

BILLIWHACK RANCH RENOVATION

PROJECT NOTES

1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWING.
2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
3. PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR ALL PLANNING/ZONING AND BUILDING PERMIT FEES.
4. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE JURISDICTION BUILDING CODE, A.S.T.M. SPECIFICATIONS, AND ALL OTHER APPLICABLE REQUIREMENTS, ORDINANCES AND REGULATIONS. WHERE CONFLICTS BETWEEN BUILDING CODES AND SPECIFICATIONS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
5. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
6. THE CONTRACTORS SHALL ARRANGE FOR ALL TESTING AND INSPECTION REQUIRED BY APPLICABLE CODES, ORDINANCES AND DIRECTIVES OF THE GOVERNING BUILDING OFFICIAL. THE OWNER WILL PAY ALL COSTS FOR SUCH TESTING AND INSPECTIONS IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN TESTS AND INSPECTIONS INDICATE NON-CONFORMANCE.
7. THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFIED THEREIN.
8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS DISCOVERED WHILE BIDDING AND CLARIFICATION SHALL BE MADE PRIOR TO THE START OF CONSTRUCTION.
9. THE CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE (UNLESS NOTED OR SHOWN). THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERSEDE AND DIRECT THE WORK TO COMPLETION OF THE PROJECT AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES.
10. APPLICABLE TRADES SHALL USE A COMMON DATUM WALL TO BE DESIGNATED BY THE CONSTRUCTION SUPERVISOR FOR ALL CRITICAL MEASUREMENTS.
11. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
12. MATERIAL AND PAINT COLORS TO BE SELECTED BY ARCHITECT PRIOR TO FABRICATION.
13. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. WHERE UTILITIES ARE ENCOUNTERED OTHER THAN THOSE KNOWN AND SHOWN, IMMEDIATELY NOTIFY THE OWNER, AND ENTER INTO NEGOTIATION FOR THE PERFORMANCE OF THE REQUIRED WORK, WHICH SHALL BE OVER AND ABOVE THE AMOUNT OF THE BID PROPOSAL. ANY REQUIRED REROUTING OF EXISTING UTILITY SERVICE SHALL BE APPROVED BY THE LOCAL UTILITY COMPANY PRIOR TO COMMENCING THAT WORK.
14. EXAMINE THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF THE EXISTING ELEMENTS TO REMAIN. WHERE QUESTIONS OR DISCREPANCIES ARISE, CONSULT THE ARCHITECT ABOUT THE EXTENT AND/OR INTENT OF THE REQUIRED DIRECTION BEFORE COMMENCING WORK.
15. ALL DIMENSIONS ARE TO FACE OF PLYWOOD, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.
16. UNLESS OTHERWISE SPECIFIED HEREIN, THE CONTRACTORS, UPON COMPLETION OF THE ENTIRE WORK DESCRIBED IN THE CONTRACT, SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE STATING THAT ALL WORK PERFORMED AS PART OF THE CONTRACT IS FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, AND THAT DURING SAID ONE YEAR PERIOD, ALL DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE REPAIRED AND/OR REPLACED IN PLACE INCLUDING ANY WORK OF OTHERS WHICH HAS BEEN DAMAGED BY SUCH DEFECTIVE WORKMANSHIP AND/OR MATERIALS AND BY THE REPAIR AND/OR REPLACEMENT OF SUCH WORKMANSHIP AND/OR MATERIALS, AT NO ADDITIONAL COST TO THE OWNER.
17. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND RUBBISH RESULTING FROM THEIR PORTION OF THE WORK SPECIFIED HEREIN AND DEPOSIT IT IN AN ON-SITE CONTAINER, PROVIDED BY THE CONTRACTOR. WHEREVER EXISTING WORK IS DAMAGED BY REMOVAL OF ADJACENT WORK OR ANY OTHER CONSTRUCTION OPERATION, IT SHALL BE REPAIRED OR REPLACED WITH NEW MATERIALS TO MATCH EXISTING AS APPROVED BY THE ARCHITECT.
19. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT.
20. EACH CONTRACTOR SHALL MAINTAIN GENERAL LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT WITH MINIMUM BODILY INJURY LIMITS OF \$500,000 FOR EACH PERSON AND \$500,000 FOR EACH ACCIDENT. MAINTAIN PROPERTY DAMAGE INSURANCE MINIMUM LIMITS OF \$500,000 FOR EACH ACCIDENT. THE OWNER SHALL BE NAMED AS ADDITIONAL INSURED AS RESPECTS LIABILITY INSURANCE. EACH CONTRACTOR SHALL MAINTAIN WORKER'S COMPENSATION INSURANCE IN FULL COMPLIANCE WITH ALL LOCAL AND STATE LAWS AND ANY AMENDMENTS THEREIN. THE OWNER SHALL PROVIDE FIRE AND VANDALISM INSURANCE AT HIS OWN EXPENSE. THE GENERAL CONTRACTOR AND FRAMING CONTRACTOR SHALL BE NAMED AS ADDITIONAL INSURED AS RESPECTS THE INSURANCE POLICY.
21. ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.
22. CONTRACTOR IS TO PROVIDE (3) THREE COPIES OF SHOP DRAWINGS FOR ALL WOODWORK, COUNTERS, CABINETS, SPECIALTIES, AND METALWORK AND ALL MECHANICAL AND ELECTRICAL LAYOUTS AND DETAILS FOR ARCHITECT'S APPROVAL.
23. SUBSTITUTIONS, REVISIONS OR CHANGES MAY BE ALLOWED ONLY IF SUCH ITEMS ARE SUBMITTED TO THE ARCHITECT IN A TIMELY MANNER IN WRITING AND SUBSEQUENTLY APPROVED BY THE ARCHITECT IN WRITING. ALL SUBSTITUTIONS MUST BE AT LEAST OF EQUAL QUALITY, DESIGN AND PERFORMANCE. THE CONTRACTOR IS LIABLE FOR REPLACEMENT, REPAIR AND DELAYS CAUSED BY ANY UNAUTHORIZED SUBSTITUTION OF ANY ITEM FOR THIS PROJECT. ALL REQUESTS FOR SUBSTITUTIONS SHALL INCLUDE THE PROJECT NAME, DESCRIPTION OF THE ITEM, REASON FOR SUBSTITUTION AND COMPLETE SPECIFICATIONS AND DRAWINGS AS REQUIRED FOR COMPARABLE ITEMS. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY REQUEST.
24. CATALOG CUTS OF ALL LIGHT FIXTURES, ACCESSORIES AND EQUIPMENT REQUIRED SHALL BE SUBMITTED IN TRIPLICATE TO THE ARCHITECT FOR APPROVAL.
25. TAKE PRECAUTION TO PROVIDE NECESSARY BARRICADES AND/OR SHORING DURING THE COURSE OF DEMOLITION. IF AT ANY TIME THE SAFETY OF THE ADJACENT STRUCTURE OR PERSONNEL WOULD APPEAR TO BE ENDANGERED, CEASE OPERATION AND NOTIFY OWNER. DO NOT RESUME OPERATION UNTIL SAFE CONDITIONS HAVE BEEN REESTABLISHED AND PERMISSION BY THE OWNER HAS BEEN GRANTED TO RESUME OPERATION.
26. ALL ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL WORKS SHALL CONFORM TO THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION.
27. ALL ADJUNCTIVE DOCUMENTATION IS CONSIDERED A PART OF THIS DOCUMENT.
28. REFER TO ADDITIONAL GENERAL AND SPECIFIC NOTES CONTAINED IN THE VARIOUS CONSULTANT SECTIONS OF THESE DRAWINGS.
29. CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL FOR LOADING SPACES, CONSTRUCTION SHEDS, BUILDING MATERIALS STORAGE AND EQUIPMENT ON SITE.

