)	\$24.40	744	\$18,153.60
Total Valuation:				\$29,281.60

SEE REVERSE FOR LEGAL DECLARATIONS



COUNTY OF VENTURA
RESOURCE MANAGEMENT AGENCY
BUILDING AND SAFETY DIVISION
INSPECTION RECORD CARD

Issuing Office: **WCO**

Record Number: **B19-000857**

Date Issued: 08/29/2019

Project Address: **2275 ALISO CYN RD**

Owner: BILLIWHACK RANCH LLC

Address: 3048 N COOLIDGE AV

Contractor:

Address: 2651 BAYSHORE AVENUE, VENTURA, CA 93001

Phone Number: (805) 479-7405

License Number: 944761

Project Description: Repair concrete roof, façade and walls, like for like. Reference CV19-00100

Inspection requests can be made 24 hours a day by voicemail at the inspection line.

West County Office (Ventura) (805) 654-2791

Inspection request must be submitted/called in before 4 p.m. the previous day to have a next day inspection. When a request is received after 4 p.m., the inspection will not be scheduled for the next business day.

When requesting an inspection, please provide the following:

- (1) Record Number
- (2) Project Address
- (3) Area / Locale (i.e. Oxnard, Camarillo, Piru, Somis)
- (4) Type of Inspection (i.e. Rough Plumbing, Rough Electrical, etc.)
- (5) Inspection date requested

Due to varying workloads, AM or PM requests cannot be accommodated.

The approved construction plans must be on the job site when the inspector arrives, otherwise the inspection will not be conducted.

Inspectors are available via telephone to verify estimated inspection time between 7:30 a.m. and 8:00 a.m., Monday through Friday.

West County Office (Ventura) (805) 654-2771

(See reverse for inspection record)

Visit our Website: <http://www.vcrma.org/buildingsafety>

Inspection Record Card must be onsite for all inspections

Inspection Type	Initial	Date
Zoning / Setbacks		
Foundation		
Storm Water		
Slab		
Caissons		
Erection Pad		
Grade Beams		
Column Templates		
Floor Frame/Sheath		
Floor Insulation		
Roof Frame/Sheath		
Shear		
Pre-Wrap		
Rough Frame		
Insulation		
Shower Lath / Backer		
Interior Lath / Drywall		
Exterior Lath / Siding		

Inspection Type	Initial	Date
Location		
Excavation		
Steel / Bonding		
Re-circulation Piping		
Light Conduit		
Hydrostatic Valve		

Inspection Type	Initial	Date
Deck Drains		
Conduit		
Gas Line		
Gas Test		
Anti-Siphon		
Deck Bonding		
Gunite Report		

Inspection Type	Initial	Date
Rough Sprinklers		
Final Sprinklers		

Inspection Type	Initial	Date
Zoning / Setbacks		
Foundation		
Grout Lift		
Ridge / Chassis		
Underfloor Plumbing		
Underfloor Mechanical		
Underfloor Electric		
Bonding		
Form HCD 433(A)(B)		
Final Building		
Final Plumbing		
Final Mechanical		
Final Electrical		

Inspection Type	Initial	Date
U.G. / U. F. Plumbing		
Water Service		
Underground Gas Line		
Rough Plumbing		
Building Sewer		
Interior Gas Test		
Shower Pan / Test		
Re-pipe		

Inspection Type	Initial	Date
Heater / Vent		
Electrical		
Motor Bolt / Bonding		
Fence / Gate		
Alarm Certificate		

Inspection Type	Initial	Date
Surface Drain		
G.F.C.I. Test		
Pool Cover		
Deck Caulking		
Final Pool		

Inspection Type	Initial	Date
Under Floor		
Rough Mechanical		

Inspection Type	Initial	Date
Temp Power		
U.G. Conduit		
Grounding & Bonding		
Rough Electrical		
Electrical Clearance		

Inspection Type	Initial	Date
Location		
Foundation		
Lift #1		
Lift #2		
Lift #3		
Wall Drain		
Water Proofing		
V-Ditch		
Final Wall		

Inspection Type	Initial	Date
Building		
Plumbing		
Mechanical		
Electrical		
Disable Access		
Final Energy Document		

* Pre-inspection completed with Architect, Engineer and Contractor - SK 9/12/19

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper appears to be a standard notebook page or a sheet of stationery. There is no handwriting or other markings on the page.

58



South West Elevation



West Elevation



South Elevation

2,646 SQUARE FOOT EXISTING CARETAKER DWELLING "H2"

5,341 SQUARE FOOT EXISTING RANCH EQUIPMENT STORAGE BUILDING "6"

9,350 SQUARE FOOT EXISTING RANCH MAINTENANCE BUILDING (5)

3,550 SQUARE FOOT EXISTING BARN

17,939 SQUARE FOOT EXISTING TWO STORY MAIN RESIDENCE (4)

4,564 SQUARE FOOT EXISTING EQUIPMENT STORAGE BUILDING (3)

543 SQUARE FOOT EXISTING GRAIN SILO

4,564 SQUARE FOOT EXISTING CARETAKER DWELLING (2)

543 SQUARE FOOT EXISTING GRAIN SILO

5,341 SQUARE FOOT EXISTING BEE KEEPER BUILDING (1)

2,385 SQUARE FOOT EXISTING GUEST HOUSE (H1)

543 SQUARE FOOT EXISTING GRAIN SILO

EXISTING EDISON POWER POLE

RAZED TWO STORY MILKERS DORMITORY AND HOTEL

10,914 SQUARE FOOT EXISTING RANCH MAINTENANCE AND STORAGE BUILDING (1A)

25,000 GALLON WATER STORAGE TANK

AREA OF WORK

ENLARGED SITE PLAN

1"=50'-0"



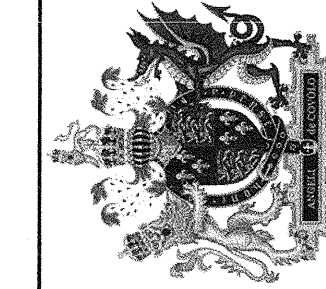
This set of plans and specifications MUST be kept on the premises at all times and it is unlawful to make any changes or alterations on same without written permission from the Building Inspection Dept., County of Ventura. The signing of this plan and specifications SHALL NOT be held to permit or be held as a waiver of the violation of any provisions of any County Ordinance or State Law.

APPROVED
AUG 29 2019

Resource Management Agency
Division of Building & Safety
Ventura County

COUNTY OF VENTURA
PLANNING DIVISION
APPROVED
Date: 8/29/19
Permit No: 2275-0810
Planner: [Signature]
Print Name: [Signature]

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999



NCA R B
Record Number 136568

Everett Jay Woody

NO.	REVISION	DATE

BILLWHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060
BILLWHACK RANCH BUILDING 4 STRUCTURAL REPAIR

SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

DRAWN	CHECKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO.	2275
DATE	08.08.2019
SHEET NUMBER	

A-3



COUNTY OF VENTURA

DIVISION OF BUILDING & SAFETY

Ventura Office Inspection Line (805) 654-2791
East County Office Inspection Line (805) 582-8063

BUILDING PERMIT: B19-000857

Issuing Office:	WCO	Issued by:	M Aldana	Zoning Clearance:	ZC19-0896
Date Applied:	08/29/2019	Date Issued:	08/29/2019		

SITE INFORMATION:

Project Address: 2275 ALISO CYN RD APN: 0640130145 Lot No.: 1 Track No.:
Locality: SANTA PAULA

Owner: BILLIWHACK RANCH LLC 3048 N COOLIDGE AV
Phone No.:

Contractor: N M CONSTRUCTION 2651 BAYSHORE AVENUE, VENTURA, CA 93001
Phone No.: (805) 479-7405 State Lic. No.: 944761

Designer:
Phone No.: State Lic. No.:

WORK DESCRIPTION:

Repair concrete roof, façade and walls, like for like. Reference CV19-00100

BUILDING INFORMATION:

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No. of Bdrm.:	Building Area: 0	Sprinklers:	
High Fire Area:	PT Slab:	Compliance Review:	
Shell Building:	Struc observe:	Soil Bearing Pressure:	
Soil Exp. Index:			

Total Landscaping Area (sq ft.):

MWELO Compliance:

Total Permit Fees: \$1,443.98

Valuation:

Occupancy:	Type:	Factor	Square Feet	Value
Accessory Structures	Metal Bldgs & Sheds	\$21.40	520	\$11,128.00
Foundations/Slabs	Footing and slab (sq.ft)	\$24.40	744	\$18,153.60
Total Valuation:				\$29,281.60

SEE REVERSE FOR LEGAL DECLARATIONS

Everett Woody

From: James H. Smith <james@rogerssheffield.com>
Sent: Monday, April 20, 2020 2:20 PM
To: Everett Woody
Subject: FW: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Good Afternoon Everett:

For your information, please see below email exchange. Additionally, that section of the CHBC that specifies the applicable uses under the CHBC.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: James H. Smith
Sent: Monday, April 20, 2020 2:19 PM
To: Ward, Dave <Dave.Ward@ventura.org>
Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>; Porche, Marina <Marina.Porche@ventura.org>; Paniagua, Adrian <Adrian.Paniagua@ventura.org>; Ahrens, Amanda <Amanda.Ahrens@ventura.org>; Wright, Winston <Winston.Wright@ventura.org>; Thomas, Denise <denice.thomas@ventura.org>
Subject: RE: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Good Afternoon Mr. Ward:

Thank you for your below email. An appeal has been filed. For purposes of clarifying the issues, it would be very helpful for all parties involved to receive a response to that set forth in my below email of April 17, 2020.

Regards:
James H. Smith
james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP
152 E. Carrillo Street | Santa Barbara, CA 93101
t 805.963.9721 f 805.845.2356
rogerssheffield.com

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From: Ward, Dave [<mailto:Dave.Ward@ventura.org>]

Sent: Friday, April 17, 2020 5:07 PM

To: James H. Smith <james@rogerssheffield.com>

Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>; Porche, Marina <Marina.Porche@ventura.org>; Paniagua, Adrian <Adrian.Paniagua@ventura.org>; Ahrens, Amanda <Amanda.Ahrens@ventura.org>; Wright, Winston <Winston.Wright@ventura.org>; Thomas, Denice <denice.thomas@ventura.org>

Subject: RE: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Hello Mr. Smith –

This is to confirm receipt of your correspondence. I will review your inquiry with the Building Official, although based upon the hour of receipt on Friday, that will not happen until Monday. I will attempt to provide a response to you next week, but please be advised that the appeal period for my Director decision for denial of the Zone Clearance Applications I provided to your client on April 14th, 2020 remains in effect. Therefore, your client would need to decide to file an appeal by the time period indicated: on or before April 24, 2020.

Thank you

Dave Ward, AICP
Planning Director
dave.ward@ventura.org

Ventura County Resource Management Agency | Planning Division

P. 805.654.2481 | F. 805.654.2509

800 S. Victoria Ave., L #1740 | Ventura, CA 93009-1740

Additional Planning Division information is available online at vcрма.org/divisions/planning

Ventura County General Plan Update. Join the conversation at VC2040.org

For online permits and property information, visit VC Citizen Access



Pursuant to the California Public Records Act, emails retained by the County of Ventura may constitute public records subject to public disclosure.

From: James H. Smith <james@rogerssheffield.com>

Sent: Friday, April 17, 2020 4:37 PM

To: Ward, Dave <Dave.Ward@ventura.org>

Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>; Porche, Marina <Marina.Porche@ventura.org>; Paniagua, Adrian <Adrian.Paniagua@ventura.org>; Ahrens, Amanda <Amanda.Ahrens@ventura.org>

Subject: Billiwhack Ranch, 2275 Aliso Canyon Rd., Ventura County

Dear Mr. Ward:

1. Your denial letter dated 04.14.2020 fails to disclose some key facts that attempts have been made to satisfy the violation items a-d listed in your notice of violation dated 06.25.2019. We submitted drawings to the Cultural Heritage Board (CHB) that would have satisfied the violations. The staff report was prepared and presented to the CHB on 08.12.2019 to approve the project as submitted. Board member Schaffer and staff member Denise Thomas stated as a point of fact that the property would require **Landmark Status** in order to use the California Historical Building Code (CHBC). To set the record straight we received a letter from the State

Historical Building Safety Board stating the Billiwhack Ranch was eligible for use of the CHBC and subsequently the County conceded that we may use the CHBC. If staff was informed about the use of the CHBC we would have an approved Certificate of Appropriateness and the code compliance case against our property would be satisfied and the historic preservation of the property would be protected.

Applying the below sections of the CHBC as agreed would resolve the code compliance case:

- a. *"8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or **reconstruction** of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users."*
- b. *"Section 8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code."*

Therefore; (1) if the CHBC applies as the County has conceded in your email dated April 3, 2020 and; (2) Sections 8 -101.2 & 8-302.2 mean what they say, and in particular *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code"*, I would appreciate your assistance in informing me how you reconcile the application of the CHBC with the reasons for your denial as set forth in points 1 through 4, starting on page 3, of your denial letter dated April 14, 2020.

2. Your correspondence of April 14, 2020, also leaves unanswered the status the Building Permit that was issued for the Project (B19-000857). That Permit was issued for the structural repair of the of the "main residence." Your attention is directed to the Construction Permit Application wherein the Structural Type is shown to be *"Residential"*. The Description of Work in the Application is stated to be *"Structural repair of an existing 17,939 square-foot main residence. (Building 4)."* The occupancy on the Permit is shown to be *"R-3"*. In reliance on that Permit, and in anticipation that the structure would be used, and in fact can be used under the CHBC, as a residence, over \$750,000 has been spent. In your denial letter of April 14, at page 4, you state *"The request to convert the creamery to the principal dwelling and utilize the existing dwelling as an accessory dwelling unit is denied because H-1 is too large to be designated as an accessory dwelling unit."* That of course raises several issues: (1) Is it your position that the Building Permit issued for the Project (B19-000857) has been unilaterally revoked by the County?; (2) Is it your position that the County of Ventura can disregard Section 8-302.2 of the CHBC which states: *"The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historic use or character, provided the qualified historical building or property conforms to the requirements applicable to the use or character of occupancy as set forth in the California Historic Building Code. Such change in*

you shall not mandate conformance with new construction requirements as set forth in regular code."

Unfortunately, it appears that at each step taken by the County, rather than clarify and assist the Owner of the property, the County appears intent on further clouding the issues and obstructing the Project. Your prompt response in clarifying the position of the County, with respect to the unreconciled issues now created by your denial letter of April 14, 2020, will be appreciated.

Regards:

James H. Smith

james@rogerssheffield.com

Rogers, Sheffield & Campbell, LLP

152 E. Carrillo Street | Santa Barbara, CA 93101

t 805.963.9721 f 805.845.2356

rogerssheffield.com

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Exhibit M



Ventura County Cultural Heritage Board Minutes

September 09, 2019 at 1:15 p.m.– Item 3c

County of Ventura • Resource Management Agency • Planning Division

800 S. Victoria Avenue, Ventura, CA 93009-1740 • (805) 654-5042 • vcrma.org/divisions/planning

1. 1:15 P.M. CALL TO ORDER THE MEETING OF THE VENTURA COUNTY CULTURAL HERITAGE BOARD AT THE VENTURA COUNTY GOVERNMENT CENTER

2. ROLL CALL AND DETERMINATION OF A QUORUM

CHB Members Present:

Miguel Fernandez, Darwin McCredie, Ricki Mikkelsen, Gary Blum, John Kulwiec, and Stephen Schafer

CHB Members Absent:

Phil Englander

Staff Present:

Denice Thomas, Cultural Heritage Program Manager
Ashley Cook, Cultural Heritage Planner

3. APPROVAL OF AGENDA

3.a. Vote to approve the September 9, 2019 Agenda

CHB Member Schafer made a motion to re-order the agenda to take item 6b before 6a and to omit the August 26, 2019 minutes as they were not in the packet. CHB Member Fernandez seconded the motion. [Motion Passed;6-0]

3.b. Vote to approve the August 12, 2019 Minutes

CHB Member Schafer made a motion to approve the August 12, 2019 minutes. CHB Member Mikkelsen seconded the motion. [Motion Passed;4-0]
CHB Member McCredie and CHB Member Fernandez abstained.

4. PUBLIC COMMENTS

None.

5. CONTINUED ITEMS

None.

6. NEW BUSINESS

6.b. Location: 2275 Aliso Canyon Road, Santa Paula, CA 93060

Action: Request for approval of a Certificate of Appropriateness (COA) (Cultural Heritage Ordinance (CHO) §1364-12) for the rehabilitation of existing structures located at the Historic Billiwhack Dairy on a property designated as a site of merit. (Case No.: CH19-0021)

Disclosures:

None.

Presentation by Staff:

Ashley Cook presented a PowerPoint presentation outlining the project and the update since the August 12, 2019, meeting. No new action was recommended as CHB Staff deferred to the CHB.

Presentation of public speakers:

The applicant, Mr. Everett Woody of Angeli De Covolo, presented the project, including the proposed plans and photos, as well as, the history of the site. He answered questions from the Cultural Heritage Board (CHB) members. He mentioned that the owner opted not to get the Historic Resources Report (HRR) because the bids for the report were coming in too high. He mentioned that the tower element and skylights are rotten and needs to be replaced. He also stated that he was able to meet with the Building Official and that since the property is listed in a local inventory, he is allowed to use the Historic Building Code (HBC).

CHB Member Kulwiec left the meeting at this time.

Deliberation and Recommendation:

CHB Member Schafer stated that he was still not in agreement on the tower element and is unsure of the some of the doors and windows. He stated again the this is why the Historic Resources Report is needed. He made a re-motion to table the item until the applicant can provided a HRReport, by a qualified architectural historian, that includes analysis of the project as a district, analysis of the project according to the Secretary of the Interior Standards and includes a list of character defining features, and to condition the project to

have to submit HABS photography. Motion did not receive a second. [Motion dies]

CHB Chair continued the discussion and stated that this is obviously an adaptive re-use project and not a restoration project. It is difficult to know if we will be losing character defining features in this proposal.

CHB Member Fernandez asked the applicant what the incentive was for the owner to purchase to the property in the first place.

The applicant responded that they wish to live the in the historic property and have the ranch/farm lifestyle.

CHB Member Fernandez asked is the owners had any intentions to landmark the property? The applicant responded, "No."

The applicant, Mr. Everett Woody, stated that the proposed project is not changing the character that much and while he understands that the position of the CHB is a position of caution, he was hoping to discuss more of the architecture at the meeting. He does not understand the CHB's need for a consultant to prepare a report as consultants can be swayed in their analysis.

