

BILLIWHACK RANCH RENOVATION

PROJECT NOTES

- DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWING.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR ALL PLANNING/ZONING AND BUILDING PERMIT FEES.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE JURISDICTION BUILDING CODE, A.S.T.M. SPECIFICATIONS, AND ALL OTHER APPLICABLE REQUIREMENTS, ORDINANCES AND REGULATIONS. WHERE CONFLICTS BETWEEN BUILDING CODES AND SPECIFICATIONS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
- THE CONTRACTORS SHALL ARRANGE FOR ALL TESTING AND INSPECTION REQUIRED BY APPLICABLE CODES, ORDINANCES AND DIRECTIVES OF THE GOVERNING BUILDING OFFICIAL. THE OWNER WILL PAY ALL COSTS FOR SUCH TESTING AND INSPECTIONS IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN TESTS AND INSPECTIONS INDICATE NON-CONFORMANCE.
- THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFIED THEREIN.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS DISCOVERED WHILE BIDDING AND CLARIFICATION SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.
- THE CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE UNLESS NOTED OR SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.
- APPLICABLE TRADES SHALL USE A COMMON DATUM WALL TO BE DESIGNATED BY THE CONSTRUCTION SUPERVISOR FOR ALL CRITICAL MEASUREMENTS.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- MATERIAL AND PAINT COLORS TO BE SELECTED BY ARCHITECT PRIOR TO FABRICATION.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. WHERE UTILITIES ARE ENCOUNTERED OTHER THAN THOSE KNOWN AND SHOWN, IMMEDIATELY NOTIFY THE OWNER, AND ENTER INTO NEGOTIATION FOR THE PERFORMANCE OF THE REQUIRED WORK, WHICH SHALL BE OVER AND ABOVE THE AMOUNT OF THE BID PROPOSAL. ANY REQUIRED REROUTING OF EXISTING UTILITY SERVICE SHALL BE APPROVED BY THE LOCAL UTILITY COMPANY PRIOR TO COMMENCING THAT WORK.
- EXAMINE THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF THE EXISTING ELEMENTS TO REMAIN. WHERE QUESTIONS OR DISCREPANCIES ARISE, CONSULT THE ARCHITECT ABOUT THE EXTENT AND/OR INTENT OF THE REQUIRED DIRECTION BEFORE COMMENCING WORK.
- ALL DIMENSIONS ARE TO FACE OF PLYWOOD, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.
- UNLESS OTHERWISE SPECIFIED HEREIN, THE CONTRACTORS, UPON COMPLETION OF THE ENTIRE WORK DESCRIBED IN THE CONTRACT, SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE STATING THAT ALL WORK PERFORMED AS PART OF THE CONTRACT IS FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, AND THAT DURING SAID ONE YEAR PERIOD, ALL DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE REPAIRED AND/OR REPLACED IN PLACE INCLUDING ANY WORK OF OTHERS WHICH HAS BEEN DAMAGED BY SUCH DEFECTIVE WORKMANSHIP AND/OR MATERIALS AND BY THE REPAIR AND/OR REPLACEMENT OF SUCH WORKMANSHIP AND/OR MATERIALS, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND RUBBISH RESULTING FROM THEIR PORTION OF THE WORK SPECIFIED HEREIN AND DEPOSIT IT IN AN ON-SITE CONTAINER, PROVIDED BY THE CONTRACTOR, WHEREVER EXISTING WORK IS DAMAGED BY REMOVAL OF ADJACENT WORK OR ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIALS TO MATCH EXISTING AS APPROVED BY THE ARCHITECT.
- DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT.
- EACH CONTRACTOR SHALL MAINTAIN GENERAL LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT WITH MINIMUM BODILY INJURY LIMITS OF \$500,000 FOR EACH PERSON AND \$500,000 FOR EACH ACCIDENT MAINTAIN PROPERTY DAMAGE INSURANCE MINIMUM LIMITS OF \$500,000 FOR EACH ACCIDENT. THE OWNER SHALL BE NAMED AS ADDITIONAL INSURED AS RESPECTS LIABILITY INSURANCE. EACH CONTRACTOR SHALL MAINTAIN WORKER'S COMPENSATION INSURANCE IN FULL COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND ANY AMENDMENTS THEREIN. THE OWNER SHALL PROVIDE FIRE AND VANDALISM INSURANCE AT HIS OWN EXPENSE. THE GENERAL CONTRACTOR AND FRAMING CONTRACTOR SHALL BE NAMED AS ADDITIONAL INSURED AS RESPECTS THE INSURANCE POLICY.
- ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.
- CONTRACTOR IS TO PROVIDE (3) THREE COPIES OF SHOP DRAWINGS FOR ALL WOODWORK, COUNTERTOPS, CABINETS, SPECIALTIES, AND METALWORK AND ALL MECHANICAL AND ELECTRICAL LAYOUTS AND DETAILS FOR ARCHITECT'S APPROVAL.
- SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ALLOWED ONLY IF SUCH ITEMS ARE SUBMITTED TO THE ARCHITECT IN A TIMELY MANNER IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN WRITING. ALL SUBSTITUTIONS MUST BE AT LEAST OF EQUAL QUALITY, DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION OF ANY ITEM FOR THIS PROJECT. ALL REQUESTS FOR SUBSTITUTIONS SHALL INCLUDE THE PROJECT NAME, DESCRIPTION OF THE ITEM, REASON FOR SUBSTITUTION AND COMPLETE SPECIFICATIONS AND DRAWINGS AS REQUIRED FOR COMPARABLE ITEMS. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY REQUEST.
- CATALOG CUTS OF ALL LIGHT FIXTURES, ACCESSORIES AND EQUIPMENT REQUIRED SHALL BE SUBMITTED IN TRIPLICATE TO THE ARCHITECT FOR APPROVAL.
- TAKE PRECAUTION TO PROVIDE NECESSARY BARRICADES AND/OR SHORING DURING THE COURSE OF DEMOLITION. IF AT ANY TIME THE SAFETY OF THE ADJACENT STRUCTURE OR PERSONNEL WOULD APPEAR TO BE ENDANGERED, CEASE OPERATION AND NOTIFY OWNER. DO NOT RESUME OPERATION UNTIL SAFE CONDITIONS HAVE BEEN REESTABLISHED AND PERMISSION BY THE OWNER HAS BEEN GRANTED TO RESUME OPERATION.
- ALL ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL WORKS SHALL CONFORM TO THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.
- ALL ADJUNCTIVE DOCUMENTATION IS CONSIDERED A PART OF THIS DOCUMENT.
- REFER TO ADDITIONAL GENERAL AND SPECIFIC NOTES CONTAINED IN THE VARIOUS CONSULTANT SECTIONS OF THESE DRAWINGS.
- CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL FOR LOADING SPACES, CONSTRUCTION SHEDS, BUILDING MATERIALS STORAGE AND EQUIPMENT ON SITE.