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A-3 EXISTING ENLARGED SITE PLAN

A-4 BUILDING 4 EXISTING FLOOR PLANS DEMO SCOPE

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A-7 BUILDING 4 EXISTING ELEVATIONS

A-8 BUILDING 2 EXISTING FLOOR PLANS & ELEVATIONS DEMO SCOPE

A-9 BUILDING 2 PROPOSED FLOOR PLANS & ELEVATIONS

PROJECT TEAM

DESIGN CONSULTANTS: EVERETT WOODY AND GIL GARCIA  
122 E. ARRELLAGA STREET  
SANTA BARBARA, CA. 93101  
805 452 2999

GEOTECHNICAL ENGINEER: MARK WORKMAN  
WORKMAN ENGINEERING  
P.O. BOX 391, OJAI, CA. 93024  
805 302 9381

STRUCTURAL ENGINEER: JOHN OELTMAN  
3025 LONG VALLEY ROAD  
SANTA YNEZ CA 93460  
805 688-6677

ELECTRICAL ENGINEER: JOHN MELONEY  
156 WEST ALAMAR AVENUE, SUITE B  
SANTA BARBARA CA 93105  
(805) 569-9216

MECHANICAL ENGINEER: JOHN GRINSDALE, A G MECHANICAL ENGINEERS  
629 STATE STREET  
SANTA BARBARA CA 93101  
(805) 966-0844

GENERAL CONTRACTOR: N.M. CONSTRUCTION  
NATE WHITSON  
804 STERLING HILLS DR., CAMARILLO, CA. 93003  
805 479 7405

EXISTING & PROPOSED BUILDING USES & FLOOR AREAS

| BLDG. NO. | EXISTING USE                           | PROPOSED USE  | FOOTPRINT SF | GROSS FLOOR SF | DEMO/ALTERED SF | ADDITION SF | NET SF   | REQ'D PARKING SPACES |
|-----------|--|---|--------------|----------------|-----------------|-------------|----------|----------------------|
| 1A        | STORAGE & MAINTENANCE BLDG.            | NO CHANGE   | 9,985        | 9,510          | 0               | 0           | 9,510    | -                    |
| H1        | PRINCPAL DWELLING                      | NO CHANGE   | 2,370        | 2,185          | 0               | 0           | 2,185    | 2                    |
| 1         | AGRICULTURAL BARN                      | NO CHANGE   | 5,341        | 5,115          | 0               | 0           | 5,115    | -                    |
| 2         | AGRICULTURAL BARN                      | CONVERT TO A FARM WORKER DWELLING<br>-1,800 SF AND AG STORAGE<br>REMAINING 2,764 SF | 4,564        | 4,151          | 25              | 0           | 4,564    | 2                    |
| 3         | EQUIPMENT STORAGE BLDG.                | NO CHANGE   | 4,564        | 4,356          | 0               | 0           | 4,356    | -                    |
| 4         | TWO STORY AG STRUCTURE                 | NO CHANGE   | 7,612        | 17,310         | 153             | 0           | 17,310   | -                    |
| 5         | RANCH MAINTENANCE BLDG.                | NO CHANGE   | 9,291        | 9,090          | 0               | 0           | 9,090    | -                    |
| 6         | RANCH EQUIPMENT STORAGE BLDG.          | NO CHANGE   | 5,356        | 5,137          | 0               | 0           | 5,137    | -                    |
| H2        | DEMOLISH WALL/FLOORS OF CARETAKER UNIT | TO BE RESOLVED BY SEPARATE PERMIT   | 2,613        | 2,472          | 0               | 0           | 2,472    | -                    |
|           | HAMMER MILL BARN                       | NO CHANGE   | 1,448        | 1,346          | 0               | 0           | 1,346    | -                    |
|           | THREE GRAIN SILOS                      | NO CHANGE   | 543 EACH     | 488 EACH       | 0               | 0           | 488 EACH | -                    |
| TOTALS    |  |   | 54,773       | 62,136         | 178             | 0           | 62,136   | 4                    |

SITE STATISTICS

TOTAL BUILDING COVERAGE 54,773 SQUARE FEET

PERMEABLE GRAVEL DRIVEWAY 1,264,621 SQUARE FEET

AREA UNDER CROP 2,859,192 SQUARE FEET OR 65 ACRES

TOTAL SITE AREA 4,257,119 SQUARE FEET OR 97.73 ACRES

\* NO CHANGES TO IMPERVIOUS OR PERMEABLE SQUARE FOOTAGE.