CHB member asked Staff if the applicant can be conditioned to submit a historic resources report by a qualified Architectural Historian that is vetted by the County. Denice Thomas responded that the County is not set up at this time to do that. CHB Member Schafer stated he would like to see this agendized to discuss at a future meeting.

The CHB started to discuss tabling the item again, Denice Thomas recommended that the CHB either approve or deny the item. The item was tabled before and the applicant stated their client was not going have an HRR prepared; giving the applicant a decision allows the property owner to appeal if they wish.

CHB Member Schafer made a motion to deny the COA. CHB member Fernandez seconded the motion. [motion passed 3-2].

List of Administrative Approval Reviews

Additions (one-story) to the rear of the existing structure, with limited or no visibility from public rights of way which are to be built in conformance with the *Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings* (herein referred to as "SOIS Guidelines") for new additions.

Garages to be converted to living space if the exterior appearance remains the same (i.e. original garage door remains).

Architectural features or building elements consisting of: In-kind replacement* of historically correct ones, including windows, doors, exterior siding, porches, cornices and balustrades and stairs that are deteriorated, damaged beyond restoration or previously removed.

Please note: Substitute materials should be used only on a limited basis and only when they will match the appearance and general properties of the historic material and will not damage the historic resource in accordance with NPS Preservation Brief 16.

Repair or replacement of existing historic shed-type or free hanging awnings over existing windows using in-kind* materials only. Repair or replace historic aluminum awnings over existing windows using in-kind* materials only for buildings circa 1940s to 1960s.

Cargo containers located over 75 feet from historic features and not visible from the public right of way.

Replacement of non-period doors with doors that are more compatible with the character and era of historic structure.

Farm outbuildings, over 75 feet from historic resource.

New wood fences unless located on a front or side yard that are visible from the public right of way. New fencing proposed within the front yard of a historic district shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Repair or replace exterior historic lighting using lighting that matches as closely as possible in dimension and style at the same location.

Mobile home/manufactured home located at least 75 feet from historic building, structure, object or landscape feature and not visible from the primary elevation.

The removal of any features or additions that are non-historic of the building or removal of non-contributing buildings in historic districts that have not gained significance in their own right to restore the property to its historic appearance. This scope of work qualifies for staff level approval only where non-historic features are removed, and those disturbed areas will be patched and repaired in conformance with the SOIS Guidelines.

Upon consultation and concurrence with the CHB member of that district, new roofs and roof repairs shall be approved by staff when roof materials match and are consistent with the architectural style of historic resource and complies with:

1. Retention and repair of the historic materials which comprise the resource's roof features. This includes but is not limited to cupolas, cupola louvers, dentils, dormer roofing, brackets, frieze, barge board, projecting roof edges, decorated boxed cornice, widow's walk, finials, cresting, pendants, pediment, stick work, etc.
2. Asphalt shingles in a neutral color or as otherwise indicated in historic photos.
3. Skylights not visible from public right of way.
4. Solar devices that blend in with the historic resource where visibility from public right of way is kept at a minimum to maintain the historic resource's integrity.
5. Rooftop mounted equipment (e.g. mechanical units, antennas, equipment boxes), not visible from street or adjacent property.

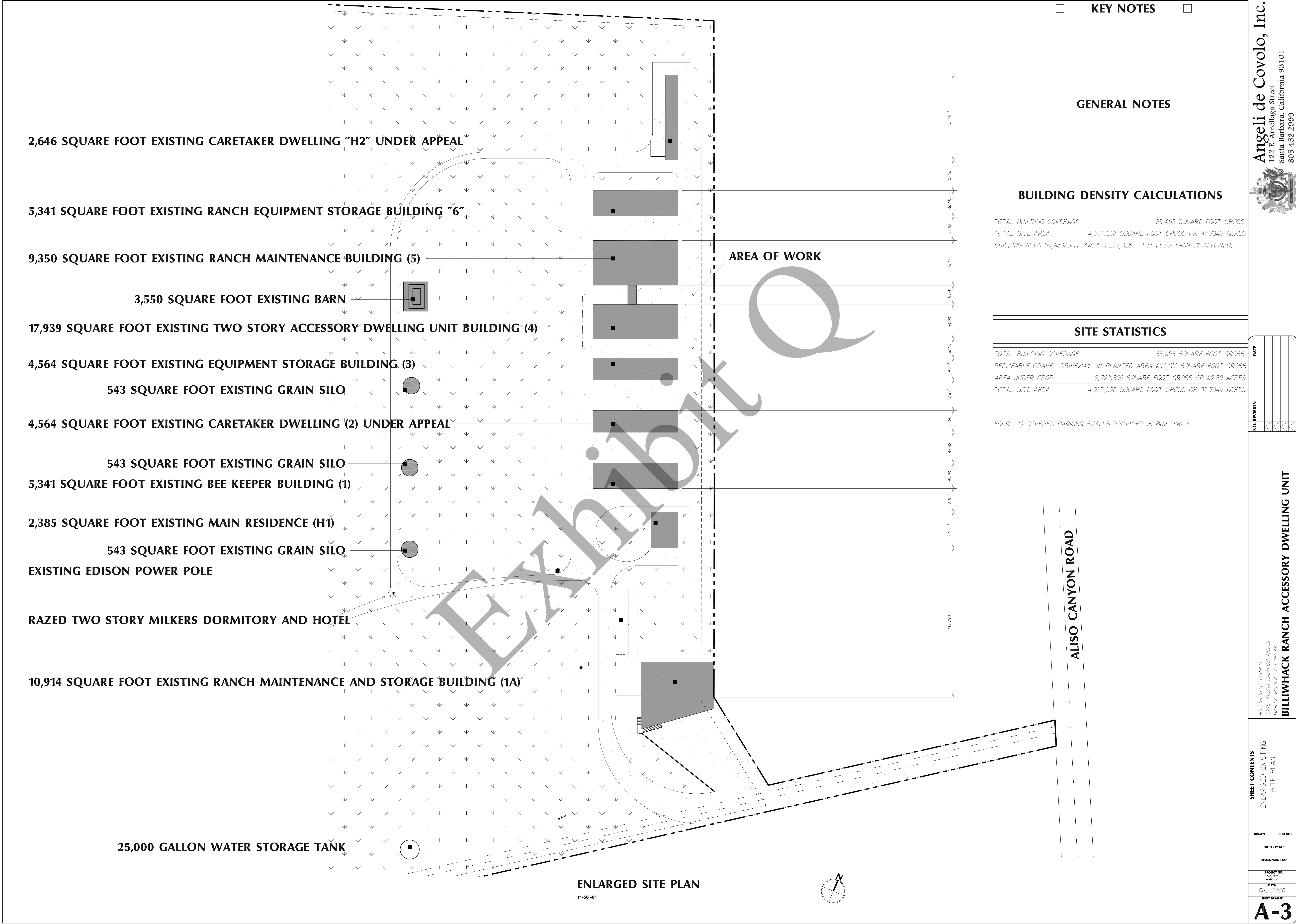
Installation of a metal roof or alterations to roof pitch shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Removal of such original features in Item 1 above shall require a Certificate of Appropriateness from the County Cultural Heritage Board.

Exemption Reviews

An Exemption shall be granted for in-kind* replacement of historically correct features on the site, building, structure, object or landscape that are deteriorated, damaged beyond restoration, or previously removed, including but not limited to:

List of Exemption Reviews	
Address numbers	
Replacement of aged or deteriorated exterior materials or surface finishes to match the original.	
Electrical, plumbing, utility work and other mechanical and building systems not visible from public view.	
New lights that are appropriate to the historic resource.	
Machinery, minor agricultural necessities.	
Exterior paint and surfaces:	
Surfaces allowed to be painted include only those that were originally intended to be painted and exclude all other surfaces (i.e. brick, concrete and stone).	
Repair architectural metals, masonry and wood materials or features using the recommendation methods indicated in the most recent version of the <i>Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings</i> (SOIS Guidelines). Replace where missing, deteriorated or decayed only with in-kind* materials (examples: wood for wood, full brick for full brick). Stabilization measures such as structural reinforcement, weatherization, or correcting unsafe conditions shall be used until additional work can be undertaken. Substitute materials shall be used in accordance with National Park Service Preservation Brief 16.	
Relocation of existing signage up to 10 feet in distance from original site in unincorporated Ventura County only.	
Stucco, repair of existing only.	
Swimming pool demolition unless the pool is either an established historic feature or over 45 years old.	
Landscape alterations and installations including the removal of trees that are not specifically designated or listed as a historic resource or contributing to the historic resource, supported by arborist report and/or historic resource report if required.	
Exterior water heater replacement in same location. If seen from public view, require water heater cover, non-vinyl, matching home's exterior color.	
Foundation repair/work and repointing of bricks on exterior with no change in appearance.	
Construction of rear swimming pools and equipment provided they are not in the public view and do not remove designated or listed historic landscaping.	
New Sprinkler/drip irrigation installation.	
Replacement of attached mailboxes and addition of exterior ground mounted mailboxes.	
Replacement of window glass as long as window size, clear material, and style are not altered.	
Chimney repair using in-kind* materials.	
Wood Fencing:	
-Repairing, adding to or reconstructing existing deteriorated or damaged fencing.	
-Removal of chain-link, or vinyl fencing.	
Construction of ADA ramp at the rear or side of building.	
Engineering improvements, such as seismic retrofitting unless it makes visible changes to the historic building.	
New or repair of rain gutters and downspouts.	



KEY NOTES

GENERAL NOTES

BUILDING DENSITY CALCULATIONS	
TOTAL BUILDING COVERAGE	55,683 SQUARE FOOT GROSS
TOTAL SITE AREA	4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES
BUILDING AREA 55,683/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED.	

SITE STATISTICS	
TOTAL BUILDING COVERAGE	55,683 SQUARE FOOT GROSS
PERMEABLE GRAVEL DRIVEWAY UN-PLANTED AREA	607,912 SQUARE FOOT GROSS
AREA UNDER CROP	2,722,500 SQUARE FOOT GROSS OR 62.50 ACRES
TOTAL SITE AREA	4,257,328 SQUARE FOOT GROSS OR 97.7348 ACRES
FOUR (4) COVERED PARKING STALLS PROVIDED IN BUILDING 5	

Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999

NO.	REVISION	DATE

BILLIHACK RANCH
2275 ALISO CANYON ROAD
SANTA PAULA, CA 93060

BILLIHACK RANCH ACCESSORY DWELLING UNIT

SHEET CONTENTS
ENLARGED EXISTING
SITE PLAN

DRAWN	CHECKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO. 2275	
DATE 06.11.2020	
SHEET NUMBER	

A-3

Everett Woody

From: Barrera, Ruben <Ruben.Barrera@ventura.org>
Sent: Thursday, February 13, 2020 6:08 PM
To: Everett Woody
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Sounds good. See you then.
ruben

From: Everett Woody <ejw@adcarch.com>
Sent: Thursday, February 13, 2020 5:37 PM
To: Barrera, Ruben <Ruben.Barrera@ventura.org>; Kim, Paul <Paul.Kim@ventura.org>
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Thanks Ruben for your prompt response. I will be at the building counter at 10:30.

Regards,

Everett Jay Woody
Angeli de Covolo, Inc.

From: Barrera, Ruben <Ruben.Barrera@ventura.org>
Sent: Thursday, February 13, 2020 5:17 PM
To: Everett Woody <ejw@adcarch.com>; Kim, Paul <Paul.Kim@ventura.org>
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Hi Everett, yes...call me tomorrow any time after 10am. We can discuss.

Yes, I told you we could review your project using Historical Building Code prior to the final action by the Board...but I was thinking you'd at least have a zoning clearance. So far, we have nothing...not a zoning clearance nor a signed early plan check agreement from you...plus, your plans seem to reflect a lot more work than we typically see for a historical building. So, in the meantime, we put your project on hold until we get further clarification or direction from Planning.

But we can discuss and get clarification. I am here tomorrow all day, but out all of next week. So we should discuss tomorrow morning, if you are available.

Thanks
ruben

From: Everett Woody <ejw@adcarch.com>
Sent: Thursday, February 13, 2020 5:04 PM
To: Kim, Paul <Paul.Kim@ventura.org>
Cc: Barrera, Ruben <Ruben.Barrera@ventura.org>
Subject: RE: C19-1283 - 2275 Aliso Canyon Rd. Follow up

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Please refer to the highlighted section of the attached CHBC. Using the CHBC has already been discussed and agreed upon with Ruben Barrera back in July of 2019. I am requesting a meeting with you and Ruben Barrera ASAP.

Thanks

Regards,

Everett Jay Woody
[Angeli de Covolo, Inc.](#)

From: Kim, Paul <Paul.Kim@ventura.org>
Sent: Thursday, February 13, 2020 4:59 PM
To: Everett Woody <ejw@adcarch.com>
Subject: C19-1283 - 2275 Aliso Canyon Rd. Follow up

Hi Everett,

I spoke to Amanda and Dean from the Code Enforcement Department, Adrian and Dillan from the Planning Department, and Ruben, our building official about the project.

According to them, the latest occupancy for the building is a dairy facility and not a single-family residence. Also, the building is not approved as a historical landmark.

So we're going to need two things prior to the 2nd round of plan check:

- The zoning clearance to indicate the change of occupancy to R-3.
- Obtain historical landmark status from the cultural heritage board.

Since the building department review will vary depending on the status of the above requirements, please obtain the necessary documents prior to the next submittal. Until then, we will not review the project per Ruben's instruction.

Best Regards,

Paul Kim, P.E.
Plan Check Engineer I
Ventura County Resource Management Agency
Building and Safety Division
800 S. Victoria Ave., L#1720
Ventura, CA 93009
E-mail: Paul.Kim@Ventura.Org
(805)654-2771



Everett Woody

From: Barrera, Ruben <Ruben.Barrera@ventura.org>
Sent: Monday, March 30, 2020 4:08 PM
To: Everett Woody; Ward, Dave
Cc: RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith
Subject: RE: Director of Planning:

My last agreement with the customer was that we would review the plans using the Historical Building Code, but we both agreed that this would be done at the customer's own risk...if Planning does not approve the historical designation, then that review would be voided and the project would have to be reviewed again under the regular Building Code, at the customer's expense, as they would have to pay a new B&S plan review fee.

ruben

From: Everett Woody <ejw@adcarch.com>
Sent: Monday, March 30, 2020 3:48 PM
To: Ward, Dave <Dave.Ward@ventura.org>; Barrera, Ruben <Ruben.Barrera@ventura.org>
Cc: RAC architects (rick@racdb.com) <rick@racdb.com>; Tracy Cortez <tracy@racdb.com>; Nate Whitson <nate@nmconstructionco.com>; Billiwhack (billiwhack@racdb.com) <billiwhack@racdb.com>; James H. Smith <james@rogerssheffield.com>
Subject: RE: Director of Planning:

Thanks for the quick response.

My last conversation with Ruben was that he was going to review the project using the historic building code and that the permit would not be issued until planning signed off.

Has that now changed?

Thanks

Regards,

Everett Jay Woody
Angeli de Covolo, Inc.

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Monday, March 30, 2020 3:45 PM
To: Everett Woody <ejw@adcarch.com>
Cc: RAC architects (rick@racdb.com) <rick@racdb.com>; Tracy Cortez <tracy@racdb.com>; Nate Whitson <nate@nmconstructionco.com>; Billiwhack (billiwhack@racdb.com) <billiwhack@racdb.com>; James H. Smith <james@rogerssheffield.com>
Subject: Re: Director of Planning:

Hello -

On the last bullet, I don't believe Building Official has determined yet — they will use the determination by Planning which is the question with County Counsel right now. I should have that shortly.

Thank you

Dave Ward

Sent from my iPhone

On Mar 30, 2020, at 3:30 PM, Everett Woody <ejw@adcarch.com> wrote:

I called Dave Ward the director of planning this morning and received a call back from him this afternoon. I am going to summarize my conversation below in bullet points.

Dave Ward:

- Has not received a determination from council regarding the use of the Historic Building Code.
- Planning staff is currently researching the ordinance and how it applies to our project.
- Dave is going to contact council following my phone call for an update.

Everett:

- I told Dave that we have an active building permit to repair the Main Residence. (Not a Creamery)
- I reiterated that this is an historic site and planning must review it as such. (Not a tract house in Saticoy)
- I asked why the project went eight months without any comments from staff regarding the use of the building as a residence?
- The building official has conceded that the building is historic and will be reviewed under the historic building code. (No comment)

Dave if I missed or mischaracterized anything please correct for the record.

Thank you

Regards,

Everett Jay Woody
[Angeli de Covolo, Inc.](#)
122 E. Arrellaga Street
Santa Barbara, CA. 93101



Please consider the environment before printing this email.

Pacific Electronics

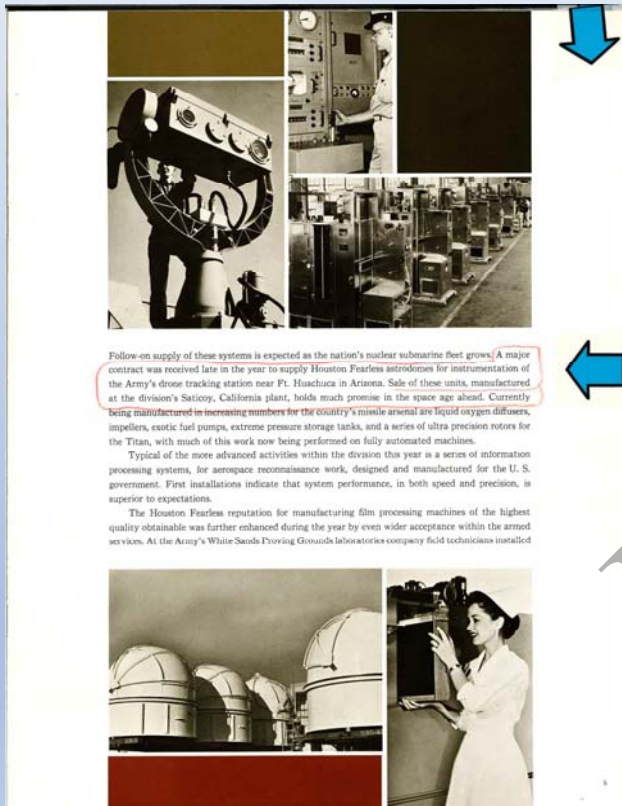
Pacific Electronics is awarded a 4 million dollar government contract and purchases the property in April 1954

A \$100,000 rebuilding program would transfer the Billiwhack Dairy Farm into Pacific Electronic Co., an electronic and tube manufacturing company which would employ more than 1,000 persons to fill \$4 million worth of military contracts. The new owner planned to complete a 50-room hotel, begun by the former dairy owner, to house key personnel. Also planned were a commissary, baseball diamond and tennis courts. The company spokesman noted that television sets would be manufactured after the defense contracts were filled.