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- A-9 BUILDING 2 PROPOSED FLOOR PLANS & ELEVATIONS

PROJECT TEAM

DESIGN CONSULTANTS: EVERETT WOODY AND GIL GARCIA
122 E. ARRELLAGA STREET
SANTA BARBARA, CA. 93101
805 452 2999

GEOTECHNICAL ENGINEER: MARK WORKMAN
WORKMAN ENGINEERING
P.O. BOX 391, OJAI, CA. 93024
805 302 9381

STRUCTURAL ENGINEER: JOHN OELTMAN
3025 LONG VALLEY ROAD
SANTA YNEZ CA 93460
805 688-6677

ELECTRICAL ENGINEER: JOHN MELONEY
156 WEST ALAMAR AVENUE, SUITE B
SANTA BARBARA CA 93105
(805) 569-9216

MECHANICAL ENGINEER: JOHN GRINSDALE, A G MECHANICAL ENGINEERS
629 STATE STREET
SANTA BARBARA CA 93101
(805) 966-0844

GENERAL CONTRACTOR: N.M. CONSTRUCTION
NATE WHITSON
804 STERLING HILLS DR., CAMARILLO, CA. 93003
805 479 7405

PROJECT DATA

OWNER:
BILLIWHACK RANCH, LLC
3048 N COOLIDGE AVENUE
LOS ANGELES, CA 90039
PHONE 213-308-0015

APN 064-0-130-125 AND 064-0-130-145
ZONE AE-40
SITE AREA 97.73 ACRES
GENERAL PLAN DESIGNATION AGRICULTURE
HIGH FIRE AREA YES
MAXIMUM BUILDING HEIGHT 35'-0" PRINCIPAL IF SETBACK AT LEAST 15' FROM ALL SIDES, 25'-0" ALL OTHERS

FRONT YARD SETBACK 20'-0" FROM PROPERTY LINE
REAR YARD SETBACK 15'-0"
SIDE YARD SETBACK 10'-0"

SCOPE OF WORK

BUILDING 4: AFTER THE FACT DEMO PERMIT FOR REMOVAL OF INTERIOR WALLS, REMOVAL OF PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS AS NOTED IN THE NOTICE OF VIOLATION, TO PARTIALLY ABATE CV22-0472. AND INCLUDING REMOVAL OF CANOPY ON SOUTHWEST FACADE, AND REPLACEMENT OF ANY MISSING OR DAMAGED PANES OF GLASS AT SOUTHWEST END OF STRUCTURE AS NOTED ON PLANS AND ELEVATIONS. NO WORK TO BE PERFORMED IN BASEMENT, ALL WORK ON GROUND AND SECOND FLOOR AS OUTLINED ABOVE AND ON DRAWINGS.

BUILDING 2: CONVERT 1,800 SF OF AN EXISTING 4,564 SQUARE FOOT AGRICULTURAL BUILDING TO A FARM WORKER DWELLING UNIT. THE REMAINDER OF THE BUILDING (2,764 SF) WILL BE AGRICULTURAL STORAGE. INTERIOR AND EXTERIOR REMODEL CONSISTS OF ADDING AN INTERIOR WALL TO SEPARATE FARM WORKER DWELLING FROM AGRICULTURAL USAGES TO PARTIALLY ABATE CV22-0472.

INSTALL FENCE TO ENCLOSE EXISTING, HISTORIC, NON-FUNCTIONAL POOL AND DORMITORY FOUNDATION TO PARTIALLY ABATE CV22-0472. NOT VISIBLE FROM PUBLIC RIGHT OF WAY.

BUILDING H2: AFTER THE FACT DEMOLISH WALLS AND FLOOR OF AN EXISTING, HISTORIC, 2,646 SQUARE FOOT, FIVE (5) BEDROOM RESIDENCE TO PARTIALLY ABATE CV22-0472. YEAR BUILT CIRCA 1926. THIS PROJECT IS NOT PART OF CURRENT REQUEST. TO BE RESOLVED BY A SEPARATE PERMIT.

EXISTING & PROPOSED BUILDING USES & FLOOR AREAS

BLDG. NO.	EXISTING USE	PROPOSED USE	FOOTPRINT SF	GROSS FLOOR SF	DEMO/ALTERED SF	ADDITION SF	NET SF	REQ'D PARKING SPACES
1A	STORAGE & MAINTENANCE BLDG.	NO CHANGE	9,985	9,510	0	0	9,510	-
H1	PRINCIPAL DWELLING	NO CHANGE	2,370	2,185	0	0	2,185	2
1	AGRICULTURAL BARN	NO CHANGE	5,341	5,115	0	0	5,115	-
2	AGRICULTURAL BARN	CONVERT TO A FARM WORKER DWELLING -1,800 SF AND AG STORAGE REMAINING 2,764 SF	4,564	4,151	25	0	4,564	2
3	EQUIPMENT STORAGE BLDG.	NO CHANGE	4,564	4,356	0	0	4,356	-
4	TWO STORY AG STRUCTURE	NO CHANGE	7,612	17,310	153	0	17,310	-
5	RANCH MAINTENANCE BLDG.	NO CHANGE	9,291	9,090	0	0	9,090	-
6	RANCH EQUIPMENT STORAGE BLDG.	NO CHANGE	5,356	5,137	0	0	5,137	-
H2	DEMOLISH WALL/FLOORS OF CARETAKER UNIT	TO BE RESOLVED BY SEPARATE PERMIT	2,613	2,472	0	0	2,472	-
	HAMMER MILL BARN	NO CHANGE	1,448	1,346	0	0	1,346	-
	THREE GRAIN SILOS	NO CHANGE	543 EACH	488 EACH	0	0	488 EACH	-
TOTALS			54,773	62,136	178	0	62,136	4

SITE STATISTICS

TOTAL BUILDING COVERAGE 54,773 SQUARE FEET
PERMEABLE GRAVEL DRIVEWAY 1,264,621 SQUARE FEET
AREA UNDER CROP 2,859,192 SQUARE FEET OR 65 ACRES
TOTAL SITE AREA 4,257,119 SQUARE FEET OR 97.73 ACRES
* NO CHANGES TO IMPERVIOUS OR PERMEABLE SQUARE FOOTAGE.

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE 54,773 SQUARE FOOT GROSS
TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.73 ACRES
BUILDING AREA 54,773/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED.