BUILDING DENSITY CALCULATIONS

TOTAL BUILDING COVERAGE 54,773 SQUARE FOOT GROSS

TOTAL SITE AREA 4,257,328 SQUARE FOOT GROSS OR 97.73 ACRES

BUILDING AREA 54,773/SITE AREA 4,257,328 = 1.3% LESS THAN 5% ALLOWED.

PROJECT DATA

OWNER: BILLIWHACK RANCH, LLC  
3048 N COOLIDGE AVENUE  
LOS ANGELES, CA 90039  
PHONE 213-308-0015

APN 064-0-130-125 AND 064-0-130-145  
ZONE AE-40  
SITE AREA 97.73 ACRES  
GENERAL PLAN DESIGNATION AGRICULTURE  
HIGH FIRE AREA YES  
MAXIMUM BUILDING HEIGHT 35'-0" PRINCIPAL IF SETBACK AT LEAST 15' FROM ALL SIDES, 25'-0" ALL OTHERS

FRONT YARD SETBACK 20'-0" FROM PROPERTY LINE  
REAR YARD SETBACK 15'-0"  
SIDE YARD SETBACK 10'-0"

SCOPE OF WORK

BUILDING 4: AFTER THE FACT DEMO PERMIT FOR REMOVAL OF INTERIOR WALLS, REMOVAL OF PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS AS NOTED IN THE NOTICE OF VIOLATION, TO PARTIALLY ABATE CV22-0472. AND INCLUDING REMOVAL OF CANOPY ON SOUTHWEST FACADE, AND REPLACEMENT OF ANY MISSING OR DAMAGED PANES OF GLASS AT SOUTHWEST END OF STRUCTURE AS NOTED ON PLANS AND ELEVATIONS. NO WORK TO BE PERFORMED IN BASEMENT, ALL WORK ON GROUND AND SECOND FLOOR AS OUTLINED ABOVE AND ON DRAWINGS.

BUILDING 2: CONVERT 1,800 SF OF AN EXISTING 4,564 SQUARE FOOT AGRICULTURAL BUILDING TO A FARM WORKER DWELLING UNIT. THE REMAINDER OF THE BUILDING (2,764 SF) WILL BE AGRICULTURAL STORAGE. INTERIOR AND EXTERIOR REMODEL CONSISTS OF ADDING AN INTERIOR WALL TO SEPARATE FARM WORKER DWELLING FROM AGRICULTURAL USAGES TO PARTIALLY ABATE CV22-0472.

INSTALL FENCE TO ENCLOSE EXISTING, HISTORIC, NON-FUNCTIONAL POOL AND DORMITORY FOUNDATION TO PARTIALLY ABATE CV22-0472. NOT VISIBLE FROM PUBLIC RIGHT OF WAY.

BUILDING H2: AFTER THE FACT DEMOLISH WALLS AND FLOOR OF AN EXISTING, HISTORIC, 2,646 SQUARE FOOT, FIVE (5) BEDROOM RESIDENCE TO PARTIALLY ABATE CV22-0472. YEAR BUILT CIRCA 1926. THIS PROJECT IS NOT PART OF CURRENT REQUEST. TO BE RESOLVED BY A SEPARATE PERMIT.