As reported in Local Newspress

Houston Fearless, Corp.

Houston Fearless purchases the property in 1959 and continues manufacturing and development of military hardware.



Follow-on supply of these systems is expected as the nation's nuclear submarine fleet grows. A major contract was received late in the year to supply Houston Fearless astrodomes for instrumentation of the Army's drone tracking station near Ft. Huachuca in Arizona. Sale of these units, manufactured at the division's Saticoy, California plant, holds much promise in the space age ahead. Currently

Houston Fearless Press Release

**VENTURA COUNTY CULTURAL HERITAGE BOARD
RESOLUTION NO. 2017-2.1**

**A RESOLUTION ESTABLISHING AND DELEGATING ADMINISTRATIVE
AUTHORITY TO STAFF TO APPROVE CERTAIN MINOR PROJECTS AND
TO CERTIFY THAT OTHERS ARE EXEMPT FROM THE PROVISIONS OF
THE CULTURAL HERITAGE ORDINANCE FOR THE UNINCORPORATED
COUNTY AREA, THE BOARD SERVES**

WHEREAS, Section 1366 et seq. of the Ventura County Cultural Heritage Ordinance No. 4225 provides for the Ventura County Cultural Heritage Board (Board) to delegate administrative authority to Cultural Heritage Board Staff for certain projects, and

WHEREAS, Section 1366-3 provides for the Board to establish criteria to approve Certificates of Appropriateness, therefore allowing for the identification of exempt and administrative projects, and

WHEREAS, pursuant to the Cultural Heritage Ordinance No.4225 for the County Unincorporated area, the Board intends to delegate administrative authority to Cultural Heritage Board Staff for certain projects, and

WHEREAS, the Ventura County Cultural Heritage Board finds that delegating certain limited authority to staff for the sake of expediency and efficiency will result in better customer service and a savings of Board time, and

WHEREAS, the Ventura County Cultural Heritage Board intends to approve Resolution 2017-2.1 to add a minor project to Resolution 2017-2 for the Unincorporated County area.

NOW, THEREFORE BE IT RESOLVED, the Ventura County Cultural Heritage Board hereby delegates to the Cultural Heritage Board staff, Administrative Approval and Exemption authority for the following projects in the unincorporated County areas:

Administrative Approval Reviews

An Administrative Certificate of Appropriateness (COA) for a Landmark and an Administrative Certificate of Review (COR) for a Site of Merit shall be issued for work involving basic maintenance and repair or minor rehabilitation that does not involve a change of design, material, appearance or visibility of the property and its character-defining features including, but not limited to the following:

List of Administrative Approval Reviews

Additions (one-story) to the rear of the existing structure, with limited or no visibility from public rights of way which are to be built in conformance with the *Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings* (herein referred to as "SOIS Guidelines") for new additions.

Garages to be converted to living space if the exterior appearance remains the same (i.e. original garage door remains).

Architectural features or building elements consisting of: In-kind replacement* of historically correct ones, including windows, doors, exterior siding, porches, cornices and balustrades and stairs that are deteriorated, damaged beyond restoration or previously removed.

Please note: Substitute materials should be used only on a limited basis and only when they will match the appearance and general properties of the historic material and will not damage the historic resource in accordance with NPS Preservation Brief 16.

Repair or replacement of existing historic shed-type or free hanging awnings over existing windows using in-kind* materials only. Repair or replace historic aluminum awnings over existing windows using in-kind* materials only for buildings circa 1940s to 1960s.

Cargo containers located over 75 feet from historic features and not visible from the public right of way.

Replacement of non-period doors with doors that are more compatible with the character and era of historic structure.

Farm outbuildings, over 75 feet from historic resource.

New wood fences unless located on a front or side yard that are visible from the public right of way. New fencing proposed within the front yard of a historic district shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Repair or replace exterior historic lighting using lighting that matches as closely as possible in dimension and style at the same location.

Mobile home/manufactured home located at least 75 feet from historic building, structure, object or landscape feature and not visible from the primary elevation.

The removal of any features or additions that are non-historic of the building or removal of non-contributing buildings in historic districts that have not gained significance in their own right to restore the property to its historic appearance. This scope of work qualifies for staff level approval only where non-historic features are removed, and those disturbed areas will be patched and repaired in conformance with the SOIS Guidelines.

Upon consultation and concurrence with the CHB member of that district, new roofs and roof repairs shall be approved by staff when roof materials match and are consistent with the architectural style of historic resource and complies with:

1. Retention and repair of the historic materials which comprise the resource's roof features. This includes but is not limited to cupolas, cupola louvers, dentils, dormer roofing, brackets, frieze, barge board, projecting roof edges, decorated boxed cornice, widow's walk, finials, cresting, pendants, pediment, stick work, etc.
2. Asphalt shingles in a neutral color or as otherwise indicated in historic photos.
3. Skylights not visible from public right of way.
4. Solar devices that blend in with the historic resource where visibility from public right of way is kept at a minimum to maintain the historic resource's integrity.
5. Rooftop mounted equipment (e.g. mechanical units, antennas, equipment boxes), not visible from street or adjacent property.

Installation of a metal roof or alterations to roof pitch shall require a Certificate of Appropriateness from the Cultural Heritage Board.

Removal of such original features in Item 1 above shall require a Certificate of Appropriateness from the County Cultural Heritage Board.

List of Administrative Approval Reviews (cont'd)
Tree removal, only those not historically significant.
Removal of hazardous trees that are designated or listed as a historic resource or a contributor to a historic district, supported by an arborist report that states that the tree is hazardous and must be removed. A condition of approval shall be placed on the COA review to require the applicant to replace each removed tree with the installation of a minimum of two 15-gallon size trees of the same species.
<p>Upon consultation and concurrence with the CHB member of that district, replacement of existing windows will match the historic in terms of configuration, materials, details and finish, and complies with:</p> <ul style="list-style-type: none"> • Single-hung or double-hung types may substitute for each other. • New windows using clear glass only. • Replacement muntins using applied raised profile with a contoured shape only. • If there is a legitimate rain emergency and damage has occurred to the windows, then the windows can be filled in with plywood temporarily until rain storm is over.
Work not requiring a building permit involving routine maintenance and repair that does not involve a change of design, material, appearance or visibility of character-defining features.
Re-opening of enclosed original windows.
Replacement of existing historic garage doors with in-kind* replacement garage doors that are made of wood or simulated wood.
Construction of retaining walls with surface material matching the historic building/structure in rear yard.
Chimney replacement using in-kind* materials in the same location, and same architectural style and dimension.
Artificial turf that is temporary and replaceable, located in the front or the rear of the property.

*The terms, in-kind and in-kind replacement, shall be defined as a new feature that matches the old in design, color, texture and other visual qualities and, where possible, materials.

Exemption Reviews

An Exemption shall be granted for in-kind* replacement of historically correct features on the site, building, structure, object or landscape that are deteriorated, damaged beyond restoration, or previously removed, including but not limited to:

List of Exemption Reviews	
Address numbers	
Replacement of aged or deteriorated exterior materials or surface finishes to match the original.	
Electrical, plumbing, utility work and other mechanical and building systems not visible from public view.	
New lights that are appropriate to the historic resource.	
Machinery, minor agricultural necessities.	
Exterior paint and surfaces:	
Surfaces allowed to be painted include only those that were originally intended to be painted and exclude all other surfaces (i.e. brick, concrete and stone).	
Repair architectural metals, masonry and wood materials or features using the recommendation methods indicated in the most recent version of the <i>Secretary of Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings</i> (SOIS Guidelines). Replace where missing, deteriorated or decayed only with in-kind* materials (examples: wood for wood, full brick for full brick). Stabilization measures such as structural reinforcement, weatherization, or correcting unsafe conditions shall be used until additional work can be undertaken. Substitute materials shall be used in accordance with National Park Service Preservation Brief 16.	
Relocation of existing signage up to 10 feet in distance from original site in unincorporated Ventura County only.	
Stucco, repair of existing only.	
Swimming pool demolition unless the pool is either an established historic feature or over 45 years old.	
Landscape alterations and installations including the removal of trees that are not specifically designated or listed as a historic resource or contributing to the historic resource, supported by arborist report and/or historic resource report if required.	
Exterior water heater replacement in same location. If seen from public view, require water heater cover, non-vinyl, matching home's exterior color.	
Foundation repair/work and repointing of bricks on exterior with no change in appearance.	
Construction of rear swimming pools and equipment provided they are not in the public view and do not remove designated or listed historic landscaping.	
New Sprinkler/drip irrigation installation.	
Replacement of attached mailboxes and addition of exterior ground mounted mailboxes.	
Replacement of window glass as long as window size, clear material, and style are not altered.	
Chimney repair using in-kind* materials.	
Wood Fencing:	
-Repairing, adding to or reconstructing existing deteriorated or damaged fencing.	
-Removal of chain-link, or vinyl fencing.	
Construction of ADA ramp at the rear or side of building.	
Engineering improvements, such as seismic retrofitting unless it makes visible changes to the historic building.	
New or repair of rain gutters and downspouts.	

List of Exemptions Reviews (cont'd)	
Retaining wall repair.	
Removal of asbestos and vinyl siding if original siding is existing underneath and to be restored or maintained.	
Garden or storage shed, repairing or adding one, located in the rear yard.	
Rear yard decks made of wood or simulated wood not more than 500 square feet.	
Replacement of shutters with in-kind* wood shutters that are in keeping with character and era of historic structure.	
Exterior ground mounted A/C unit placed in rear yard or not visible from public street or where landscape screening is installed to hide the unit.	

* The terms in-kind and in-kind replacement shall be defined as a new feature that matches the old in design, color, texture and other visual qualities and, where possible, materials.

If Cultural Heritage Board staff cannot verify whether the proposed project is consistent with the criteria of the Resolution, staff will refer the matter to the Cultural Heritage Board for their consideration.

Date: 7/24/17

By: Ricki Mikkelsen
Ricki Mikkelsen, Chair
Ventura County Cultural Heritage Board

Approved on July 24, 2017

Everett Woody

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Monday, March 30, 2020 3:45 PM
To: Everett Woody
Cc: RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith
Subject: Re: Director of Planning:

Hello -

On the last bullet, I don't believe Building Official has determined yet — they will use the determination by Planning which is the question with County Counsel right now. I should have that shortly.

Thank you

Dave Ward

Sent from my iPhone

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Everett:

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- The building official has conceded that the building is historic and will be reviewed under the historic building code. (No comment)

Dave if I missed or mischaracterized anything please correct for the record.

Thank you

Regards,

Everett Jay Woody
Angeli de Covo, Inc.
122 E. Arrellaga Street

Everett Woody

From: Ward, Dave <Dave.Ward@ventura.org>
Sent: Friday, April 03, 2020 3:46 PM
To: Everett Woody
Cc: Thomas, Denice; RAC architects (rick@racdb.com); Tracy Cortez; Nate Whitson; Billiwhack (billiwhack@racdb.com); James H. Smith; Barrera, Ruben; Wright, Winston; Paniagua, Adrian
Subject: Follow up to March 16 2020 meeting -- Billiwhack Ranch: Use of Historic Building Code and Zoning Questions
Attachments: Billiwhack Ranch DPR forms.pdf; NRSC's.pdf

Case Nos. BP-C19001283; ZC-19-1390 and ZC-19-0684

Hello Everett

On March 16, 2020, staff met with you to discuss the Billiwhack Ranch project located at 2275 Aliso Canyon Road in unincorporated Ventura County (case number CV19-0100). During the meeting you wanted Planning Division Staff to advise whether the Historic Building Code may be used for this project and you wanted to know what status or decision is for the application currently under process listed above. We indicated that since your focused interest was on the historic building code, we prioritized that response which concluded this week.

With respect to the Historic Building Code, after research and consultation with the County Counsel, staff finds the Historic Building Code can be used for a portion(s) of this project. Section 18955 of the Historic Building Code states, in pertinent part, "[A] qualified historical building or structure is any structure or property, collection of structures, and their related sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include historical buildings or such structures on existing or future national, state, or local historical registers or official inventories, [...] and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks." The Billiwhack Ranch is identified in the Western Santa Clara Survey Phase V, 1995 prepared for the County of Ventura by the San Buenaventura Research Associates (SBRA). The Department of Parks and Recreation form prepared for this property by SBRA identifies the site as eligible for listing as a District on the National Register of Historic Places (National Register Status Code 3D) (See attached Billiwhack Ranch DPR forms).

Additionally, Section 1365-5 (b)(2) of the Ventura County Cultural Heritage Ordinance states, in pertinent part, "For the purposes of this Ordinance, an improvement, natural feature or site may become a designated Cultural Heritage Site if it meets the following criteria: [...] Site of Merit – Satisfy the following criteria: 1) Sites of historical, architectural, community or aesthetic merit which have not been designated as landmarks or points of interest, but which are deserving of special recognition; and 2) County approved survey sites with a National Register status code of 5 or above." The subject site has a National Register status code in a County-approved survey of 3D, whose place in the hierarchy is higher than 5 (see attached NRSC's Document).

With respect to responses on the Zoning Clearances, a letter is being prepared which provides the information you are requesting. The letter will be finalized next week and forwarded to you under separate cover.

Thank you and stay well,

Dave Ward, AICP
Planning Director
dave.ward@ventura.org

State of California

HEALTH AND SAFETY CODE

Section 18951

18951. It is the purpose of this part to provide alternative regulations and standards for the rehabilitation, preservation, restoration (including related reconstruction), or relocation of qualified historical buildings or structures, as defined in Section 18955. These alternative standards and regulations are intended to facilitate the rehabilitation, restoration, or **change of occupancy** so as to preserve their original or restored architectural elements and features, to encourage energy conservation and a cost-effective approach to preservation, and to provide for the safety of the building occupants.

(Amended by Stats. 2003, Ch. 504, Sec. 1. Effective January 1, 2004.)

Exhibit X

CHAPTER 8-3

USE AND OCCUPANCY

SECTION 8-301 PURPOSE AND SCOPE

8-301.1 Purpose. The purpose of the CHBC is to provide regulations for the determination of occupancy classifications and conditions of use for qualified historical buildings or properties.

8-301.2 Scope. Every qualified historical building or property for which a permit or approval has been requested shall be classified prior to permit issuance according to its use or the character of its occupancy in accordance with the regular code and applicable provisions of this chapter.

SECTION 8-302 GENERAL

8-302.1 Existing use. The use or character of occupancy of a qualified historical building or property, or portion thereof, shall be permitted to continue in use regardless of any period of time in which it may have remained unoccupied or in other uses, provided such building or property otherwise conforms to all applicable requirements of the CHBC.

8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

8-302.3 Occupancy separations. Required occupancy separations of more than one hour may be reduced to one-hour fire-resistive construction with all openings protected by not less than three-fourths-hour fire-resistive assemblies of the self-closing or automatic-closing type when the building is provided with an automatic sprinkler system throughout the entire building in accordance with Section 8-410.2. Doors equipped with automatic-closing devices shall be of a type which will function upon activation of a device which responds to products of combustion other than heat.

Required occupancy separations of one hour may be omitted when the building is provided with an automatic sprinkler system throughout.

8-302.4 Maximum floor area. Regardless of the use or character of occupancy, the area of a one-story qualified historical building or property may have, but shall not exceed, a floor area of 15,000 square feet (1393.5 m²) unless such an increase is otherwise permitted in regular code. Multistory qualified historical buildings (including basements and cellars) shall be in accordance with regular code requirements.

Exception: Historical buildings may be unlimited in floor area without fire-resistive area separation walls:

1. When provided with an automatic sprinkler, or
2. Residential occupancies of two stories or less when provided with a complete fire alarm and annunciation system and where the exiting system conforms to regular code.

8-302.5 Maximum height. The maximum height and number of stories of a qualified historical building or property shall not be limited because of construction type, provided such height or number of stories does not exceed that of its historical design.

8-302.5.1 High-rise buildings. Occupancies B, F-1, F-2 or S in high-rise buildings with floors located more than 75 feet above the lowest floor level having building access may be permitted with only the stories over 75 feet provided with an automatic fire sprinkler system if:

1. The building construction type and the exits conform to regular code, and
2. A complete building fire alarm and annunciation system is installed, and
3. A fire barrier is provided between the sprinklered and nonsprinklered floors.

8-302.6 Fire-resistive construction. See Chapter 8-4.

8-302.7 Light and ventilation. Existing provisions for light and ventilation which do not, in the opinion of the enforcing agency, constitute a safety hazard may remain. See Section 8-303.6 for residential requirements. See Section 8-503 for Escape or Rescue Windows and Doors.

SECTION 8-303 RESIDENTIAL OCCUPANCIES

8-303.1 Purpose. The purpose of this section is to provide regulations for those buildings designated as qualified historical buildings or properties and classified as residential occupancies. The CHBC requires enforcing agencies to accept any reasonably equivalent alternative to the regular code when dealing with qualified historical buildings and properties.

8-303.2 Intent. The intent of the CHBC is to preserve the integrity of qualified historical buildings and properties while maintaining a reasonable degree of protection of life, health and safety for the occupants.

8-303.3 Application and scope. The provisions of this section shall apply to all qualified historical buildings used for human habitation. Those dwelling units intended only for display, or public use with no residential use involved, need not comply with the requirements of this section.

8-303.4 Fire escapes. See Chapter 8-5.

8-303.5 Room dimensions. Rooms used for sleeping purposes may contain a minimum of 50 square feet (4.6 m²) floor area, provided there is maintained an average ceiling height

Standards for Preservation

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
1. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

1370-3 - Inform the Board of proposed changes of all road and geographical names; and

1370-4 - Inform the Board of all County records of historical significance which are to be disposed of or destroyed.

1371 - Expenses.

The necessary and reasonable expenses to the operation of the Cultural Heritage Board, as outlined in Section 1364, shall be the responsibility of the County.

1372 - State Historic Building Code.

The California State Historic Building Code (SHBC) provides alternative building regulations for the rehabilitation, preservation, restoration or relocation of structures designated as cultural resources. The SHBC shall be used for any designated site in the County's building permit procedure.

1373 - Definitions.

Application of Definitions: Unless the provision or context otherwise requires, the definitions of words and terms as follows shall govern the construction of this Chapter.

"Board" or "Cultural Heritage Board"—The Ventura County Cultural Heritage Board established by this Ordinance.