CODE INFORMATION

BUILDING TYPE R-3
CONSTRUCTION TYPE TYPE V
ROOF TYPE CLASS 'A'
BUILDING HEIGHT 35'-0" MAX PRINCIPAL IF SETBACK AT LEAST 15' FROM ALL SIDES, 25'-0" ALL OTHERS
BUILDING SQUARE FOOTAGE 5% MAX
THIS PROJECT WILL COMPLY WITH
CBC 2016
CBC 2016 CALIFORNIA RESIDENTIAL CODE
CHBC 2016 CALIFORNIA HISTORICAL BUILDING CODE
CGBC GREEN CODE
CALIFORNIA ENERGY CODE 2013
CMC 2016
CPC 2016
CEC 2013
CFC 2016
VENTURA COUNTY NON-COASTAL ZONING ORDINANCE (NZCO)

VICINITY MAP



Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 452 2999



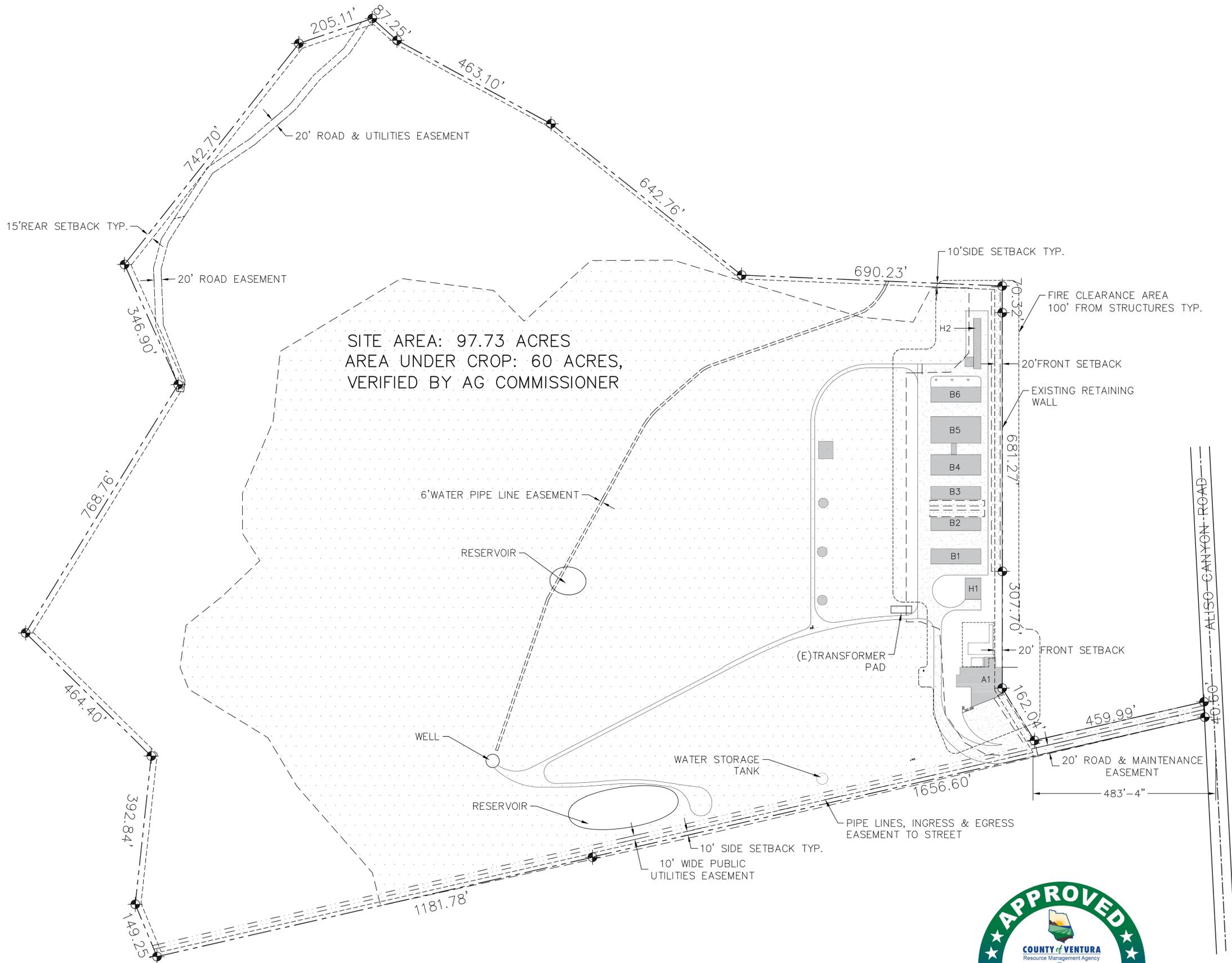
DATE	NO.	REVISION
04/17/2023		ZONING CORRECTIONS
04/17/2023		

APN: 064-0-130-125 AND 064-0-130-145

BILLIWHACK RANCH
2275 ALSO CANYON ROAD
SANTA PAULA, CA 93060
BILLIWHACK RANCH RENOVATION

SHEET CONTENTS
PROJECT INFORMATION AND INDEX

DRAWN	CHECKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO.	2275
DATE	03.21.2023
SHEET NUMBER	A-1



SITE AREA: 97.73 ACRES
 AREA UNDER CROP: 60 ACRES,
 VERIFIED BY AG COMMISSIONER

SITE PLAN
 1"=100'



NO.	REVISION	DATE
1	ISSUING PERIOD	03/21/2023
2	ISSUING PERIOD	04/17/2023
3	ISSUING PERIOD	04/17/2023
4	ISSUING PERIOD	04/17/2023
5	ISSUING PERIOD	04/17/2023