VICINITY MAP



Angeli de Covolo, Inc.  
122 E. Arrellaga Street  
Santa Barbara, California 93101  
805 452 2999



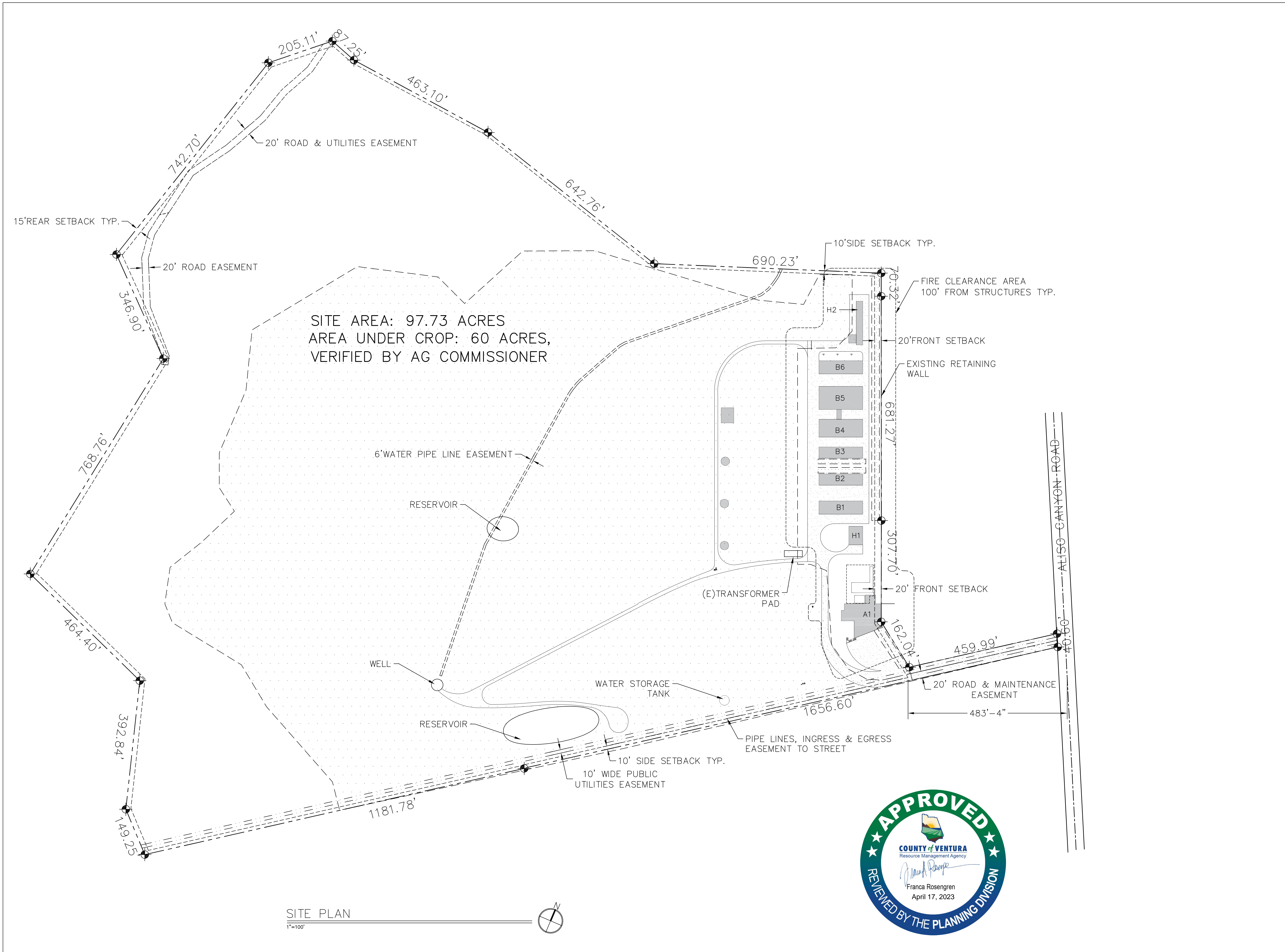
| DATE               | 03/21/2023 |
|--------------------|------------|
| NO. REVISION       | 04/17/2023 |
| ZONING REVISION    |            |
| ZONING CORRECTIONS |            |