"Certificate of Appropriateness"—Ventura County Cultural Heritage Board or staff issued authorizations which indicate that the proposed subdivision, rezoning, maintenance, acquisition, stabilization, preservation, **reconstruction**, protection, alteration, restoration, rehabilitation, addition, **change of use**, demolition, relocation, change, remodeling or other project affecting a potential or designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated one.

"Cultural Heritage"—Pertaining to the sum total of traditions, body of knowledge, etc., inherited as possessions, characteristics, or conditions expressing a traditional way of life subject to gradual, but continuous modifications by succeeding generations.

"Cultural Heritage Site"—An improvement, natural feature, site or district that has completed the legally required procedures stipulated in this Ordinance to have it designated by the Ventura County Cultural Heritage Board or the Ventura County Board of Supervisors as a District, Landmark, Site of Merit or Point of Interest.

"District"—An area possessing a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development. Historic districts are defined by precise geographic boundaries. Therefore, those with unusual boundaries require a description of what lies immediately adjacent in order to define the edge of the district and to explain the exclusion of adjoining areas.

"Historic Fabric"—(1) With regard to an historic building, "historic fabric" means the particular materials, ornamentation, and architectural features which are consistent with the historic character of the building. (2) With regard to an historic district, "historic fabric" means all sites, buildings, structures, features, objects, landscaping, street elements, and related design components of the district which are consistent with the historic character of the district. (3) With regard to an archaeological district, "historic fabric" means sites, standing structures or buildings, historic landscape (land disturbance such as grading or construction), features (remnants of walls), and objects (artifacts) which are consistent with the historic character of the district.

State of California

HEALTH AND SAFETY CODE

Section 17958.12

17958.12. (a) The Legislature hereby finds and declares the following:

(1) Building officials, pursuant to this code and the California Building Standards Code, have broad authority as part of their enforcement authority to render interpretations of the code and to adopt policies and procedures to clarify the application of its provisions.

(2) A building official has the discretion to apply the building standards that were in effect at the time a residential unit was constructed. This is permissible under the authority to grant modifications on a case-by-case basis and the authority of a building department to approve a material, appliance, installation, device, arrangement, or method if it finds that the design is satisfactory and equivalent to the building standards code. Several jurisdictions were not aware of this existing authority.

(3) It is the intent of the Legislature to clarify that when a building permit for a residential unit does not exist, the appropriate enforcement official may make a determination of when a residential unit was constructed and then apply the California Building Standards Code and other specified rules and regulations in effect when the residential unit was determined to be constructed for purposes of issuing a building permit for the residential unit.

(b) The department shall propose the adoption of a building standard to the California Building Standards Commission pursuant to Chapter 4 (commencing with Section 18935) of Part 2.5 of Division 13 to authorize, when a record of the issuance of a building permit for the construction of an existing residential unit does not exist, a local enforcement official to determine the date of construction of that residential unit, apply this part, the building standards in the California Building Standards Code, and other specified rules and regulations in effect on that date of construction to that residential unit, and issue a retroactive building permit for that construction. This authorization shall be consistent with the findings and declarations of subdivision (a).

(c) This section is declaratory of existing law.

(Added by Stats. 2018, Ch. 1010, Sec. 1. (SB 1226) Effective January 1, 2019.)

- (2) Has precisely mapped and defined exterior boundaries, which requires a description of what lies immediate to the district to allow rational exclusion of adjoining areas.
- (3) Has at least one (1) of the criteria for significance of Section 1365-5.a.1-8.
- (4) Complies with the criteria for integrity contained in Section 1365-5.a.6.

1365-6 - Additional designation standards.

In addition to meeting the criteria in Sec. 1365-5 et seq., all the following standards must be met before a site becomes a designated Cultural Heritage Site:

- a. It shall have historic, aesthetic or special character or interest for the general public, and not be limited in interest to a special group of persons;
- b. Its designation shall not require the expenditure by the County of Ventura of any amount of money not commensurate with the value of the object to be preserved; and
- c. Its designation shall not infringe upon the rights of a private owner thereof to make any and all reasonable uses thereof which are not in conflict with the purposes of this Article.

1366 - Certificate of Appropriateness (COA).

Certificates of Appropriateness shall be required for the following categories of sites only: 1. Landmark 2. Points of Interest 3. Demolition of Sites of Merit 4. Demolition of potential sites 5. Designated Cultural Heritage Sites seeking a Planned Development Permit pursuant to Section 8107-37 of the Ventura County Zoning Ordinance. Certificates of Appropriateness (and as they may be conditioned) are authorizations issued by the Cultural Heritage Board, or support staff in accordance with criteria adopted by the Board, which indicate that the proposed maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, relocation, or subdivision of a designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated Cultural Heritage Site.

1366-1 - Prior to commencement of or receipt of necessary permits for maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, subdivision or relocation of designated Cultural Heritage Sites or sites potentially eligible for such designation, the land owner shall have:

- a. Obtained a Certificate of Appropriateness from the Cultural Heritage Board or staff, as the Board may delegate such authority; or
- b. Filed for a COA and waited the time specified in Section 1366-5 without any action being taken on his request for a COA; or
- c. Filed for a Certificate of Appropriateness and the relevant time specified in Section 1366-8 has expired.

1366-2 - The County Resource Management Agency and other applicable County agencies shall report any application for a permit to work on a designated Cultural Heritage Site or potentially eligible site to the Cultural Heritage Board and its staff as soon as the application has been received;

1366-3 - In evaluating requests for Certificates of Appropriateness, the Cultural Heritage Board and staff shall consider the existing architectural style, design, arrangement, texture, materials, and any other factors with regard to the site's original distinguishing characteristics. Using the Secretary of the Interior's Standards for Historic Preservation Projects as a guide, the Cultural Heritage Board or its staff, as delegated, shall approve a Certificate of Appropriateness for any proposed work site if, and only if, one (1) of the following findings can be made:

- a. The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the site.
- b. In the case of construction of a new improvement, addition, building or structure upon the site, the use and exterior of such construction will not adversely affect, and will be compatible with the use and/or exterior of the site.
- c. The denial of a Certificate of Appropriateness will deprive the owner of the property of all reasonable use of or economic return on the property.
- d. If the applicant presents facts and clear evidence demonstrating that failure to approve the request for a Certificate of Appropriateness will cause a hardship because of conditions peculiar to the structure or other feature involved, or damage to the property owner is unreasonable in comparison to the benefit conferred to the community, the Board may conditionally approve such Certificate, even though it does not meet the standards set forth herein.
- e. If the request for a COA involves a non-designated site and the proposed work would not compromise the potential future designation of the site.

1366-4 - Requests for Certificates of Appropriateness shall be signed by the land owner or their designated agent and filed with the County's Resource Management Agency for processing. Requests shall include plans and specifications, and the relationship of the proposed work to the surrounding environs. The request shall be accompanied by any other information the Cultural Heritage Board determines is required to make an informed judgment of the proposed work according to the standards of review pursuant to Section 1364-12.

1366-5 - If the Cultural Heritage Board or staff, as applicable, fails to act on a request for a Certificate of Appropriateness within ninety (90) days of submission of a complete COA application, a Certificate of Appropriateness shall not be required; proposed projects on undesignated and designated Cultural Heritage Sites may proceed without an approved COA, provided an action is not pending on the designation of the site, and all other necessary permits have been obtained.

1366-6 - If no building, planning or other permit is required to pursue work on a designated Cultural Heritage Site or potentially eligible site, where the owner has been notified of the site's eligible status; whoever is responsible for the work, whether it is the tenant, resident or property owner, shall apply to the Cultural Heritage Board staff directly for the appropriate authorization pursuant to Sec. 1364-12 or Sec. 1366;

1366-7 - The Cultural Heritage Board or staff may disapprove the issuance of said Certificate or Certificates for any proposed work if, and only if, it makes one (1) of the following applicable findings:

- a. The proposed project is to remove or demolish a designated Cultural Heritage site that is determined by the Cultural Heritage Board to be significant and important to the history of the County.
- b. The proposed project would adversely affect the historical significance of the site or would not be compatible with the use and/or exterior of the designated Cultural Heritage site.
- c. The proposed project would adversely affect the eligibility of a potential site to become a designated Cultural Heritage Site.

A decision of staff may be appealed to the Cultural Heritage Board and a Board decision may be appealed to the Board of Supervisors within 15 days of notification of the decision.

1366-8 - If the request for a Certificate of Appropriateness for a specific project proposal is denied by the Cultural Heritage Board

- a. The proposed work will neither adversely affect the significant architectural features nor adversely affect the character of historical, architectural or aesthetic interest or value of the site.
- b. In the case of construction of a new improvement, addition, building or structure upon the site, the use and exterior of such construction will not adversely affect, and will be compatible with the use and/or exterior of the site.
- c. The denial of a Certificate of Appropriateness will deprive the owner of the property of all reasonable use of or economic return on the property.
- d. If the applicant presents facts and clear evidence demonstrating that failure to approve the request for a Certificate of Appropriateness will cause a hardship because of conditions peculiar to the structure or other feature involved, or damage to the property owner is unreasonable in comparison to the benefit conferred to the community, the Board may conditionally approve such Certificate, even though it does not meet the standards set forth herein.
- e. If the request for a COA involves a non-designated site and the proposed work would not compromise the potential future designation of the site.

1366-4 - Requests for Certificates of Appropriateness shall be signed by the land owner or their designated agent and filed with the County's Resource Management Agency for processing. Requests shall include plans and specifications, and the relationship of the proposed work to the surrounding environs. The request shall be accompanied by any other information the Cultural Heritage Board determines is required to make an informed judgment of the proposed work according to the standards of review pursuant to Section 1364-12.

1366-5 - If the Cultural Heritage Board or staff, as applicable, fails to act on a request for a Certificate of Appropriateness within ninety (90) days of submission of a complete COA application, a Certificate of Appropriateness shall not be required; proposed projects on undesignated and designated Cultural Heritage Sites may proceed without an approved COA, provided an action is not pending on the designation of the site, and all other necessary permits have been obtained.

1366-6 - If no building, planning or other permit is required to pursue work on a designated Cultural Heritage Site or potentially eligible site, where the owner has been notified of the site's eligible status; whoever is responsible for the work, whether it is the tenant, resident or property owner, shall apply to the Cultural Heritage Board staff directly for the appropriate authorization pursuant to Sec. 1364-12 or Sec. 1366;

1366-7 - The Cultural Heritage Board or staff may disapprove the issuance of said Certificate or Certificates for any proposed work if, and only if, it makes one (1) of the following applicable findings:

- a. The proposed project is to remove or demolish a designated Cultural Heritage site that is determined by the Cultural Heritage Board to be significant and important to the history of the County.
- b. The proposed project would adversely affect the historical significance of the site or would not be compatible with the use and/or exterior of the designated Cultural Heritage site.
- c. The proposed project would adversely affect the eligibility of a potential site to become a designated Cultural Heritage Site.

A decision of staff may be appealed to the Cultural Heritage Board and a Board decision may be appealed to the Board of Supervisors within 15 days of notification of the decision.

1366-8 - If the request for a Certificate of Appropriateness for a specific project proposal is denied by the Cultural Heritage Board

or staff, the property owner of a designated Cultural Heritage Site shall be prohibited from taking action for 180 days from the date of the disapproval. Notwithstanding the provisions of section 1366-7 or any other provision of the Cultural Heritage Ordinance, following the date of denial of a complete Certificate of Appropriateness application by the Ventura County Cultural Heritage Board or by staff, a Certificate of Appropriateness shall not be required as follows: (a) in the case of a designated or interim basis Cultural Historical Site, one hundred eighty (180) days beyond; and (b) in the case of an undesignated site, immediately following such denial. Said decisions may be appealed to the Board of Supervisors within 15 days or decisions by staff may be appealed to the Cultural Heritage Board within 15 days. There is no waiting period following the denial of a COA for projects on sites not designated an interim or formal Cultural Heritage Site.

1366-9 - Non-action after Certificate of Appropriateness.

If the property owner has not acted on the Certificate of Appropriateness within one (1) year and 180 days from the date the Cultural Heritage Board or staff approved such action, the Certificate of Appropriateness shall be void.

1367 - Acquisition of designated Cultural Heritage Sites.

If the decision is made that the historical significance of any designated site justifies the expenditure of public funds, acquisition proceedings may be initiated. If the Board of Supervisors finds a site to be of historical significance and public funds are not available, private funds may be used for acquisition or other arrangements may be made that are satisfactory to the property owner.

1368 - Municipal cultural heritage.

The Cultural Heritage Board, at the request of a city, may serve as the city's Cultural Heritage Board. However, the provisions of this Ordinance, unless adopted by the City Council, shall have force and effect only in the unincorporated area of the County.

1369 - Funds.

The Cultural Heritage Board, or other interested persons, may petition the Board of Supervisors for funds necessary to carry out the purposes of this Article. The Board of Supervisors may expend all reasonable amounts of money needed to carry out the purposes of this Article or to acquire fee title or such lessor ownership rights or rights of possession or negative easements as it deems necessary or expedient to carry out the purposes of this Article.

1370 - Cooperation.

The Cultural Heritage Board shall cooperate with all County departments and officers when requested, and shall recommend for their consideration matters covered by this Ordinance. All Boards, Commissions, Departments, and Officers of the County shall cooperate with the said Cultural Heritage Board in carrying out the spirit and intent of this Ordinance and shall:

1370-1 - Notify the Cultural Heritage Board of the discovery of items of historical significance, such as burial grounds, prehistoric artifacts or historical foundations;

1370-2 - Inform the Board of proposed alteration, demolition or relocation of Designated Cultural Heritage Sites or sites eligible for such designation;

LEGAL NOTICES

NOTICE OF ZONING HEARING

Notice is hereby given that a PUBLIC HEARING, as required by law, to consider an application for a Special Use Permit for the establishment by Howard M. Ferguson of a private recreation center located adjacent to and west of Willoughby Road and about one mile north of Foothill Road and north of the town of Saticoy, will be held by the Ventura County Planning Commission at the office of the Planning Commission, 54 North California Street, Ventura, California on Monday, January 12, 1948, at the hour of 2:00 p.m.

Any property owner or resident of the County of Ventura is privileged to attend this hearing and be heard on this matter.

L. J. BORSTELMANN,
Secretary of the Ventura
County Planning Commission.

Planning Commission 01.12.1948

Billiwhack Dairy Property Now Seen As Private Boys' School, Sale Reported

Tue, Mar 2, 1948

The Aliso canyon property that once housed the Billiwhack dairy has been sold again and is to be turned into a private boys school.

That was the information revealed at the county supervisors meeting today when talk turned to a discussion of a special land use ordinance permit and to the establishment of a small animal shelter.

Howard Ferguson, present owner of the Billiwhack dairy property, had asked for a special use permit to establish a recreation center in Aliso canyon. The county planning commission today submitted to the supervisors a recommendation that the permit be approved.

But, along with the recommendation, Louis J. Borstelmann, county planning engineer, revealed to supervisors that since the time that the commission acted,

Ferguson had sold the property to Harry Royce of Los Angeles, one-time affiliate with Westmont college, and that sale papers now are in escrow. Supervisors, therefore, tabled Ferguson's request for a special use permit.

It also developed that the Southern California Humane society, with which the county and cities have been working to establish a countywide small animal shelter, had worked out an agreement with Ferguson to use a building on the Aliso canyon property for the shelter, instead of using the Saticoy dump, as originally planned.

Supervisors, however, decided to wait a week before taking any action on the contract. The delay was asked because supervisors want more time to ascertain how much it will cost to operate the shelter in an already erected building.

Board of Supervisors 03.02.1948

Welcome to the

International Christian Institute

OF CALIFORNIA



An Interdenominational, Non-sectarian, Co-educational School for Instruction of Students and Promotion of Christianity

Located in Beautiful Ventura County . . . just seventy miles north of metropolitan Los Angeles and in the very heart of rich and fertile Santa Clara valley. Situated half way between Ventura city, county seat of Ventura County, and Santa Paula, lemon capital of the world, the Institute location offers unparalleled advantages to the student.

Twenty Minutes to the Ocean . . . With U.S. 101 coast highway but a few minutes distance from the schools, friends and parents have easy access, while students will find ocean bathing, fishing and sailing unusually attractive during leisure hours.

An Intellectual, Spiritual and Physical Development . . . Starting with the premise that "the fear of God is the beginning of wisdom," the International Christian Institute of California makes the student's spiritual development the cornerstone of his or her education. The intellectual and physical development which follows will naturally conform to the pattern of working with head, heart and hand. Building a life by learning how to live is the end objective of the Institute program.

The International Christian Institute of California was founded to provide such an opportunity for boys and girls 16 years or older regardless of previous educational experience.

Individual instruction which permits progress geared to the student's ability, with a year around outdoor sport and recreation program to develop physically fit bodies, and with a highly developed moral and

spiritual leadership to insure the deepening and strengthening of the student's spiritual growth, the graduate faces life prepared to meet its challenge.

Missionary Training . . . Throughout a war weary and fearful world the cry has come for Christian missionaries. Never in the history of Christendom has the need been so great and the supply so limited. The International Christian Institute of California will train Christian young people of every race and color to go to their own people both here and abroad with the challenge of Christianity. Supporting that message will be trained hands to minister lovingly and efficiently to physical and temporal needs. Many of the Institute students will truly "enter to learn" that they might "go forth to serve."

Missionary work at home will not be neglected. There is a bigger place in America today for "changed men" with skilled hands than ever before.

Teaching of Manual Arts . . . Much that has been said before emphasizes the teaching of skills and arts of handcraft. The International Christian Institute of California plans a well rounded program of skills with much time for practical application. Building trades will be taught by building houses, wood working by making things out of wood, etc. Radio, electricity, printing, book binding, automotive mechanics, metal working, agriculture, animal husbandry, commerce, road building, horticulture and many other practical subjects will give wide range to the student's choice and selection of courses.

(Continued on back)

Teaching of Home Economics . . . The International Christian Institute of California will be co-educational with a strong program for training home makers. Great emphasis will be laid on food and nutrition courses. One of the finest tile and concrete buildings on the west coast will be turned over in its entirety to the preparation and preserving of foods.

Plain sewing, dress making, child care and related subjects will complete a well rounded domestic science department.

Teaching of the Bible . . . "I cannot too greatly emphasize the importance and value of Bible study—more important than ever before in these days of uncertainties when men and women are apt to decide on things from the standpoint of expediency rather than on the eternal principles laid down by God, Himself." John Wanamaker.