APN: 064-0-130-125 AND 064-0-130-145

BILLWHACK RANCH
 2275 ALISO CANYON ROAD
 SANTA BARBARA, CA 93060
 BILLWHACK RANCH RENOVATION

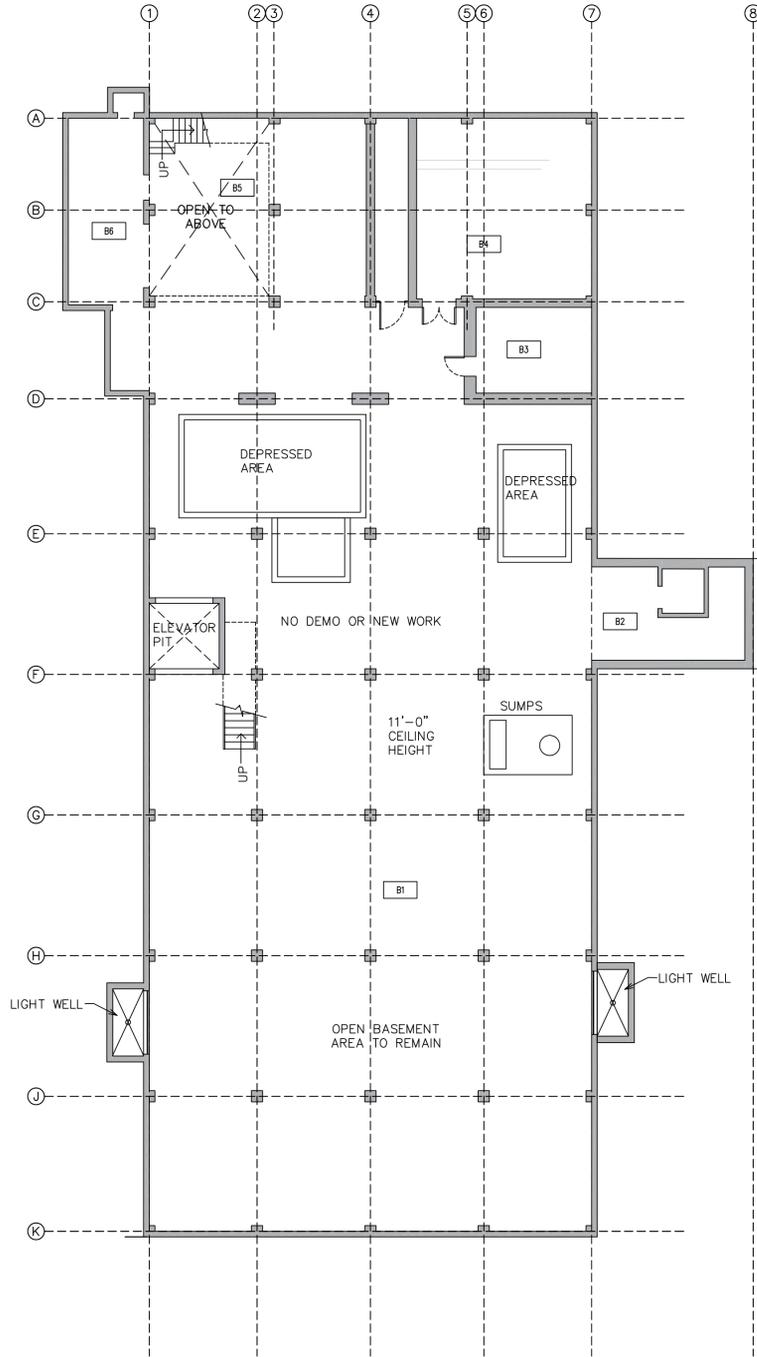
DRWN	CHEKED
PROPERTY NO.	-
DEVELOPMENT NO.	-
PROJECT NO.	2275
DATE	03.21.2023
SHEET NUMBER	A-2