APN: 064-0-130-125 AND 064-0-130-145

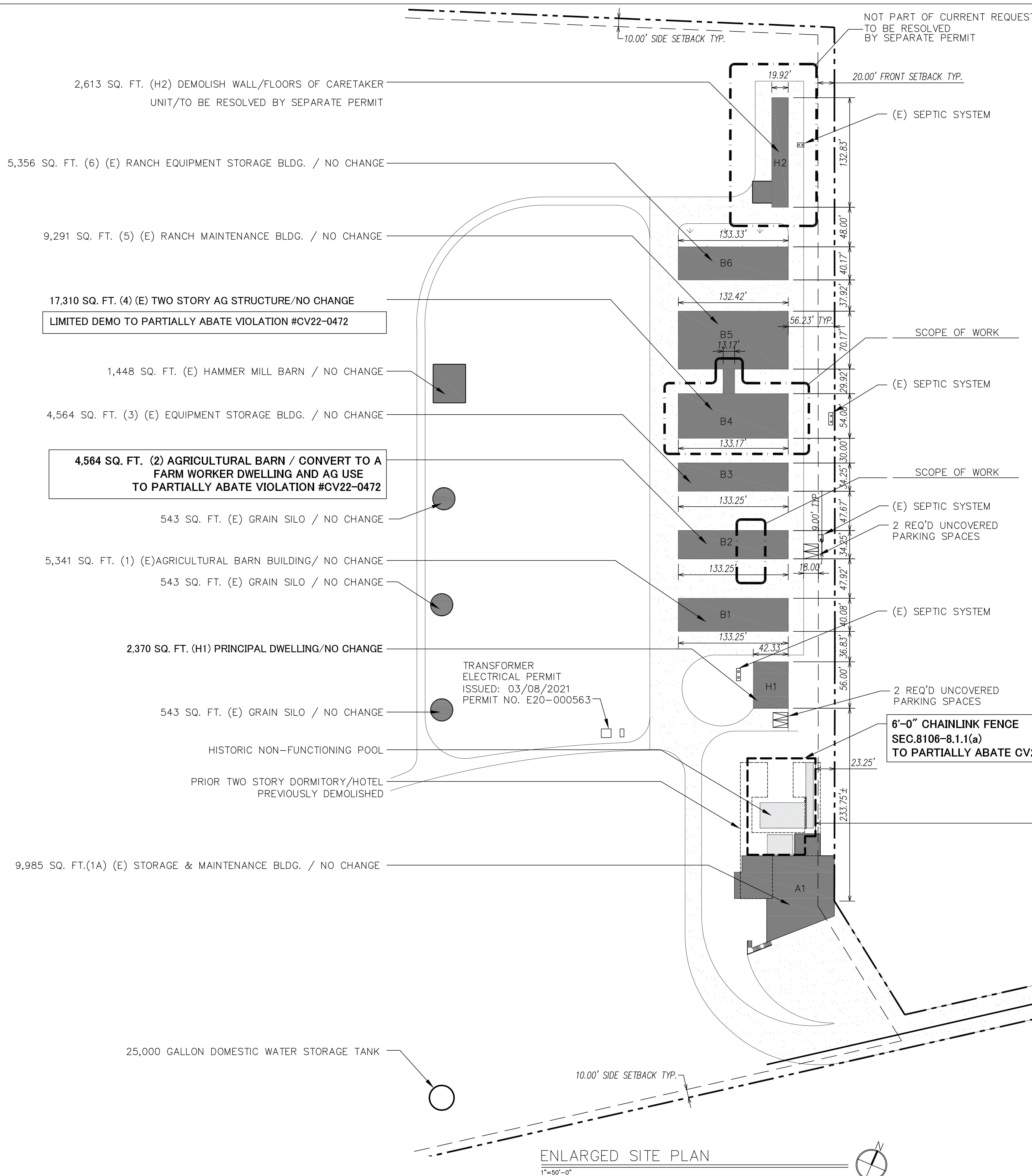
BILLIWHACK RANCH  
2275 ALSO CANYON ROAD  
SANTA PAULA, CA 93060  
BILLIWHACK RANCH RENOVATION