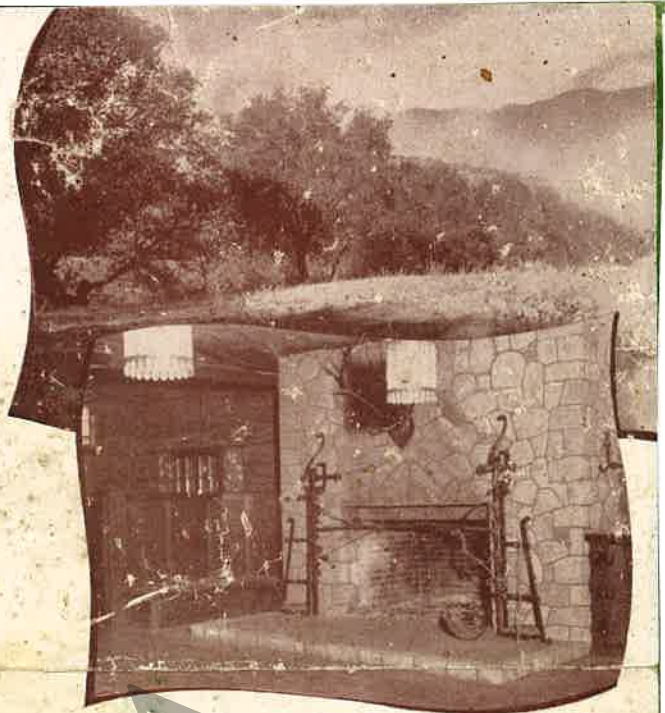
"When you have studied the Bible you will know it is the Word of God, because you will have found it the key to your own heart, your own happiness and your own duty." Woodrow Wilson.

"I believe a knowledge of the Bible without a college course is more valuable than a college course without a Bible." William Lyon Phelps.

"All that I am I owe to Jesus Christ revealed to me in His divine book." David Livingstone.

These leaders of men from merchant to missionary speak the convictions which prompted the International Christian Institute to make Bible study the keystone of its educational program. Bible study is required of every student.

Retreat and Conference Fellowship . . . Imagine if you can a campus of 156 acres of rolling hills, deep canyons and magnificent oak groves. High up and



Top—One of Many Oak Groves

Bottom—Fireplace in Redwood Cabin

overlooking the Institute buildings is a large California redwood cabin, made to order for retreat and conference fellowship. Young people's groups coming in from the outside for prayer, meditation and recreation will be a constant source of social contact and fellowship for our student body.



Address all inquiries to

International Christian Institute of California

P. O. BOX 151 — SANTA PAULA, CALIFORNIA



Inviting you
TO SOMETHING NEW
SOMETHING DIFFERENT
SOMETHING NEEDED!

CHRISTIAN INSTITUTE OF CALIFORNIA, HARRY ROYE and ROBERT NOLES, as their own builders, at their instance and request, between the dates of June 10 1948 and January 10 1949, both dates inclusive, to be used and which were actually used in the alteration, remodeling and repair of a building now upon the land above described before the completion of said work of improvement.

That the reasonable value of the materials so furnished by this claimant was and is the sum of \$849.82, which sum and value the said INTERNATIONAL CHRISTIAN INSTITUTE OF CALIFORNIA, HARRY ROYE and ROBERT NOLES agreed to pay to claimant therefor; that no part or portion of said sum has been paid except the amount of \$296.61, leaving a balance now due and unpaid from said INTERNATIONAL CHRISTIAN INSTITUTE OF CALIFORNIA, HARRY ROYE and ROBERT NOLES to claimant in the sum of \$553.21, after deducting all just credits and offsets, and that said sum of \$553.21 constitutes this claimant's demand.

Dated May 9 1949

PEOPLES LUMBER COMPANY

By ✓

Bartels

its General Manager

STATE OF CALIFORNIA)
COUNTY OF VENTURA) ss

On this 9th day of May 1949, before me, WAYNE L CLARK, a Notary Public in and for said County and State, personally appeared B W BARTELS, known to me to be the General Manager of the PEOPLES LUMBER COMPANY, the corporation that executed the foregoing claim of lien, and being by me duly sworn, deposes, acknowledges and says: that he has read the foregoing claim of lien, that he executed the same on behalf of the claimant corporation

The Owners

We are Rick and Tracy Cortez. We are the new owners of the historic Billiwhack Ranch in Santa Paula. We purchased the ranch in December of 2018 after two years of negotiation. The property had been on the market for over 6 years and had multiple failed escrows. The 60,000 sf of old dairy buildings were of little use to farmers and represented a liability. The sellers could not sell the property in spite of lowering the price many times.

Rick's career has been devoted to adaptive reuse of old buildings. He has been doing this work for over 20 years in Los Angeles as well as designing, manufacturing, and installing steel doors and windows of the same type that exist at Billiwhack. His work is known for its habitability, beauty, simplicity, and respect of the original structure. See samples of his work on two 1890's structures, next page.

We are the only buyers that showed interest in saving these structures. Rick is one of very few people who has the ability, desire, and interest for this project. We believed that the county would/could be advocates of the adaptive reuse and repair of this property given its history in the county. Up to this point, our experience has been difficult and time consuming.

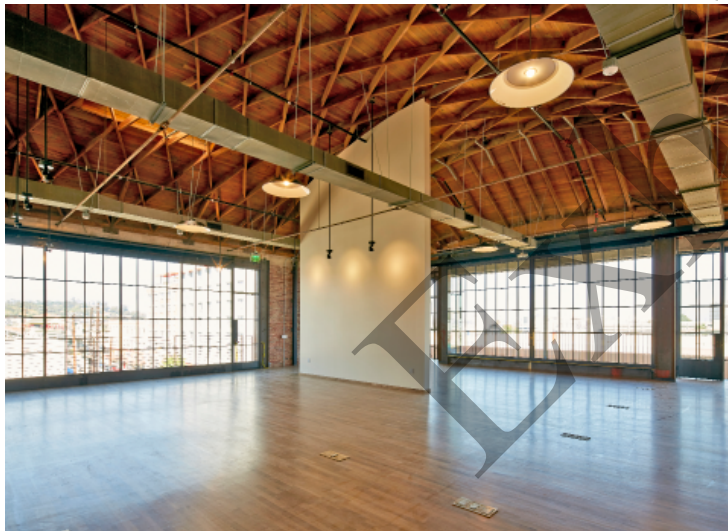
CT1: 759 N Spring Street



Before



After



CT6: 676 N Spring Street



Before



After



Adaptive Re-use of 1890's Buildings

The Project

The property consists of lemon and avocado orchards and 60,000 square feet of buildings originally constructed as a dairy. Construction began in 1926 but not completed when sold in 1928 to another dairy company. The new company completed the buildings and began operating in 1934. The dairy shut down in 1942 after 8 or 9 years of operation. Subsequently, there have been 10 owners, over the next 75 years, none of which used the property as a dairy. Today the county is basing existing use on the very first use because one assessor record in 1954 that calls out the Creamery. This building will always be known as the Creamery but it has not functioned as one for 75 years.

Our Project is the adaptive re-use of the original Creamery building as our main residence and to maintain the two other existing residences. Our exterior modifications to the Creamery building impact 4 existing windows and create 4 new windows. A total of 2.5% of the elevation is altered. All modifications are in keeping with the original design and materials. We have an historic report that recommends the project and finds that all proposed work is in accordance with the Secretary of the Interiors Standards. Report attached.

We were granted a repair permit for a residence that has allowed us to repair the front corner of the Creamery building (see photos next page). We have spent approximately \$750,000 on an historically accurate repair, in both materials and construction methods. We believe the integrity that has been exhibited during this repair should define our commitment to rehabbing all of the buildings with care and consideration.



Before

12/20/2018



Early Demo

09/20/2019



Mid Demo

09/28/2019



Re-built Steel Structure

03/17/2020



First Pour Forming

04/03/2020



First Pour

04/08/2020



Today

Residence Repair
Accomplished Since Sept. 2019
Billiwhack Ranch



Before



After

Residence Repair
Billiwhack Ranch

Zoning Issues

The issue we are faced with, and the reason for this meeting, is the characterization of building H2's damaged area as voluntary. Building H2 is a 2,400 sf historic residence that had extreme deferred maintenance when we purchased the property. Our plan was to perform some initial, surgical investigation to determine the work that was needed to do a light remodel.

The combination of poor design and execution, along with 50 years of deferred maintenance and mud flows from the adjacent hill plus the riding arena, directed water towards the building. The grade crept up through the years and, in the end, was higher than the wood framed floor & walls. Water had been wicking into and up the stucco for years. The studs were rotted out and some completely gone. All the original lathe paper was gone. The floor, just inches above the dirt, was spongy and one could step through it in places. What began as a surgical investigation to determine the scope of work turned into a removal of all of the damaged, non-structural infill and finishes. The original steel structure remains intact and roof tiles were saved.

From this work we were developing our scope of work and during that time we were cited. We take full responsibility for state the building is in. Rick has been doing projects of this nature all his working life and it's not in his nature to remove anything authentic & original only to replace it with a contemporary building. We did remove more than 50% of the infill without a permit. We contend, and hope to show, that the non-structural materials that were removed were damaged beyond repair and that the damaged material had zero integrity; that these conditions were created over a long period of time and existed at the time we purchased the property; and that the damage was involuntary.

The VC Non-Coastal Ordinance Division 8, Chapter 1 Section 8113-6.1.1 states: Whenever any such structure is involuntarily damaged or destroyed in whole or in part, the structure may be restored to its original state existing before such removal, damage or destruction. The occupancy or use of the structure or part thereof which existed at the time of the damage or destruction may be continued...



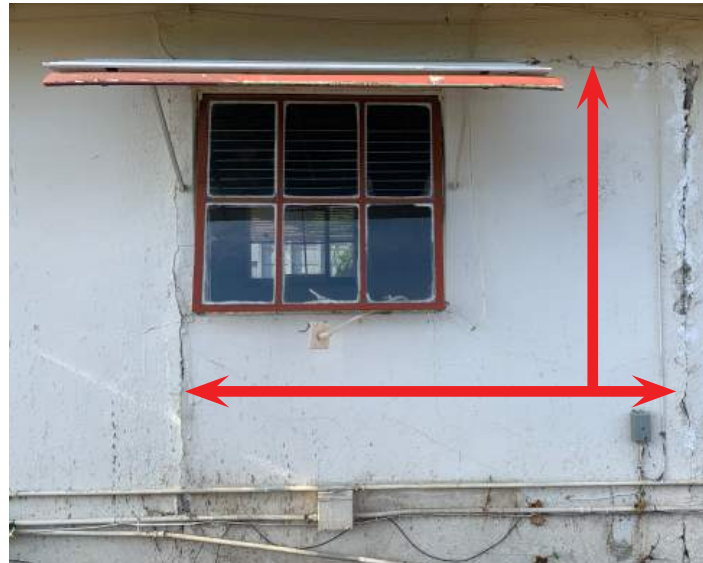
Building H2

Interior Damage Pre Demo: Floor, Walls, Ceiling (Exposed Damage)
Billiwhack Ranch



Building H2

Interior Damage Pre Demo: Floor, Walls, Ceiling (Exposed Damage)
Billiwhack Ranch



South Side:
Stress fractures & damage
visible at each window



Building H2
Exterior Damage
Billiwhack Ranch



Floor Level



Original Grade



Level Before Cleanup



Building H2
Exterior Damage
Billiwhack Ranch

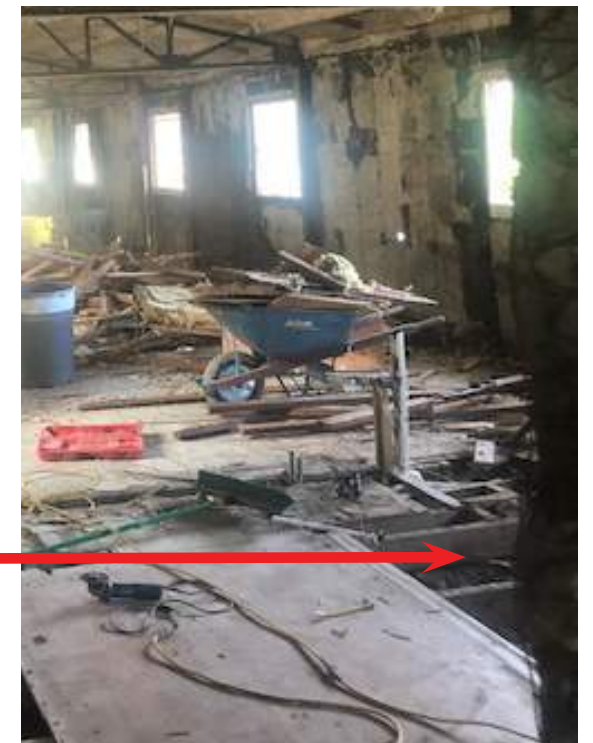


Studs and water membrane gone

Girders laid
on dirt



Only stucco remains



Dirt

Building H2

Interior Damage Pre Demo: Exposed Floors and Walls
Billiwhack Ranch



Building H2

Interior Damage Pre Demo: Exposed Floors and Walls
Billiwhack Ranch

State of California

PUBLIC RESOURCES CODE

Section 5020.7

5020.7. The Legislature recognizes that the long-term preservation and enhancement of historical resources is dependent, to a large extent, on the good will and cooperation of the general public and of the public and private owners of those resources.

Therefore, it is the intent of the Legislature that public agencies, including the commission and the office, shall endeavor to carry out their responsibilities under this article in a manner designed to elicit the cooperation of the owners of both identified and unidentified resources, to encourage the owners to perceive these resources as assets rather than liabilities, and to encourage the support of the general public for the preservation and enhancement of historical resources.

(Added by Stats. 1992, Ch. 1075, Sec. 3. Effective January 1, 1993.)

Exhibit A

Batinica, Meighan

From: Rosengren, Franca
Sent: Monday, August 24, 2020 1:55 PM
To: Batinica, Meighan
Subject: FW: Appeal for Billiwhack Ranch

Hi Meighan,

Should I forward the comments I receive to you to add to the record? I forgot what I am supposed to do?

Franca

From: debra whitson <debrawhitson@sbcglobal.net>
Sent: Monday, August 24, 2020 1:50 PM
To: Rosengren, Franca <Franca.Rosengren@ventura.org>
Subject: Appeal for Billiwhack Ranch

Dear Ms. Rosengren,

I am writing this on behalf of my family who were the previous owners of Billiwhack Ranch. My family owned the property for over 50 years, through three generations. We loved the property and it was a very difficult decision to sell but we were very fortunate to find wonderful buyers, Rick and Tracy Cortez, who bought the property in December of 2018. They immediately fell in love with the property and were thrilled to be given the opportunity to restore and rehabilitate the buildings and homes on the property. They were very gracious with our long time employee, Carlos Granados, who has lived on the ranch for over 45 years. They kept him as an employee and continued to allow him to live in his home. They also allowed our brother, who was the previous ranch foreman to live in the house he has lived in for many years. If the county does not accept Billiwhack Ranch as a historical Site of Merit, as it was established in 1995 by the County, and allow the Cortez family to rehabilitate the buildings and give them zoning clearance, both Carlos and my brother will have to move.

Please allow Rick and Tracy to do what they do best and rehabilitate the buildings. The property is very unique and should be allowed to be restored.

Sincerely,

Debra Held Whitson
(805 377-2785
debrawhitson@sbcglobal.net

Batinica, Meighan

From: Mitch Stone <mitch@historicrosources.com>
Sent: Tuesday, August 25, 2020 2:59 PM
To: Rosengren, Franca
Cc: Judy Triem; Tracy Cortez
Subject: Billiwhack Stock Farm and Dairy

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Dear Ms. Rosengren,

We are the historic resources consultants who prepared a Phase II Historic Resources Report in connection with the proposed rehabilitation work on the Billiwhack Dairy and Stock Farm at 2275 Aliso Canyon Road. We evaluated whether the proposed project conforms to the Secretary of the Interior's Standards for Rehabilitation and also provided an updated and expanded history of the property. As I am sure you are aware, this property was found to be eligible for listing on the National Register of Historic Places in a survey conducted for the county in 1996, and for this reason is listed as a Site of Merit under County Code. This status requires that it be treated as a historic resource.

As I am sure you are also aware, Billiwhack has been a highly problematic property from a historic preservation standpoint for many decades. It operated as a dairy for only ten years and has, since the early 1940s, been subjected to a variety of uses that were not always kind to its historic character. The lack of an active use and the resulting general neglect of the property over many years has threatened its continued existence as a historic resource. A new use that would take the features that contribute to the historic character of the property fully into consideration required a sympathetic owner with a commitment to making the required investment.

We feel the current owners have those intentions. We have been working with them on the project for some time now and have found them to be highly receptive to our guidance on compliance with the primary historic preservation issue, which is compliance with the Secretary's Standards. We found that the project as proposed does substantially comply with the Standards. The purpose of the Standards is to guide the adaptive reuse of historic properties for which the original uses are no longer viable. The decades of disuse have certainly proven this to be the case for this property. The Standards were made for situations precisely of this kind.

We are not very familiar with the zoning issues that seem to be driving the project review process currently, but we urge the county to bring them to some reasonable resolution as quickly as possible. Treating this situation with some urgency and sharing the goal of preserving the property would be the responsible course for the historic resource, of which the county shares stewardship by virtue of having protected it by ordinance. Having worked with the county for 40 years as consultants and advisors, we have always felt that the county valued historic preservation through the many historic resources surveys conducted, General Plan policy, and a strong review process, all of which are directed towards the protection of landmarks and potential landmarks. We hope the county will continue to serve this larger preservation goal by moving this project forward.

Regards,

Mitch Stone
Judy Triem

San Buenaventura Research Associates
historicrosources.com
888-535-1563

Batinica, Meighan

From: Robert P Moser
Sent: Tuesday, August 25, 2020 10:45 AM
To: Rosengren, Franca
Subject: Billiwhack ranch

Dear Ms. Rosengren, as residents of Aliso Canyon, my wife and I would like to urge you to give favorable consideration to the idea that Billiwhack Ranch should be saved and be allowed to use the historical preservation codes and ordinances. Over the decades that we have lived in Aliso Canyon the Billiwhack Ranch has been allowed to gradually deteriorate to the point that it was a nuisance to the neighborhood. With the new ownership of the last two years that has changed . The new owners have expended considerable assets in an effort to improve and restore the Billiwhack buildings and grounds in a thoughtful way, staying true to the historical nature of this unique property. As neighbors, we feel very fortunate to have an owner of Billiwhack Ranch who has the resources and the desire, to improve and restore the property. We believe that the owners of the Billiwhack Ranch have every intention of preserving and restoring the Billiwhack Ranch and that this process will result in a significant improvement to Aliso Canyon and to Ventura County. We urge you to give favorable consideration to our neighbor's plans to use the historical preservation codes and ordinances to continue this process.