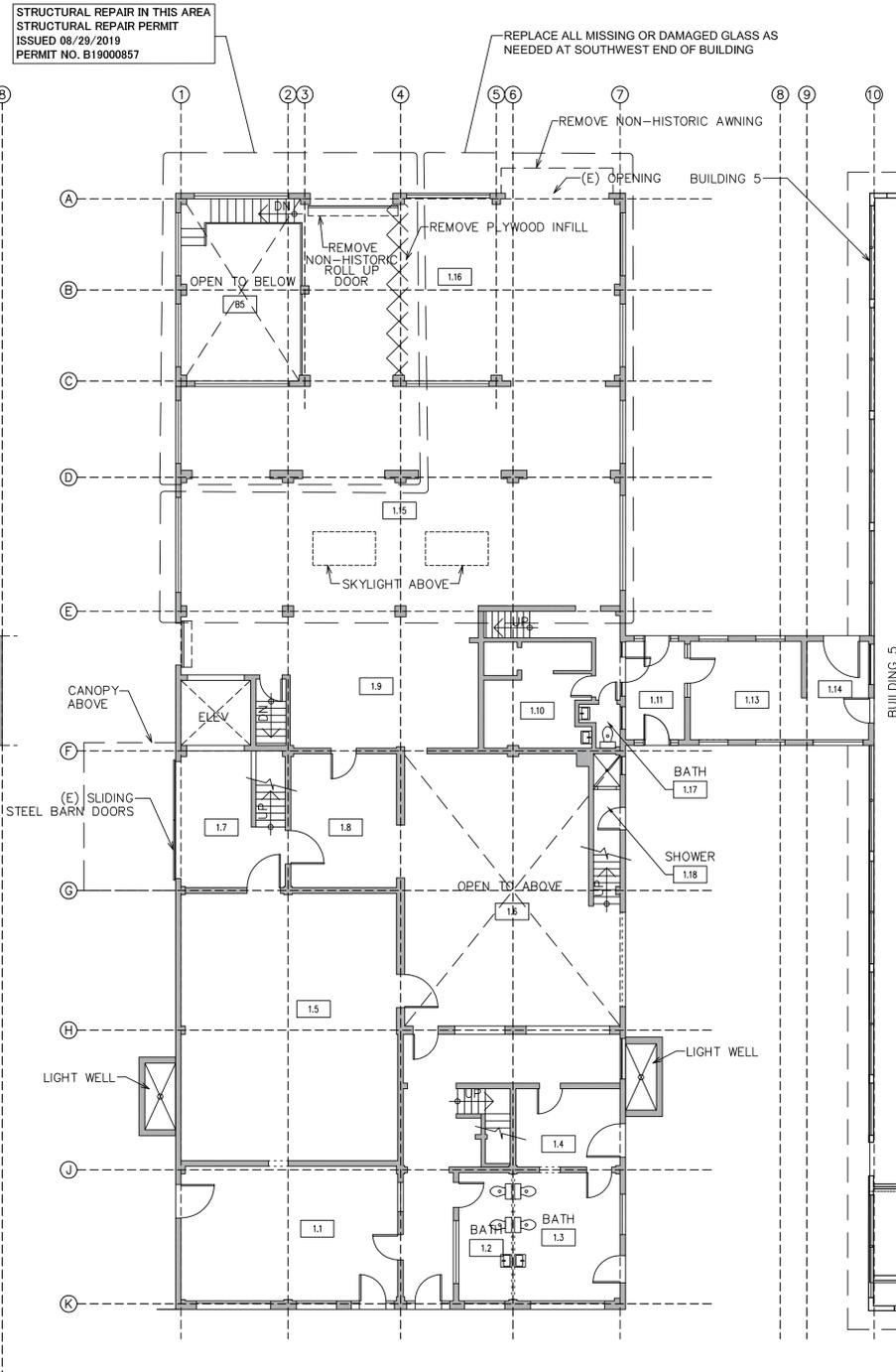
FLOOR PLAN LEGEND	
	NEW WALLS
	DEMO
	(E) WOOD FRAMED WALLS
	CONCRETE WALLS

SCOPE OF WORK	
BUILDING 4: AFTER THE FACT DEMO PERMIT FOR REMOVAL OF INTERIOR WALLS, REMOVAL OF PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS AS NOTED IN THE NOTICE OF VIOLATION, TO PARTIALLY ABATE CV22-0472. AND INCLUDING REMOVAL OF CANOPY ON SOUTHWEST FACADE, AND REPLACEMENT OF ANY MISSING OR DAMAGED PANES OF GLASS AT SOUTHWEST END OF STRUCTURE AS NOTED ON PLANS AND ELEVATIONS. NO WORK TO BE PERFORMED IN BASEMENT, ALL WORK ON GROUND AND SECOND FLOOR AS OUTLINED ABOVE AND ON DRAWINGS.	
NO ALTERATION TO SF	
EXISTING SF	= 17,310 SF
DEMO/ALTERED SF	= 153 SF
NET SF	= 17,310 SF

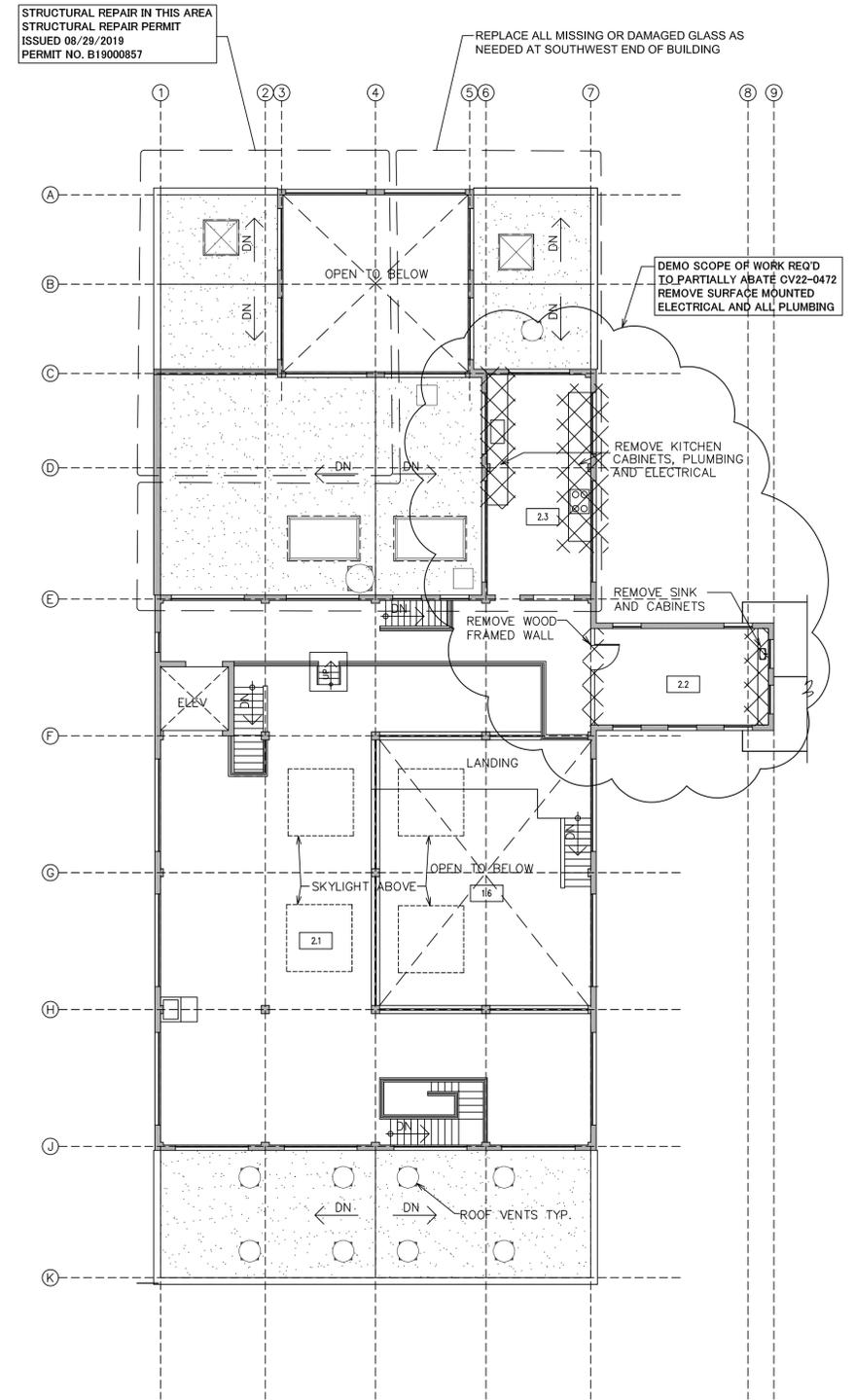
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 805 452 2999



EXISTING BASEMENT FLOOR PLAN AND DEMO PLAN
 1/8"=1'-0"



EXISTING GROUND LEVEL FLOOR PLAN AND DEMO PLAN
 1/8"=1'-0"



EXISTING 2ND LEVEL FLOOR PLAN AND DEMO PLAN
 1/8"=1'-0"

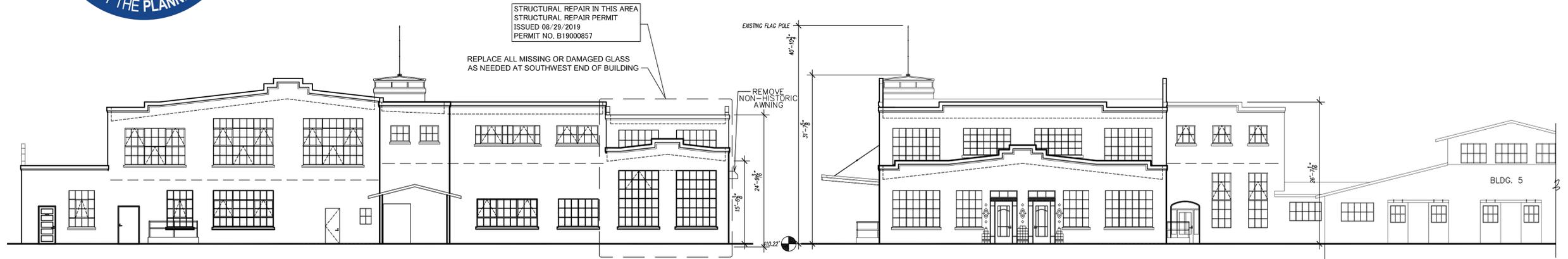
NO.	REVISION	DATE
1	ISSUE FOR PERMIT	03/27/2023
2	ZONING CORRECTIONS	04/17/2023

A.P.N.: 064-0-130-125 AND 064-0-130-145

SHEET CONTENTS:
 BUILDING 4
 EXISTING FLOOR PLANS
 DEMO SCOPE

DRAWN	CHECKED

PROPERTY NO.
 DEVELOPMENT NO.
 PROJECT NO. 2275
 DATE 03.21.2023
 SHEET NUMBER A-4



② EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"