| SHEET CONTENTS                |            |
|-------------------------------|------------|
| PROJECT INFORMATION AND INDEX |            |
| DRAWN                         | CHECKED    |
| PROPERTY NO.                  | -          |
| DEVELOPMENT NO.               | -          |
| PROJECT NO.                   | 2275       |
| DATE                          | 03/21/2023 |
| SHEET NUMBER                  | A-1        |









| EXISTING & PROPOSED BUILDING USES & FLOOR AREAS |  |   |              |                |                 |             |          |
|---|--|---|--------------|----------------|-----------------|-------------|----------|
| BLDG. NO.                                       | EXISTING USE                           | PROPOSED USE  | FOOTPRINT SF | GROSS FLOOR SF | DEMO/ALTERED SF | ADDITION SF | NET SF   |
| 1A  | STORAGE & MAINTENANCE BLDG.            | NO CHANGE   | 9,985        | 9,510          | 0               | 0           | 9,510    |
| H1  | PRINCIPAL DWELLING                     | NO CHANGE   | 2,370        | 2,185          | 0               | 0           | 2,185    |
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| 2   | AGRICULTURAL BARN                      | CONVERT TO A FARM WORKER DWELLING<br>-1,800 SF AND AG STORAGE<br>REMAINING 2,764 SF | 4,564        | 4,151          | 25              | 0           | 4,564    |
| 3   | EQUIPMENT STORAGE BLDG.                | NO CHANGE   | 4,564        | 4,356          | 0               | 0           | 4,356    |
| 4   | TWO STORY AG STRUCTURE                 | NO CHANGE   | 7,612        | 17,310         | 153             | 0           | 17,310   |
| 5   | RANCH MAINTENANCE BLDG.                | NO CHANGE   | 9,291        | 9,090          | 0               | 0           | 9,090    |
| 6   | RANCH EQUIPMENT STORAGE BLDG.          | NO CHANGE   | 5,356        | 5,137          | 0               | 0           | 5,137    |
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|   | HAMMER MILL BARN                       | NO CHANGE   | 1,448        | 1,346          | 0               | 0           | 1,346    |
|   | THREE GRAIN SILOS                      | NO CHANGE   | 543 EACH     | 488 EACH       | 0               | 0           | 488 EACH |
| TOTALS  |  |   | 54,773       | 62,136         | 178             | 0           | 62,136   |

| SITE STATISTICS   |                                      |
|---|--------------------------------------|
| TOTAL BUILDING COVERAGE                                 | 54,773 SQUARE FEET                   |
| PERMEABLE GRAVEL DRIVEWAY                               | 1,264,621 SQUARE FEET                |
| AREA UNDER CROP   | 2,859,192 SQUARE FEET OR 65 ACRES    |
| TOTAL SITE AREA   | 4,257,119 SQUARE FEET OR 97.73 ACRES |
| * NO CHANGES TO IMPERVIOUS OR PERMEABLE SQUARE FOOTAGE. |                                      |

SCOPE OF WORK

BUILDING 4: AFTER THE FACT DEMO PERMIT FOR REMOVAL OF INTERIOR WALLS, REMOVAL OF PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS AS NOTED IN THE NOTICE OF VIOLATION, TO PARTIALLY ABATE CV22-0472. AND INCLUDING REMOVAL OF CANOPY ON SOUTHWEST FACADE, AND REPLACEMENT OF ANY MISSING OR DAMAGED PANES OF GLASS AT SOUTHWEST END OF STRUCTURE AS NOTED ON PLANS AND ELEVATIONS. NO WORK TO BE PERFORMED IN BASEMENT, ALL WORK ON GROUND AND SECOND FLOOR AS OUTLINED ABOVE AND ON DRAWINGS.