Rob Moser & Lynn Braitman
3024 Aliso Canyon Road
Santa Paula, CA 93060
rpmoser@gmail.com

Batinica, Meighan

From: Brock Bookwalter <buckkeyecitrus@gmail.com>
Sent: Tuesday, August 25, 2020 4:42 PM
To: Rosengren, Franca
Subject: Billiwhack Ranch

Hello Franca,

I am reaching out to you regarding the work being done at Billiwhack Ranch. The Cortez family has gone above and beyond to preserve the historic buildings at Billiwhack, which actually borders my property. As a neighbor it's great to see them spend their time and money to try and salvage these incredible buildings. I can see their property from the south side of mine, and personally would love to have the view of the historic buildings, rehabbed and intact.

Sincerely,

Brock Bookwalter
2847 Aliso Canyon Rd.
Santa Paula, CA 93003

Batinica, Meighan

From: Laurel Braitman <laurel@laurelbraitman.com>
Sent: Tuesday, August 25, 2020 9:48 AM
To: Rosengren, Franca
Subject: Planning Appeal for Billiwhack Ranch

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Dear Ms Rosengren,

I'm writing in support of the Cortezs' efforts to use the historical preservation codes and ordinances to restore, improve and save Billiwhack Ranch. I have spent 42 years on Aliso Canyon--was born and raised here (at 3024 Aliso, a neighboring ranch) and now live here with my fiancé and the rest of our family. For decades, the disrepair and general neglect of Billiwhack has been a sadness for all of us who live here. We can see it from our property and it has been an eyesore. Now, for the first time in my life, there is a couple who are willing to take on the epic amount of work and expense and time the property requires to be brought back to its former glory, and they are meeting roadblock after roadblock. I am not an official spokesperson for residents of Aliso but I can tell you that we are all thrilled that a family with such vision, skill and heart has invested in our canyon and has the very specific tools and resources it will take to make that property what it should be. This is the stuff of good and strong local community--something post Thomas fire and in an uncertain world, we so badly need. I wholeheartedly support their efforts and believe that a CUP approval is not the correct path forward. Furthermore, I am a historian myself (and NYT best selling author) and I believe that they have done their due diligence in hiring the very same historians that the county hired in 1995, to evaluate their plans for restoration and improvement. These are precisely the sort of projects the county desperately needs to attract and keep healthy businesses and families, the kind that invest in our existing infrastructure.

If you have any questions, please feel free to reach out.

Warmly,

Dr. Laurel Braitman
202-549-0939

Laurel Braitman PhD

Author / *Writer-in-Residence* / Director, Writing and Storytelling
Medicine & the Muse, Stanford University School of Medicine



Batinica, Meighan

From: Cathy Lunquist <clunquist@gmail.com>
Sent: Wednesday, August 26, 2020 9:36 AM
To: Rosengren, Franca; tracy@racdb.com
Subject: Billiwhack Ranch

To Whom it May Concern,

I am a resident of Aliso Canyon Road and fully support the Cortez family in their efforts to restore and preserve the Billiwhack Ranch buildings.

My husband's family moved to Aliso Canyon in 1962. Through the years, I have heard so many wonderful stories about the kid's adventures of visiting the "Haunted Dairy" late at night and keeping their eyes open for the notorious ghosts. It has been sad to watch the Dairy decline through the 30 years that I have lived in the canyon.

I am so thrilled to know the new owners want to bring the Billiwhack Ranch back to its former glory and hope the County will grant them the permits needed to continue and complete this project and make the Billiwhack Ranch their full-time home.

Regards,

Cathy Lunquist
3536 Aliso Canyon Rd, Santa Paula, CA 93060
805-647-1870

Batinica, Meighan

From: vcranches@gmail.com
Sent: Wednesday, August 26, 2020 1:52 PM
To: Rosengren, Franca
Subject: Billiwhack Ranch Renovation Support

CAUTION: If this email looks suspicious, DO NOT click. Forward to Spam.Manager@ventura.org

Hello Franca,

I am a local farmer and ranchland Broker in Santa Paula. I live and farm on Foothill Road just east of Aliso Canyon. I have known the previous owners, the Held Family for over 30 years dating back to when Wally and Bud Held farmed the ranch. I was in the equipment business at the time and took care of some of their machinery. After their division and death, sadly the property started to decline. The buildings were never maintained well, and then the farm itself went downhill.

After years of marketing efforts, the remaining family finally sold the ranch to the current owners, the Cortez family. This was a match made in heaven. The Cortez's have a great respect and knowledge of history, as well as the technical ability to preserve it. You could not find a better owner to preserve Ventura County History. You know the rest of their story, so I will not repeat it here.

All they are asking is to be treated fairly by adhering to historical guidelines and codes. The request for a CUP is unreasonable as it is not a permanent solution and has conditions that make an investment of this scope very risky. You can see from the photos provided that the quality of their work is outstanding. They are true professionals and likely the best in the business at restoring vintage buildings.

Please allow them to move forward without restrictions and you will be pleasantly pleased at the results. The neighboring community and Ventura County will have another legacy property to be proud of.

Best Regards,

Scott



Scott Dunbar, Broker
Ranch, Land and Commercial Sales

RANCHO CAMULOS MUSEUM

NATIONAL HISTORIC LANDMARK

August 26, 2020

Franca Rosengren
Ventura County City Planner
Via email: Franca.Rosengren@ventura.org

Dear Ms. Rosengren:

My name is Susan Falck and I have served as the Executive Director of Rancho Camulos Museum for the past eight years. I am writing in support of the planning appeal submitted by Tracy Cortez, owner of the Billiwhack dairy property. Rancho Camulos Museum and its board of directors fully support the Cortez's efforts to save this unique and significant historical site using any reasonable means available. We feel strongly that the project should be considered from a historical perspective that would allow the Cortez's to deviate from the current ordinance where necessary to save this historical property. Whatever you and the county can do to assist the Cortez's in their efforts to reconstruct and rehabilitate this property would be greatly appreciated and we believe would be a win for the Ventura County community.

Rancho Camulos Museum shares a special bond with Billiwhack Dairy. August Rubel, who purchased Camulos in 1924, was also the founder of Billiwhack Dairy. Tracy has consulted with the museum to review some of the Billiwhack papers and holdings we have in our research library. She has also worked closely with historic preservationists Judy Triem and Mitch Stone to make sure the reconstruction plans are in keeping with the historical integrity of the Billiwhack property. Judy has served as a member of the Rancho Camulos Board for many years and has kept the board apprised of the Cortez's plans for the dairy. Our group is very excited and supportive of these plans.

Thank you for considering the endorsement by Rancho Camulos Museum, a National Historic Landmark, to move forward on the Billiwhack project. We look forward to seeing this project completed and support the Cortez's plans to make the historic site accessible to local history lovers.

Best regards,



Susan Falck, Ph.D.
Director, Rancho Camulos Museum
818-634-4470



County of Ventura
Board of Supervisors Hearing
Exhibit C - Appellant's Planning
Commission Powerpoint

Billiwhack Ranch Preservation Project

FINDINGS TO APPROVE

1. Assessor Records vs Project History
2. CHB Ordinance 4225
3. Vested Rights
4. State Law is not Silent regarding Historic preservation.

FINDINGS ONE

Assessor Records vs Project History

The Property History Book submitted to staff as part of our application containing the Assessor Records and a Property History Profile. It was the decision by staff to lend more deference to the Property History rather than the Assessor Records. The project was allowed to proceed by staff under that premise.

The Assessor Records are inconclusive and vague. Also, no records existed prior to 1956

The Property History Profile was and is more complete

Billiwhack Dairy

Billiwhack dairy began operation in 1934 and ceased operation in 1943

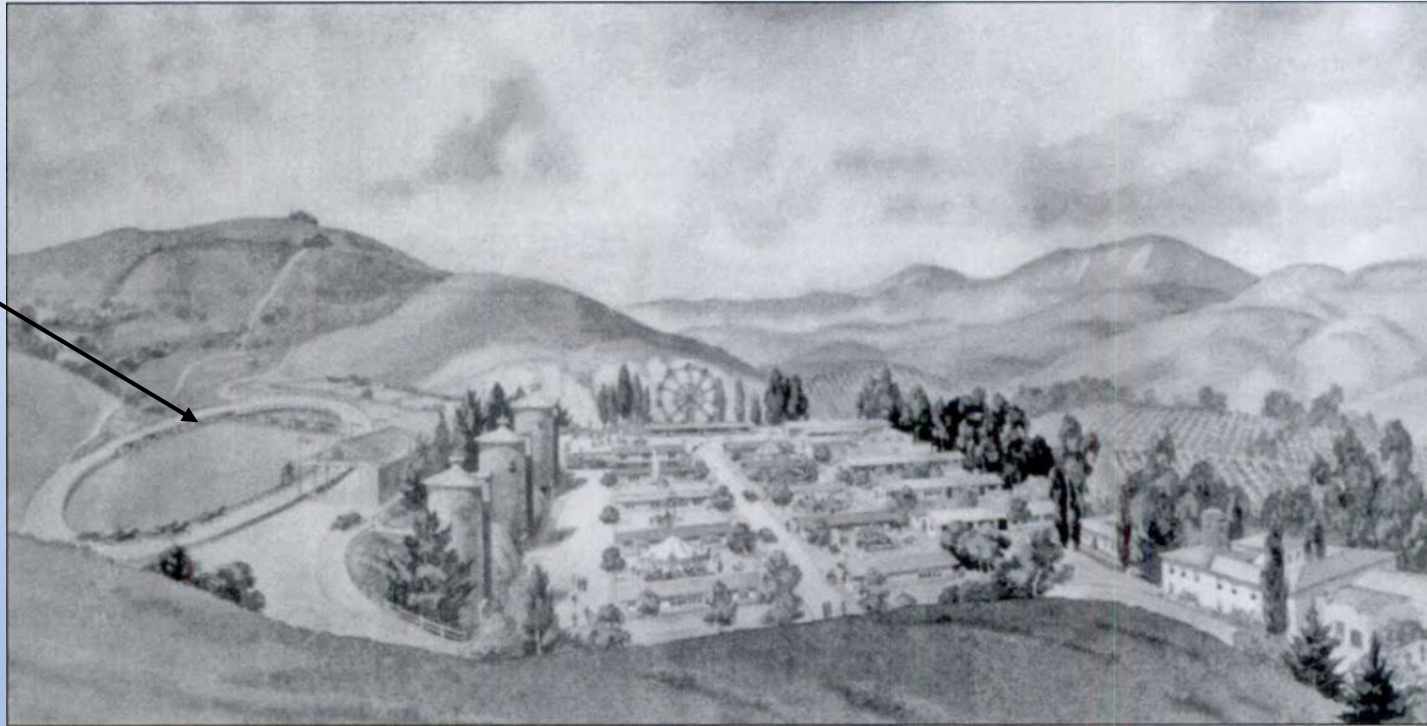


George Pezold

The dairy was then sold to George Pezold in 1943

George Pezold began construction of a Dude Ranch

Horse Track



DUDE RANCH DREAM, 1940s. George Pezold, owner of the Santa Paula Super Market, also owned all or part of the Billiwhack Ranch in nearby Aliso Canyon. Born in Brooklyn, he came west as a young man and fell in love with the Wild West. The ranch inspired him to create a Western-style fantasyland for others to share and enjoy. This is a rendering of his planned resort with mechanical rides and lodging set in the wide-open spaces. Unfortunately, ill health robbed him of his visionary dream.

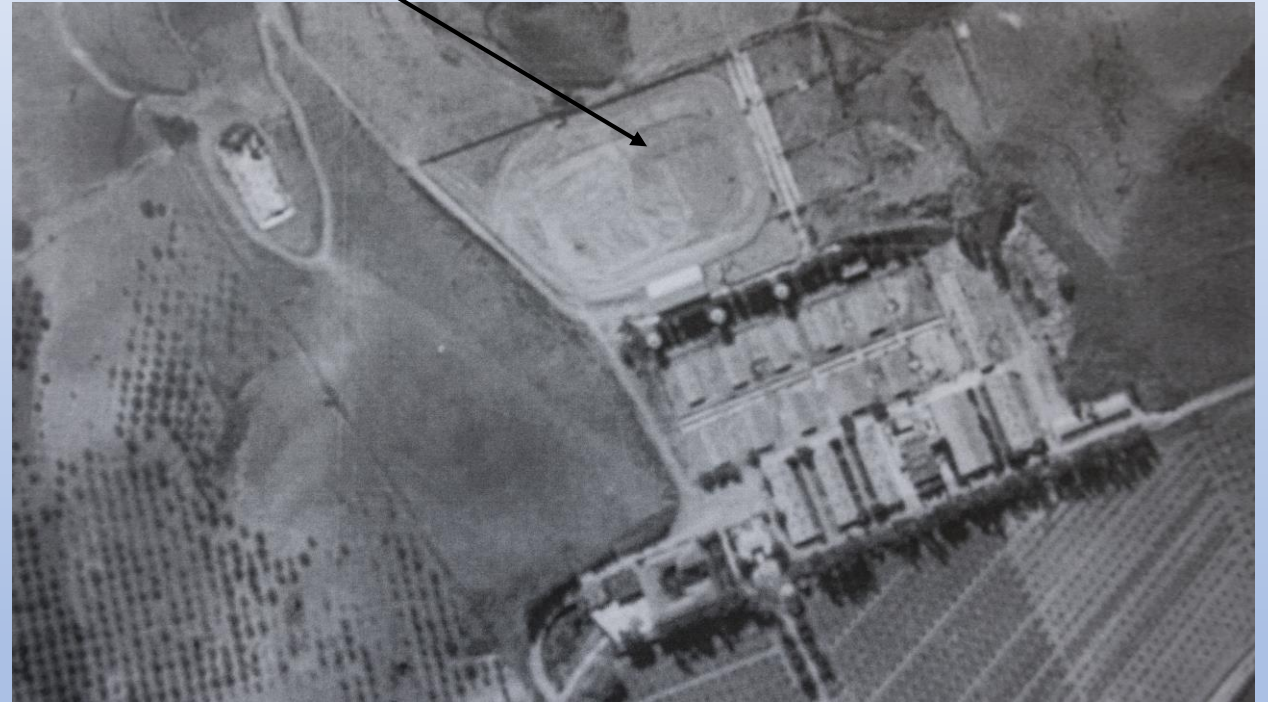
George Pezold

We know some construction of the Dude Ranch from aerial photographs

Horse Track



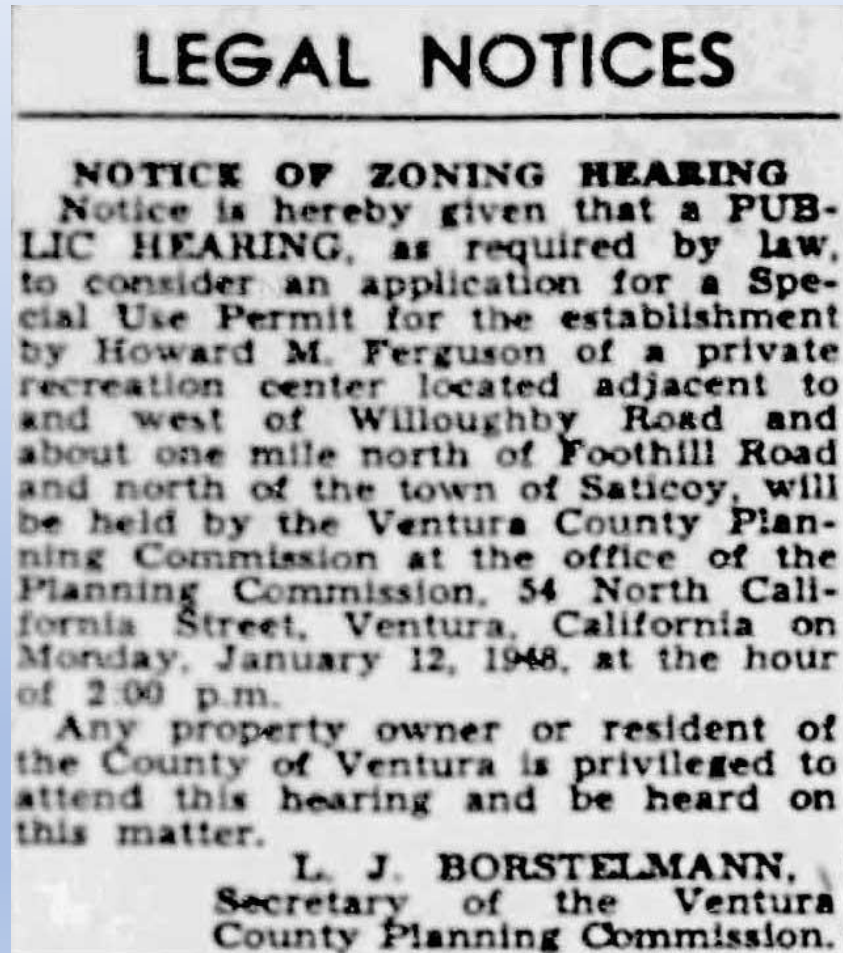
1945



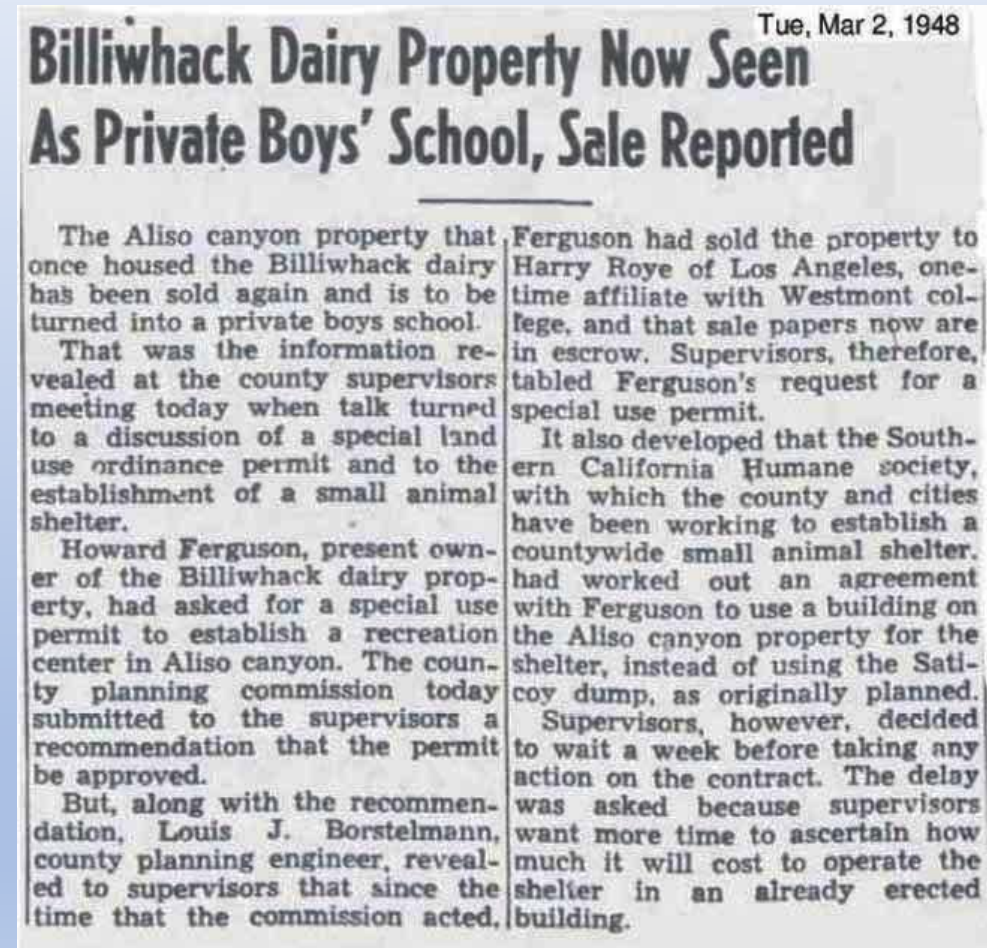
1946

Howard Ferguson

Howard Ferguson purchases property in 1946 and in 1948 and applies for a Special use Permit for a private recreation Center.