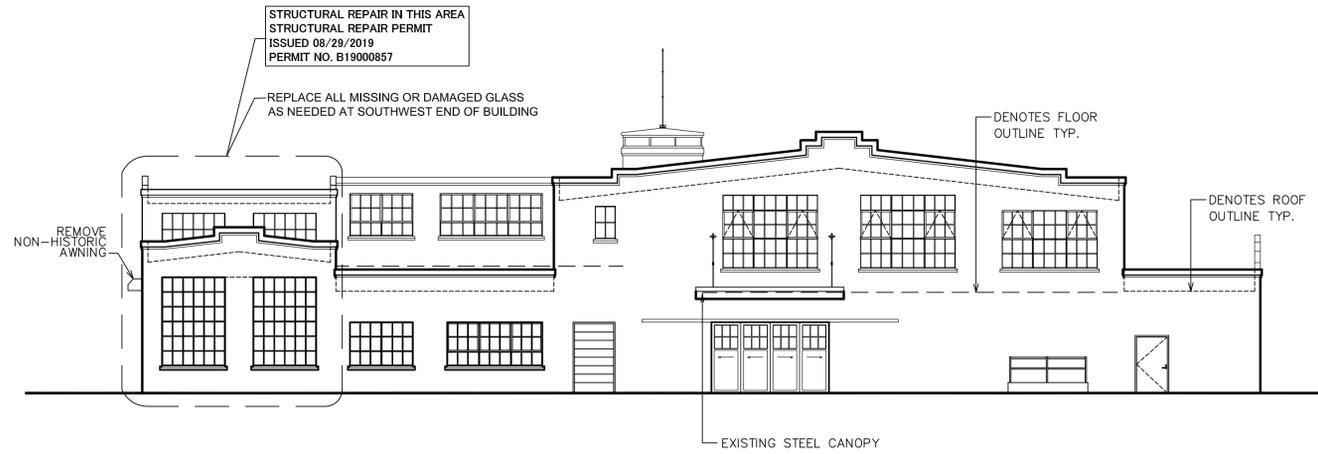
① EXISTING EAST ELEVATION
SCALE 1/8" = 1'-0"

NO.	REVISION	DATE
1	ISSUING REVISION	03/21/2023
2	ISSUING CORRECTIONS	04/17/2023

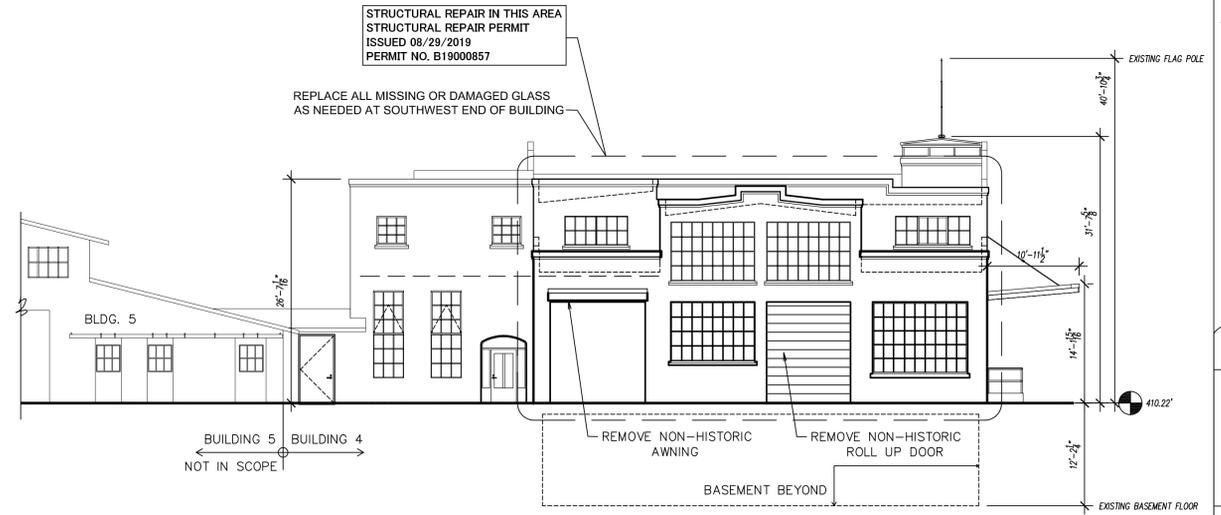
A.P.N.: 064-0-130-125 AND 064-0-130-145

SHEET CONTENTS	
BUILDING 4	EXISTING ELEVATIONS
DRAWN	CHECKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO.	
DATE	
SHEET NUMBER	

A-6



1 EXISTING SOUTH ELEVATION
SCALE 1/8" = 1'-0"



1 EXISTING WEST ELEVATION
SCALE 1/8" = 1'-0"

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NO.	REVISION	DATE
1	ISSUING PERIOD	03/21/2023
2	ISSUING PERIOD	04/17/2023
3	ISSUING PERIOD	
4	ISSUING PERIOD	
5	ISSUING PERIOD	

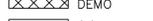
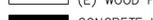
A.P.N.: 064-0-130-125 AND 064-0-130-145

BILLIWHACK RANCH
2275 ALISO CANYON ROAD
SANTA BARBARA, CA 93060
BILLIWHACK RANCH RENOVATION

SHEET CONTENTS
BUILDING 4
EXISTING ELEVATIONS

DRAWN	CHECKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO.	2275
DATE	03.21.2023
SHEET NUMBER	A-7

FLOOR PLAN LEGEND

-  NEW WALLS
-  DEMO
-  (E) WOOD FRAMED WALLS
-  CONCRETE WALLS
-  AG USE AREA

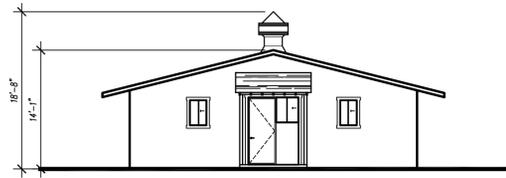
SCOPE OF WORK

BUILDING 2: CONVERT 1,800 SF OF AN EXISTING 4,564 SQUARE FOOT AGRICULTURAL BUILDING TO A FARM WORKER DWELLING UNIT. THE REMAINDER OF THE BUILDING (2,764 SF) WILL BE AGRICULTURAL STORAGE. INTERIOR AND EXTERIOR REMODEL CONSISTS OF ADDING AN INTERIOR WALL TO SEPARATE FARM WORKER DWELLING FROM AGRICULTURAL USAGES TO PARTIALLY ABATE CV22-0472.

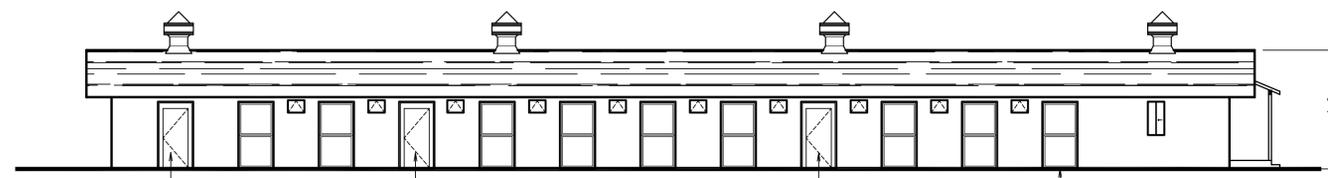
NO ALTERATION TO SF

EXISTING SF = 4,564 SF
 DEMO/ALTERED SF = 25 SF
 NET SF = 4,564 SF

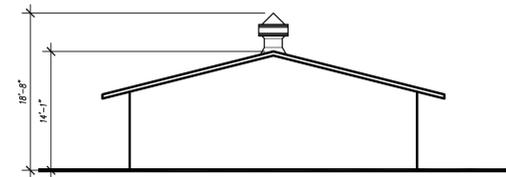
GENERAL NOTES



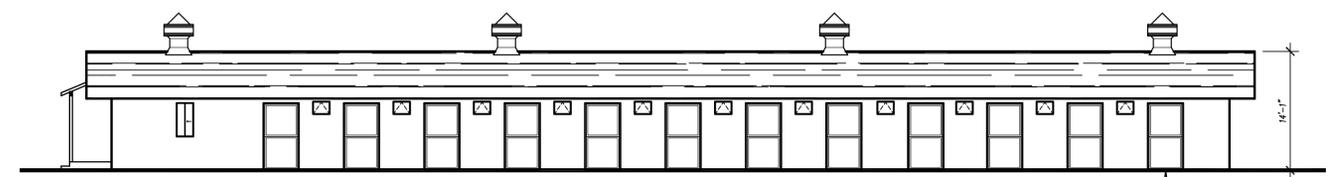
1 EXISTING EAST ELEVATION
 SCALE 1/8"=1'-0"



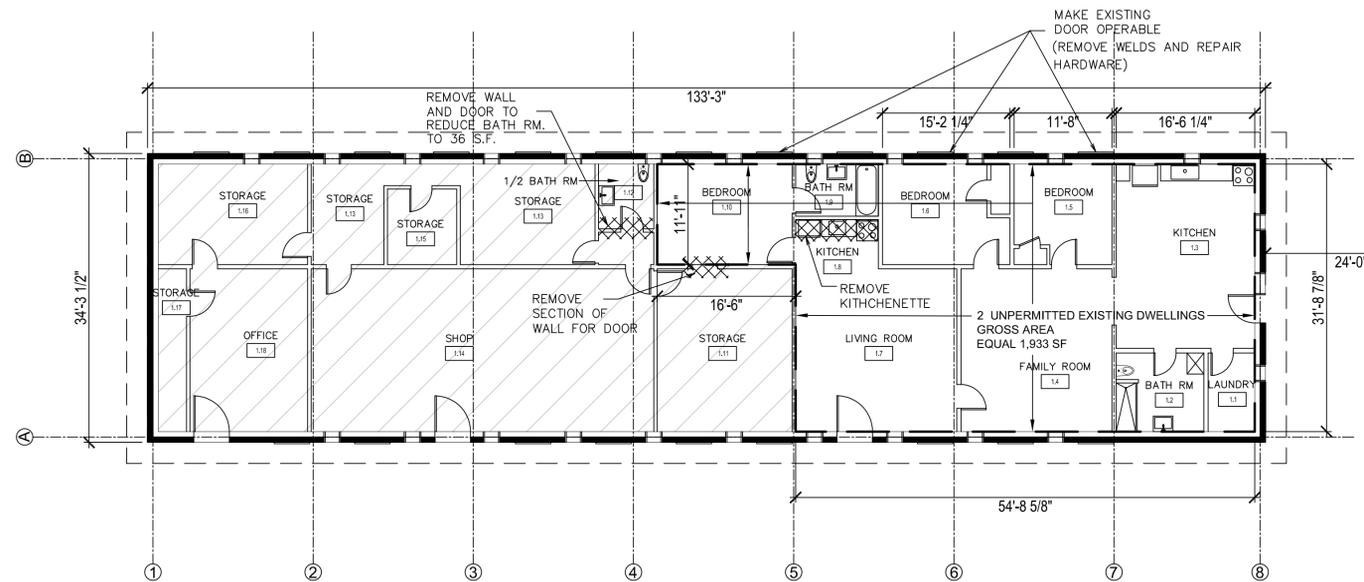
2 EXISTING SOUTH ELEVATION
 SCALE 1/8"=1'-0"



3 EXISTING WEST ELEVATION
 SCALE 1/8"=1'-0"



4 EXISTING NORTH ELEVATION
 SCALE 1/8"=1'-0"



EXISTING FLOOR PLAN / DEMO PLAN
 1/8"=1'-0"



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NO.	REVISION	DATE
1	ISSUE FOR PERMITS	03/21/2023
2	ISSUE FOR PERMITS	04/17/2023

A.P.N.: 064-0-130-125 AND 064-0-130-145

BILLWHACK RANCH
 2275 ALISO CANYON ROAD
 SANTA BARBARA, CA 93060

BILLWHACK RANCH RENOVATION

DRWN	CHEKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO.	2275
DATE	03.21.2023
SHEET NUMBER	A-8

FLOOR PLAN LEGEND

- NEW WALLS
- DEMO
- (E) WOOD FRAMED WALLS
- CONCRETE WALLS
- AG USE AREA

SCOPE OF WORK

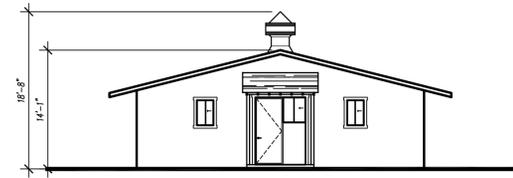
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NO ALTERATION TO SF