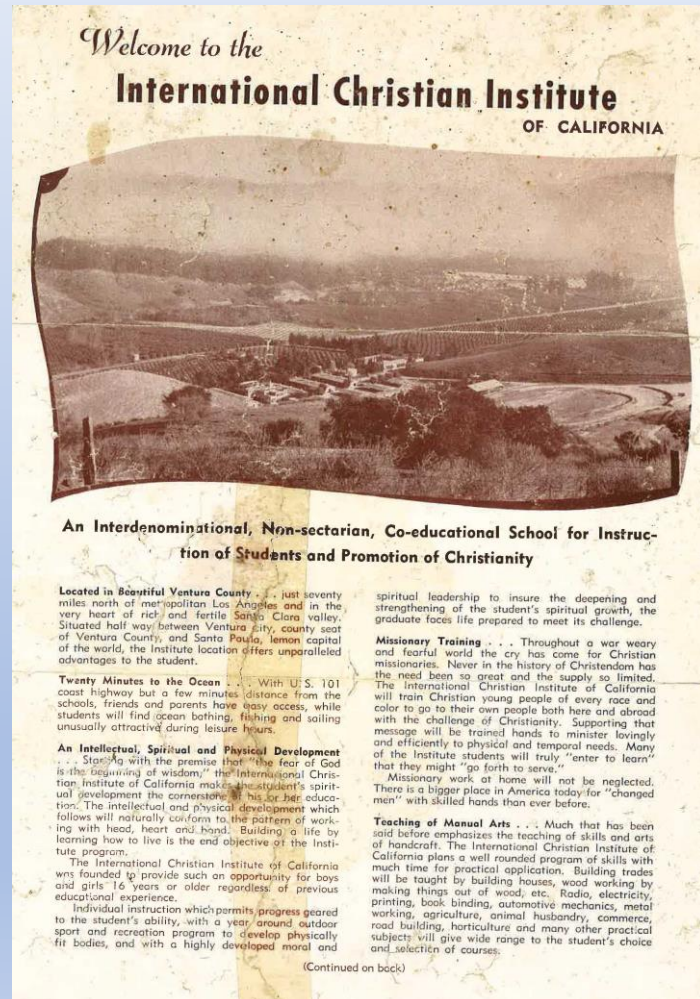
Planning Commission 02.12.1948



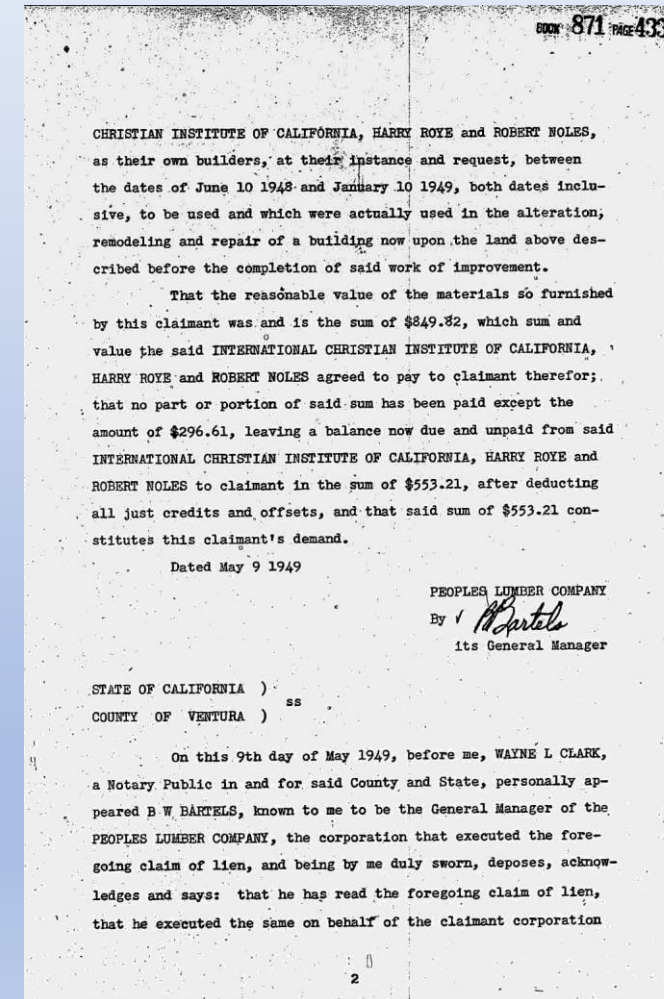
Board of Supervisors 03.22.1948

Harry Roye

Harry Roye purchases the property in May of 1948 and opens the Christian Institute and Retreat.



Christian Institute Pamphlet



Lumber Company Lien

Pacific Electronics

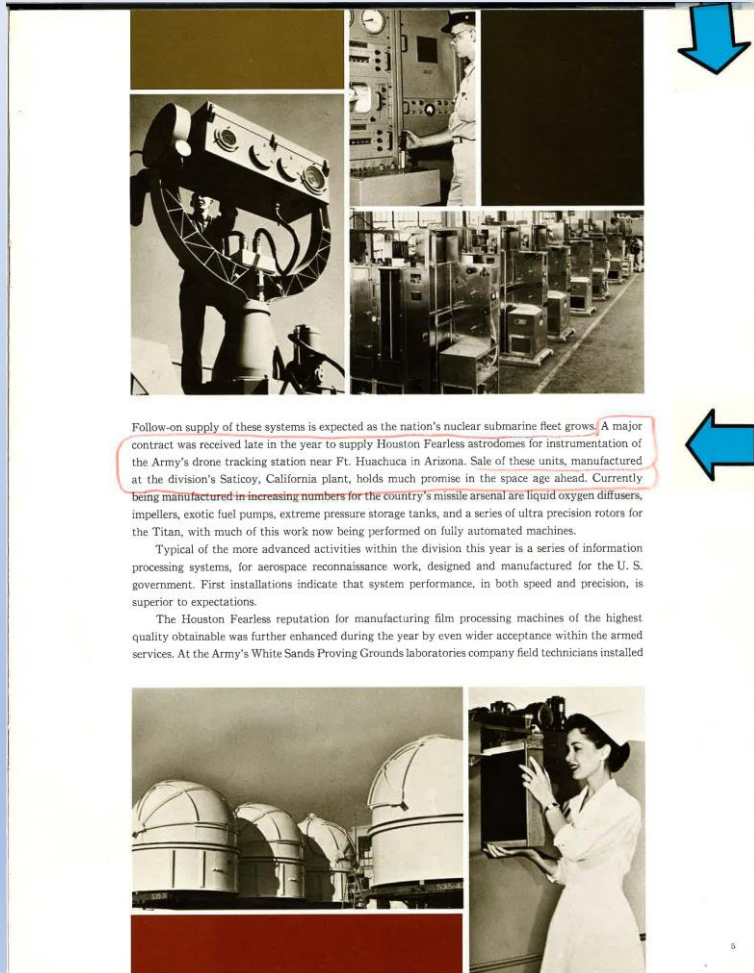
Pacific Electronics is awarded a 4 million dollar government contract and purchases the property in April 1954

A \$100,000 rebuilding program would transfer the Billiwhack Dairy Farm into Pacific Electronic Co., an electronic and tube manufacturing company which would employ more than 1,000 persons to fill \$4 million worth of military contracts. The new owner planned to complete a 50-room hotel, begun by the former dairy owner, to house key personnel. Also planned were a commissary, baseball diamond and tennis courts. The company spokesman noted that television sets would be manufactured after the defense contracts were filled.

As reported in Local Newspress

Houston Fearless, Corp.

Houston Fearless purchases the property in 1956 and continues manufacturing and development of military hardware.



Follow-on supply of these systems is expected as the nation's nuclear submarine fleet grows. A major contract was received late in the year to supply Houston Fearless astrodomes for instrumentation of the Army's drone tracking station near Ft. Huachuca in Arizona. Sale of these units, manufactured at the division's Saticoy, California plant, holds much promise in the space age ahead. Currently

Held Family

Held family purchases the property in 1969 and converts the 98 acre ranch into a citrus and avocado farm.



FINDINGS TWO

Cultural Heritage Ordinance 4225

Sec. 1366. Certificate of Appropriateness (COA): Certificates of Appropriateness shall be required for the following categories of sites only:

1. Landmark
2. Points of Interest
3. Demolition of Sites of Merit
4. Demolition of potential sites
5. Designated Cultural Heritage Sites seeking a Planned Development Permit pursuant to Section 8107-37 of the Ventura County Zoning Ordinance.

Certificates of Appropriateness (and as they may be conditioned) are authorizations issued by the Cultural Heritage Board, or support staff in accordance with criteria adopted by the Board, which indicate that the proposed maintenance, alteration, restoration, rehabilitation, remodeling, addition, change of use, demolition, relocation, or subdivision of a designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated Cultural Heritage Site.

Assigned CHB planner instructed the applicant that this is the ordinance that applies to our project. Along with the Secretary of the Interiors Guidelines.

Billiwhack Ranch Preservation Project

FINDINGS TWO

We are requesting that our project moves forward as submitted to the Cultural Heritage Board on 09.09.2019

Cultural Heritage Ordinance 4225

1. Section 1366-3 c. The Cultural Heritage Board or Staff shall approve a COA if **one** of the following findings can be made.
 - c. The denial of a Certificate of Appropriateness will deprive the owner of the property of **all reasonable use of or economic return on the property.**
2. Section 1366-8 mandates a Certificate of Appropriateness (COA) shall not be required 180 days after the denial of the COA. The day of that expiration was **March 7th 2020**

FINDINGS THREE

Vested Rights

Cultural Heritage Board Hearing One:

Project Cleared by both Planner and CHB planner as submitted with the exception of building H-2 existing caretaker building.

CHB Staff Report:

MAKE the required findings that the proposed project meets all applicable requirements of the County of Ventura Cultural Heritage Ordinance and the Secretary of Interior's Standards based on the substantial evidence presented in the staff report and the entire record.

Based on the preceding evidence and analysis, APPROVE a Certificate of Appropriateness for this project with the implementation of the staff recommended COA conditions A-D listed on Section II of the staff report

Billiwhack Ranch Preservation Project

FINDINGS THREE

Vested Rights

Cultural Heritage Board Hearing One:

CHB board and staff recommended that the applicant apply for a structural repair permit for building 4 main residence.

Certificate of Appropriateness was issued followed by a building permit for the repair

FINDINGS THREE

Vested Rights

Cultural Heritage Board Hearing One Structural Repair:



Before Repair of Building 4



After Repair and five (5) County building inspections
and \$750,00 invested in the repair

Billiwhack Ranch Preservation Project

FINDINGS FOUR

State Law is not Silent regarding Historic preservation:

The Constitution of the State of California, Article XI, Sections 4 and 5, state that **home rule** charter cities and counties may develop ordinances to govern local affairs. The constitution further states that ordinances passed by home rule charter cities and counties take precedence over conflicting state laws as to local affairs. State laws take precedence over home rule charter cities and counties ordinances as to matters that are **not local affairs**.

Home rule does not apply when the legislation is not silent.

Examples:

GOV_65852.2. Accessory Dwelling Units

Public Recourses Code California State Office of Historic Preservation

Part 2.7. State Historical Building Code [18950 - 18962]

California Environmental Quality Act

Billiwhack Ranch Preservation Project

FINDINGS FOUR

PUBLIC RESOURCES CODE

Section 5028

5028. (a) No structure that is listed on the National Register of Historic Places, on the California Register of Historic Places, **or on any local public register of historic places**, and that has been damaged due to a natural disaster, including, **but not limited** to, an earthquake, fire, or flood, may be demolished, destroyed, or significantly altered, **except for restoration to preserve** or enhance its historical values, unless the structure presents an imminent threat to the public of bodily harm or of damage to adjacent property, or unless the State Office of Historic Preservation determines, pursuant to subdivision (b), that the structure may be demolished, destroyed, or significantly altered.

PUBLIC RESOURCES CODE

Section 5020.7

5020.7. The Legislature recognizes that the long-term preservation and enhancement of historical resources is dependent, to a large extent, on the good will and cooperation of the general public and of the public and private owners of those resources.

Therefore, it is the intent of the Legislature that **public agencies**, including the commission and the office, shall endeavor to carry out their responsibilities under this article in a manner designed to elicit the cooperation of the owners of both identified and unidentified resources, to encourage the owners to perceive these resources as assets rather than liabilities, and to encourage the support of the general public for the preservation and enhancement of historical resources.

FINDINGS FOUR

Federal Law:

Under the National Historic Preservation Act (NHPA), the Secretary of the Interior is responsible for establishing professional standards and for providing guidance on the preservation of the nation's historic properties.

The standards address five treatments: **Rehabilitation Preservation Restoration Reconstruction New Use**

State Law:

HSC-18951. It is the purpose of this part to provide alternative regulations and standards for the **rehabilitation, preservation, restoration** (including related **reconstruction**), or relocation of qualified historical buildings or structures, as defined in Section 18955. These alternative standards and regulations are intended to facilitate the rehabilitation, restoration, or **change of occupancy** so as to preserve their original or restored architectural elements and features, to encourage energy conservation and a cost-effective approach to preservation, and to provide for the safety of the building occupants.

County Ordinance 4225

Certificate of Appropriateness. Ventura County Cultural Heritage Board or staff issued authorizations which indicate that the proposed subdivision, rezoning, maintenance, acquisition, stabilisation, **preservation, reconstruction**, protection, alteration, **restoration, rehabilitation**, remodeling, addition, **change of use**, demolition, relocation, change, remodeling or other project affecting a potential or designated Cultural Heritage Site will not adversely affect its cultural heritage values; or unduly compromise the eligibility of a potential site to become a designated one.

Purpose of Historic Preservation

Federal:

Historic preservation is the practice of protecting and preserving sites, structures, objects, landscapes, and other cultural resources of historical significance. Various federal, state, and local government programs, as well as privately funded activities, support historic preservation in the United States.

State:

The mission of the Office of Historic Preservation (OHP) and the State Historical Resources Commission (SHRC) is to provide leadership and promote the preservation of California's irreplaceable and diverse cultural heritage.

County Ordinance 4225

1361 - Purpose and Findings.

The purpose of this Ordinance is to promote the economic and general welfare of the County of Ventura by preserving and protecting public and private historic, cultural and natural resources which are of special historical or aesthetic character or interest, or relocating or recreating such resources where necessary for their preservation and for their use, education, and view by the general public. All such efforts are taken to make the citizens of this County, and visitors and tourists mindful of the rich historical, cultural, and natural heritage of the County.

FINDINGS FOUR

2019 Historical Building Code:

8-101.2 Purpose. The purpose of the CHBC is to provide regulations for the preservation, restoration, rehabilitation, relocation or reconstruction of buildings or properties designated as qualified historical buildings or properties (Chapter 8-2). The CHBC is intended to provide solutions for the preservation of qualified historical buildings or properties, to promote sustainability, to provide access for persons with disabilities, to provide a cost-effective approach to preservation, and to provide for the reasonable safety of the occupants or users. The CHBC requires enforcing agencies to accept solutions that are reasonably equivalent to the regular code (as defined in Chapter 8-2) when dealing with qualified historical buildings or properties.

8-101.3 Intent. The intent of the CHBC is to facilitate the preservation and continuing use of qualified historical buildings or properties while providing reasonable safety for the building occupants and access for persons with disabilities.

8-102.1.4 Continued use. Qualified historical buildings or properties may have their existing use or occupancy continued if such use or occupancy conformed to the code or to the standards of construction in effect at the time of construction, and such use or occupancy does not constitute a distinct hazard to life safety as defined in the CHBC.

8-302.2 Change in occupancy. The use or character of the occupancy of a qualified historical building or property may be changed from or returned to its historical use or character, provided the qualified historical building or property conforms to the requirements applicable to the new use or character of occupancy as set forth in the CHBC. Such change in occupancy shall not mandate conformance with new construction requirements as set forth in regular code.

FINDINGS FOUR

Sustainability

Federal:

The most sustainable building may be one that already exists. Thus, good preservation practice is often synonymous with sustainability.

State:

Building "recycling" is most efficient at conserving energy and resources. Older and historic buildings comprise more than half of the existing buildings in the United States. Retention and adaptive reuse of these buildings preserves materials and embodied energy already expended in procurement and construction.

County

Incorporating “green building” into a project means taking steps to create buildings that are safe and healthy for people and that protect our environment. While specific methods and products may vary from project to project in general, green building techniques seek to conserve natural resources, increase energy efficiency, and improve indoor air quality in all types of new construction.

Conclusion

NCZO provides no guaranteed path for preservation of an historic resource without the use of a Conditional Use Permit.

The county already has one discretionary review and that is the Cultural Heritage Board. One more level of discretionary approval does constitute historic preservation.

Historic Preservation vs NCZO

NCZO provides no guaranteed path for preservation of an historic resource without the use of a Conditional Use Permit.

CHB ordinance 4225 allows changes to the use without any mention of conditions other than conditions cited by the Cultural Heritage Board.