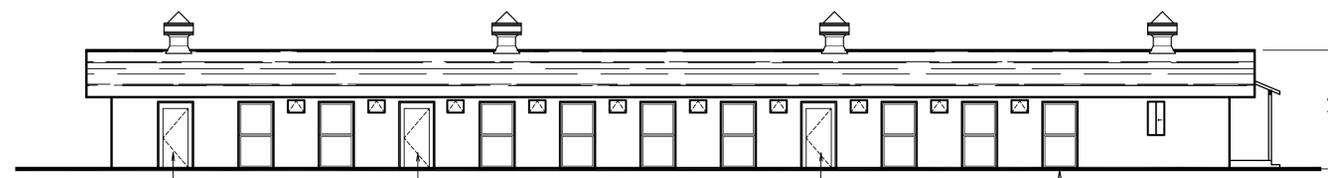
EXISTING SF = 4,564 SF
 DEMO/ALTERED SF = 25 SF
 NET SF = 4,564 SF

GENERAL NOTES

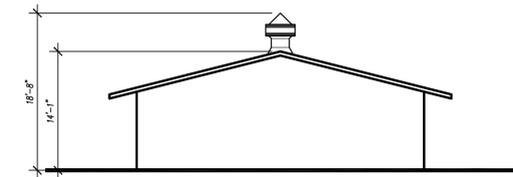
BEDROOM EQUIVALENTS: 3
 BATHROOMS: 2
 AG USE BATHROOM: 1 HALF BATH



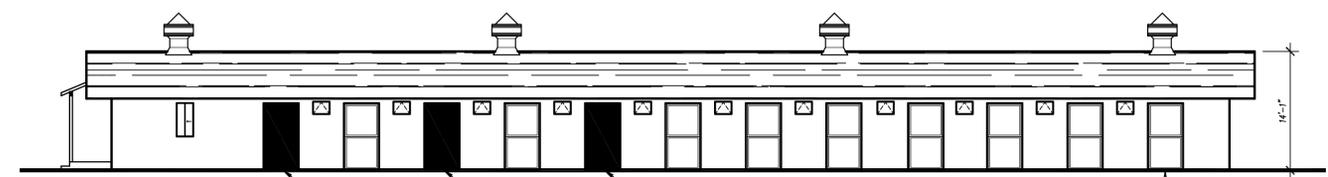
1 PROPOSED EAST
 SCALE 1/8"=1'-0"
 NO CHANGE



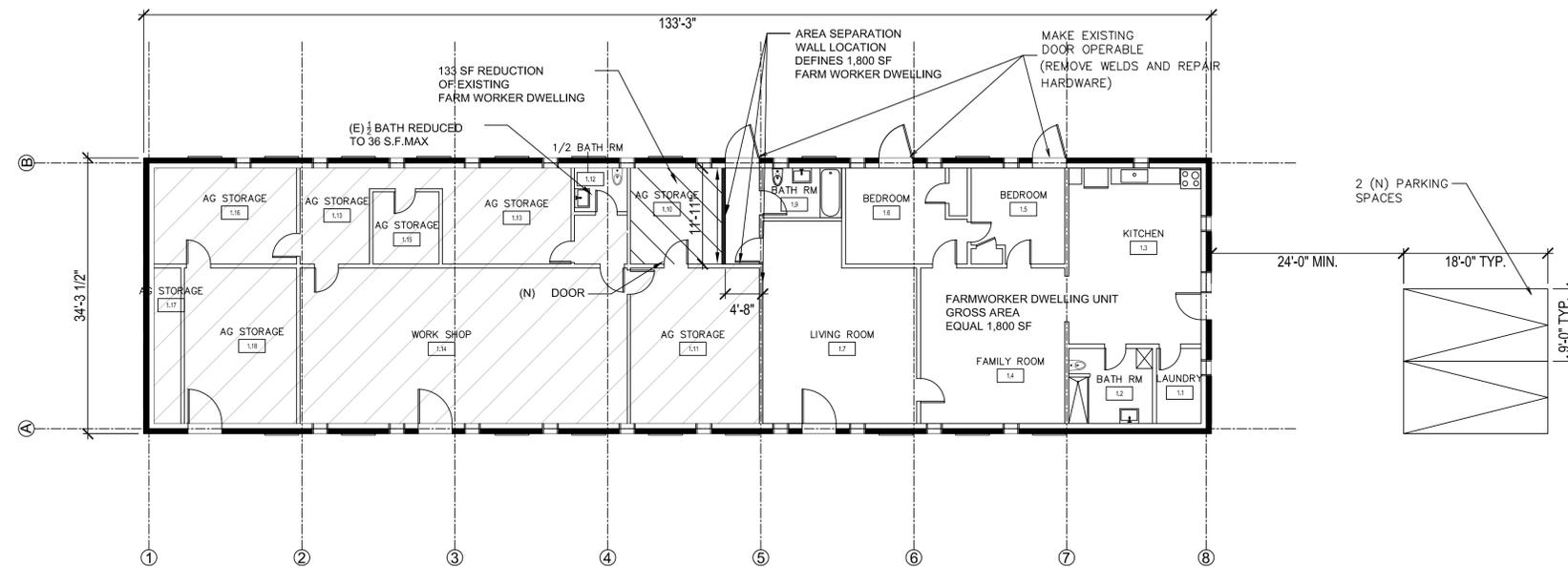
1 PROPOSED SOUTH
 SCALE 1/8"=1'-0"
 NO CHANGE



3 PROPOSED WEST
 SCALE 1/8"=1'-0"
 NO CHANGE



4 PROPOSED NORTH
 SCALE 1/8"=1'-0"
 NO CHANGE



PROPOSED FLOOR PLAN
 1/8"=1'-0"



Angeli de Covolo, Inc.
 122 E. Arrellaga Street
 Santa Barbara, California 93101
 805 452 2999

NO.	REVISION	DATE
1	ISSUE FOR PERMITS	03/21/2023
2	ISSUE FOR PERMITS	04/17/2023

A.P.N.: 064-0-130-125 AND 064-0-130-145

BILLWHACK RANCH
 2275 ALISO CANYON ROAD
 SANTA BARBARA, CA 93060
 BILLWHACK RANCH RENOVATION

SHEET CONTENTS
 BUILDING 2
 PROPOSED FLOOR PLANS
 AND ELEVATIONS

DRWN	CHEKED
PROPERTY NO.	
DEVELOPMENT NO.	
PROJECT NO.	2275
DATE	03.21.2023
SHEET NUMBER	A-9