The NCZO is in direct violation of state law regarding the protection of historic resources. **PRC Section 5028**

Reconstruction

County Ordinance 4225

"Reconstruction" (treatment)—The act or process of reproducing through construction the exact form and detail of a vanished building, structure, or object, or any part thereof, as it appeared at a specified period of time.

Using the NCZO how could a vanished historic building ever be reconstructed without change of use?

How would any owner be motivated to replace a vanished building without benefit?

The Project as Approved 06/19

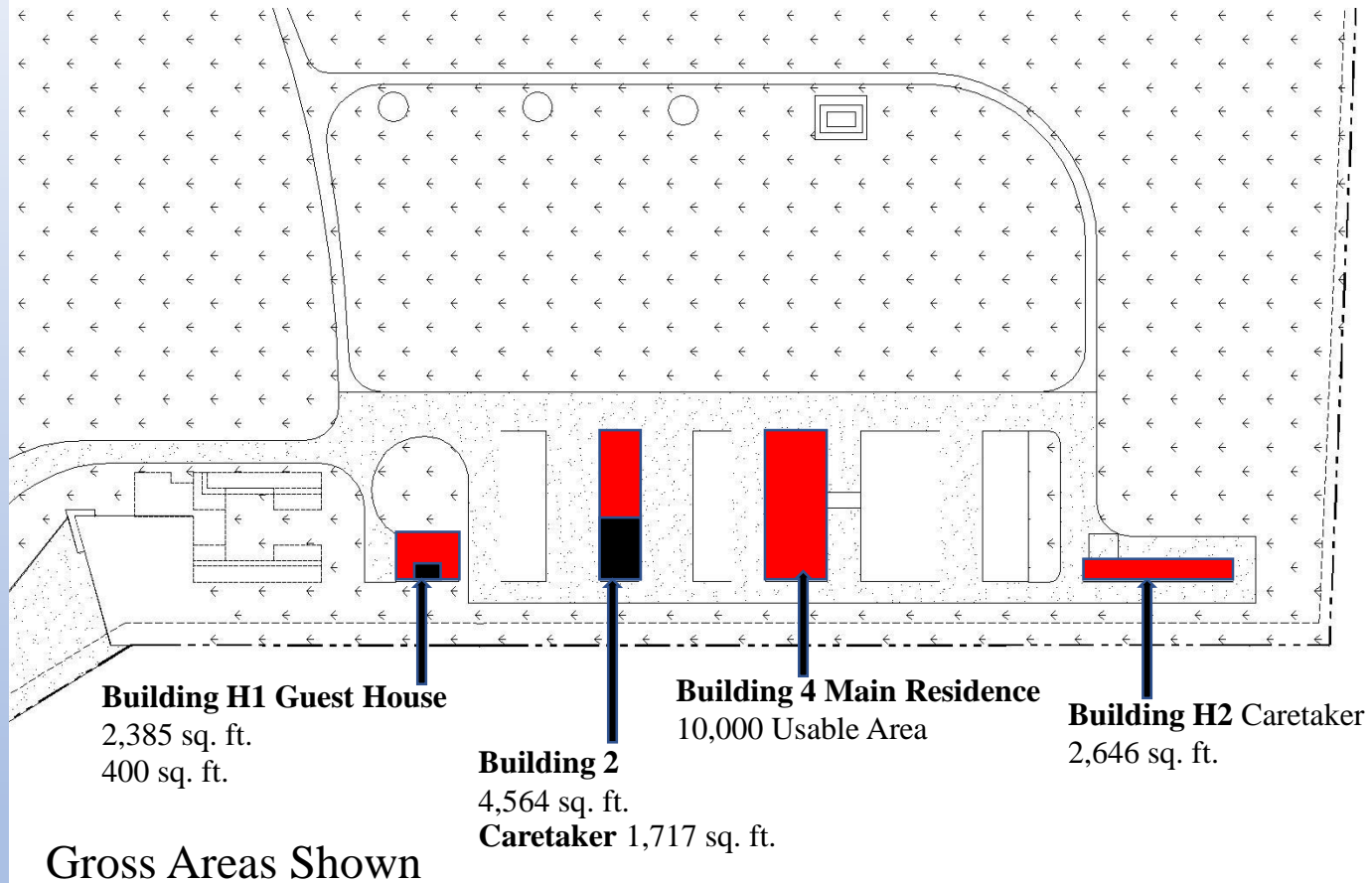
One Main Residence – Allowed Area = Unlimited – Proposed 9,500 sq. ft. Net

One Guest House – Allowed Area = 1,800 sq. ft. Net – Existing 2,200 sq. ft. Net

One Caretaker Residence per 40 acres under crop – Existing site 98 acres – Two Existing:

Building 2 Caretaker – Allowed Area = 1,800 sq. ft. Net – Existing 1,900 sq. ft. Net

Building H2 Caretaker – Allowed Area = 1,800 sq. ft. Net – Existing 2,400 sq. ft. Net



Enlarged Site Plan

Building 4



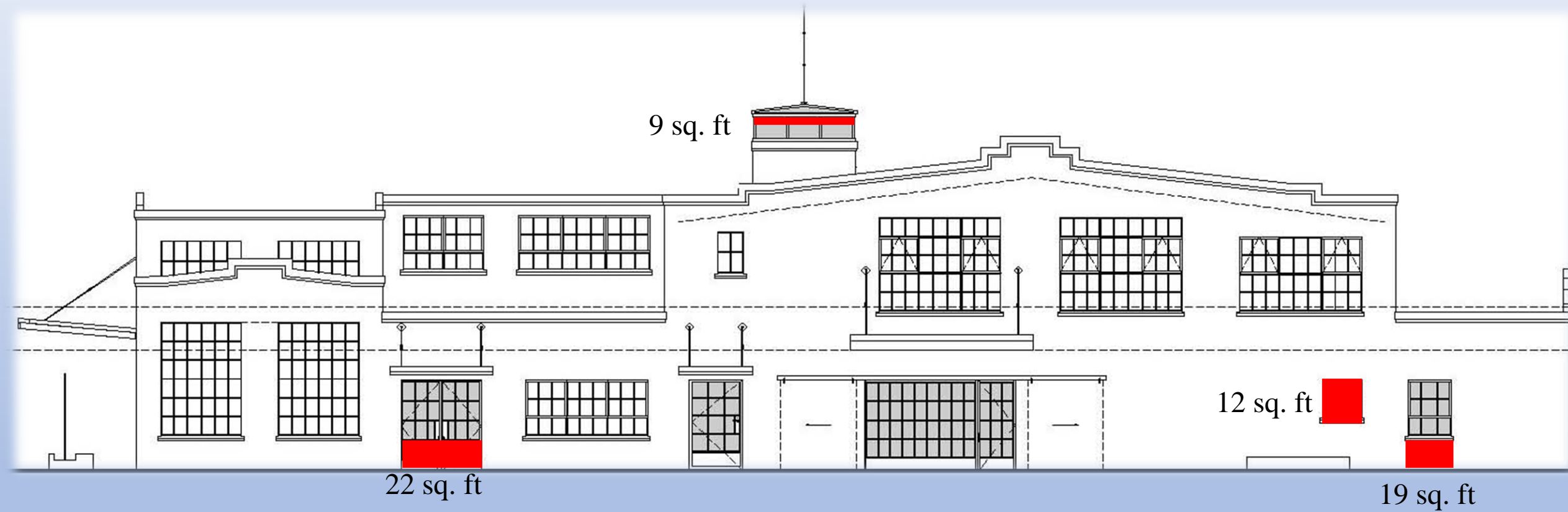
West Elevation

Building 4



East Elevation

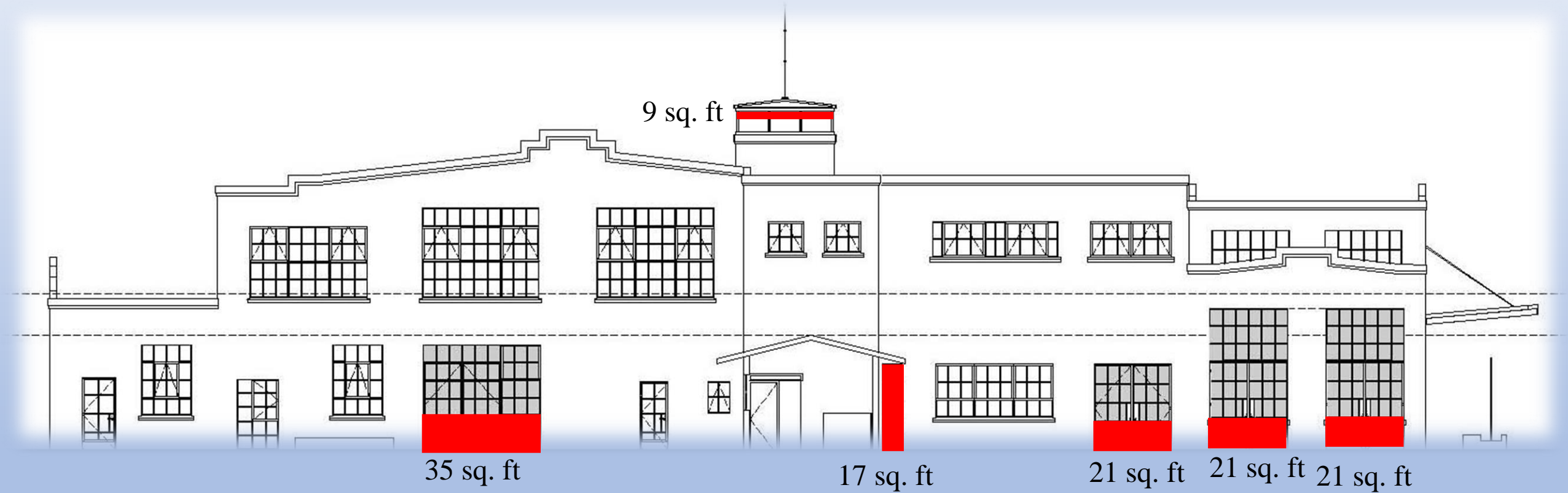
Building 4



South Elevation

Building 4

Fenestration Calculation
 $204/11,106 = \mathbf{1.8\%}$



North Elevation

Ventura County Ordinance

Ordinance 4225 is not Silent

Therefore the Non Coastal Ordinance (NCO) Division 8, Chapter 1 would not apply to listed historic sites

1. Section 8113-6.1.1 states if more than 50% of a building is removed the building loses the Use or Occupancy.
 - a. Even if the Owner would have applied for a building permit, more than 50% of the building was involuntarily damaged due to 70 plus years of deferred maintenance. Hence, no permit would have been issued. This section of the ordinance does allow continued use if the building was involuntarily damaged as in decayed wood caused by 70 years of deferred maintenance. The use of this language would be more appropriate and consistent with historic preservation and the Cultural Heritage Ordinance.
2. Section 8107-37.6 allows for reconstruction of Cultural Heritage Sites. Therefore, this section is more consistent with the Cultural Heritage Ordinance 4225.

Zoning Clearance is an Entitlement

Sec. 8111-1.1.1 - Zoning Clearance: Purpose Of

A Zoning Clearance certifies that a proposed use of land or structures, or construction or demolition of structures, is consistent with the provisions of this Chapter and any applicable conditions of any previously issued entitlement, and the use or structure may be inaugurated. Where no other Planning Division issued entitlement is required, a Zoning Clearance also serves as an entitlement granted for as long as the subject use or structure is in compliance with the applicable requirements of this Chapter. More than one Zoning Clearance may be required and issued for the same property and one Zoning Clearance may be issued for multiple purposes.

a. Zoning Clearance: Applicability Of - A Zoning Clearance is required prior to any of the following actions occurring. To be valid, it must specify for which of the following purposes it is being issued:

(4) Maintenance, alteration, demolition, improvement, reconstruction and the like of any Cultural Heritage Site enumerated in Sec. 8107-32.2; or any site which is potentially eligible to become a designated Cultural Heritage Site as described in the Ventura County Cultural Heritage Ordinance. A Certificate of Appropriateness issued pursuant to the Cultural Heritage Ordinance shall function as a Zoning Clearance for minor work done to a Cultural Heritage Site. Such work includes building exterior surface modifications, re-roofing, installation of new windows and the like for which a zoning clearance is not required for non-coastal cultural heritage sites.

Amortization in the VCNCO for Cultural Heritage sites

1. If the buildings on an historic recourse requiring amortization as in Section 8113-5.2 and at the end of 60 years the historic buildings are required to be into conformance unless it can meet 8113-5.4. What happens if the standards in section 8113-5.4 cannot be met? Is the building destroyed? This is the problem with conditions with regards to the preservation of historic resources. The Federal and State do not allow destruction of Indian remains because they are an important cultural resource protected by law, just like historic buildings.

Zoning Clearance

Sec. 8111-1.1.1 - Zoning Clearance: Purpose Of

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CHB Hearing 1

Transcript:

[Member Schafer]

The most important part of all of Judy's. 523 forms is this really boring one at the very end with no photographs. That is the district record. So I want to state on the record that I think everything is a district in the way that [inaudible] has told me. And the way I remember how to operate under a district is the district is the property. So we're not looking at any one building we are always looking at how it affects the district. It's definitely a district and my opinion is it's probably a national register eligible district and I think before any work is done if there is a condition or if conditions are to be put on this historic American building survey photography should be done because what I did was basically a quick record of what needs to be captured before it changes. I think. There's a lot of value showing it as is and putting that in the Library of Congress before it changes. And I think there can be varied changes that so I'm not opposed to that. I also can't imagine this doesn't need a discretionary permit at some point at the end of this and if it does the whole of the action becomes discretionary.

[Denise Thomas] Correct.

[Member Schafer] And it's so I think [inaudible].

CHB Hearing 1

Transcript:

[Denise Thomas]

So here's Denise Thomas planning in response to that comment. So essentially what they've done is they're coming in for a piece of an overall project. And the way that CEQA is interpreted is the whole of the action once a discretionary permit is required the whole of the action becomes important and you have to evaluate for environmental impact reasons the whole of the action. And right now they're in for a certificate of appropriateness. But if at the end of it say for instance some sort of discretionary permit is required a CUP or some sort of a permit that requires the planning director approval Planning Commission approval or for a supervisor approval then this is subject to CEQA. And then you will have to do a CEQA determination whether or not the impacts of what they want to do will adversely impact the resource. We seem to be in front of that because right now you're only getting a piece of it. They want a COA to do the interior remodel and to change out these doors and windows. If at the end of this it's determined that for them to have those caretaker units that they want or for them to be able to change the site they need some sort of a discretionary permit. Then it changes what your review is. And you could have approved the COA prior to doing any kind of CEQA analysis and so it's the cart. It could be construed as the cart before the horse. It's unclear at this stage what. Which one is going to come first because the owner could say I just want to do this renovation and stop. Well if they only want to do this renovation and stop you're only reviewing this is a COA. But if they want to do something more than this renovation like make those two caretaker units and they exceed what the ministerial limits are in our code then all of a sudden it's a different review for you. And so you do have the ability to place conditions on the COA. That's the good news. So in the event that a discretionary permit is required you know you could trigger your COA approval possibly. But at this stage what's in front of you right now is not a CEQA analysis it's a certificate of appropriateness for these renovations. And that's what you are charged with reviewing.

CHB Hearing 1

Transcript:

[Member Schafer]

So the second part of that is I'm saying. [inaudible] As well as I can't see them doing major structural repairs under the secretary of interior standards because they would require either the historic building code Or new code. New codes going to destroy more things that are there. Historic Building Code is only applicable To certified buildings. **So It's not certified.**

[Denise Thomas] No it's not.

[Member Schafer] So that means that, No bueno there.

Transcript:

[Denise Thomas]

You could condition it. If the applicant certification or being designated as a county landmark or national or state landmark is within the board's purview. And it's also the applicants choice. So the applicant can come voluntarily and say we want a landmark. This is a district. And then that could get them the historic building code would kick in. And this is a shameless plug but that's the topic that you're going to be discussing when we do our training our CLG training is going to be on this historic building code. They could do that and that would back them in. Could back them into the historic building code. They choose not to. The board has the ability to designate a district over the objections of the applicant as long as the applicant is given advance notice. We have never done that because we'd like to work with property owners as opposed to setting up an adversarial situation. But it is possible. So That's my input

CHB Ordinance

"State Historic Building Code". The State Historical Building Code is contained in Part 8 of Title 24 (State Building Standards Code) and applies to all qualified historical structures, districts, and sites designated under federal, state, or local authority. It provides alternatives to the Uniform Building Code in cases consistent with building regulations for the rehabilitation, preservation, restoration or relocation of qualified historic structures designated as historic buildings.

NONCONFORMITIES AND SUBSTANDARD LOTS

Sec. 8113-0 - Purpose

The purpose of this Article is to provide for the continuation, alteration, conversion or termination of certain classes of lawful, nonconforming uses and structures (other than signs and billboards) under certain conditions, and to regulate substandard lots. These provisions apply to uses and structures which deviate from the regulations of this Chapter.

Sec. 8113-10.3 - Where the Only Change is in the Type of Permit Required

If the adoption of this Chapter, or any amendment to this Chapter, results only in a requirement for a different permit for the same existing use or structure, the use or structure shall be governed by the following provisions:

c. Any change to a use or structure which requires a Planned Development Permit or a Conditional Use Permit, but would be exempt from CEQA, not have any adverse impact on adjacent land uses, and would not conflict with the findings otherwise required pursuant to Sections 8111-1.2.1.1 through 1.2.1.6, may be acted upon by the Planning Director or designee through a Zoning Clearance. Such changes may include, but are not limited to the following:

- (1) A change in use where the new use requires the same or lesser type of permit as the existing use, provided that any resulting increase in parking space requirements will be accommodated on-site or off-site as described in Section 8108-3.3.1.
- (4) Internal remodeling or minor architectural changes or embellishments involving no change in basic architectural style.

Building 4



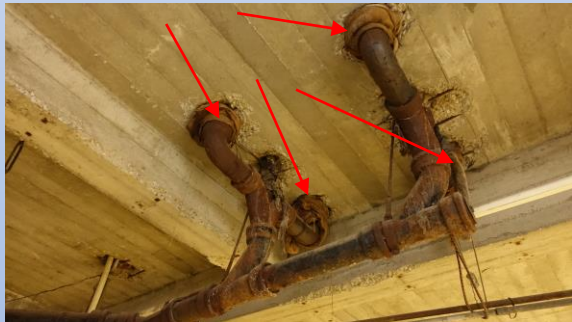
Bedroom



Kitchen



Living



Assessor Records 1956

Building 4

Billiwhack Ranch Preservation Project