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DATE  
03/21/2023

NO. REVISION  
1

DATE  
04/17/2023

NO. REVISION  
1

APN: 064-0-130-125 AND 064-0-130-145

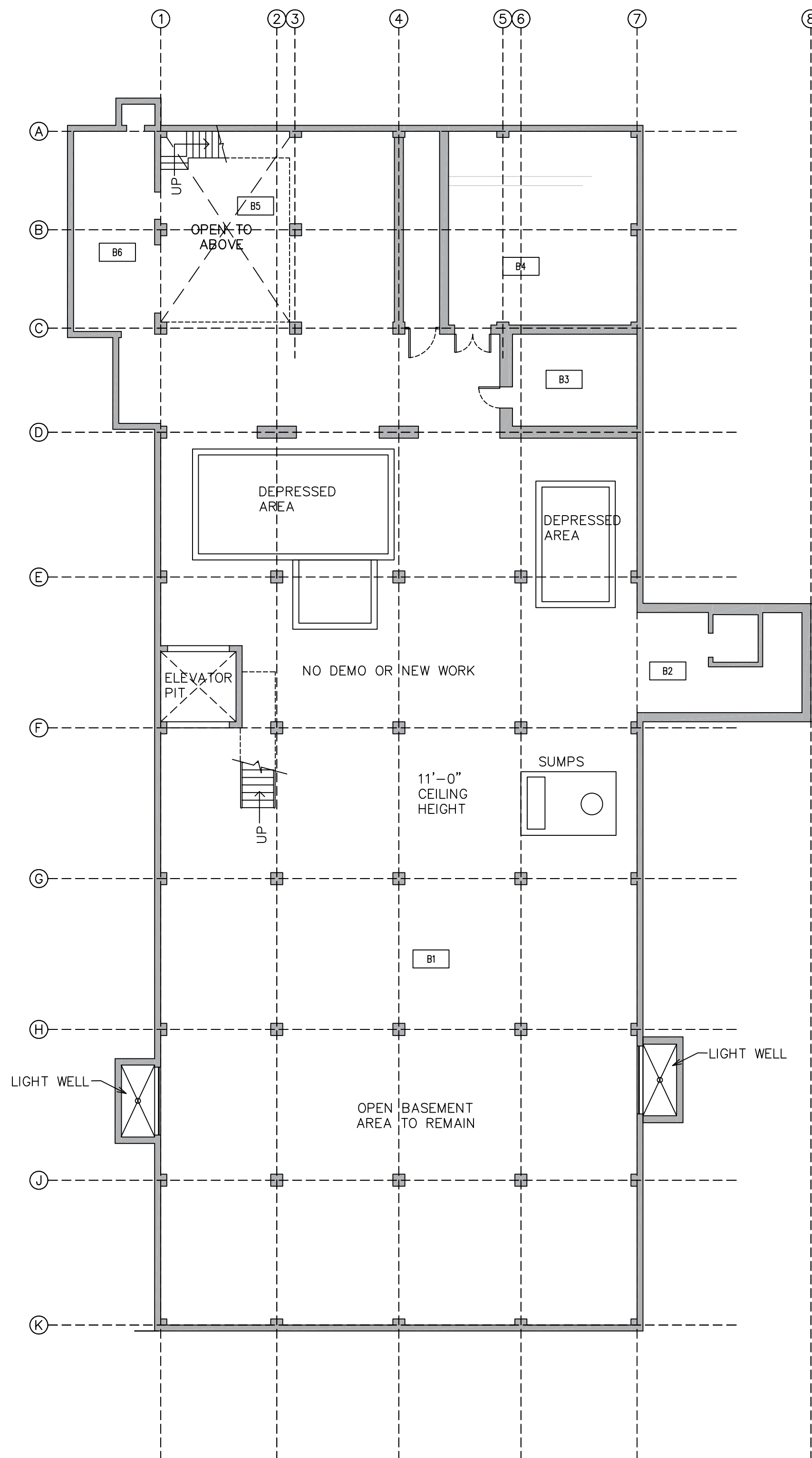
BILLWHACK RANCH  
2275 ALISO CANYON ROAD  
SANTA PAULA, CA 93060

BILLWHACK RANCH RENOVATION

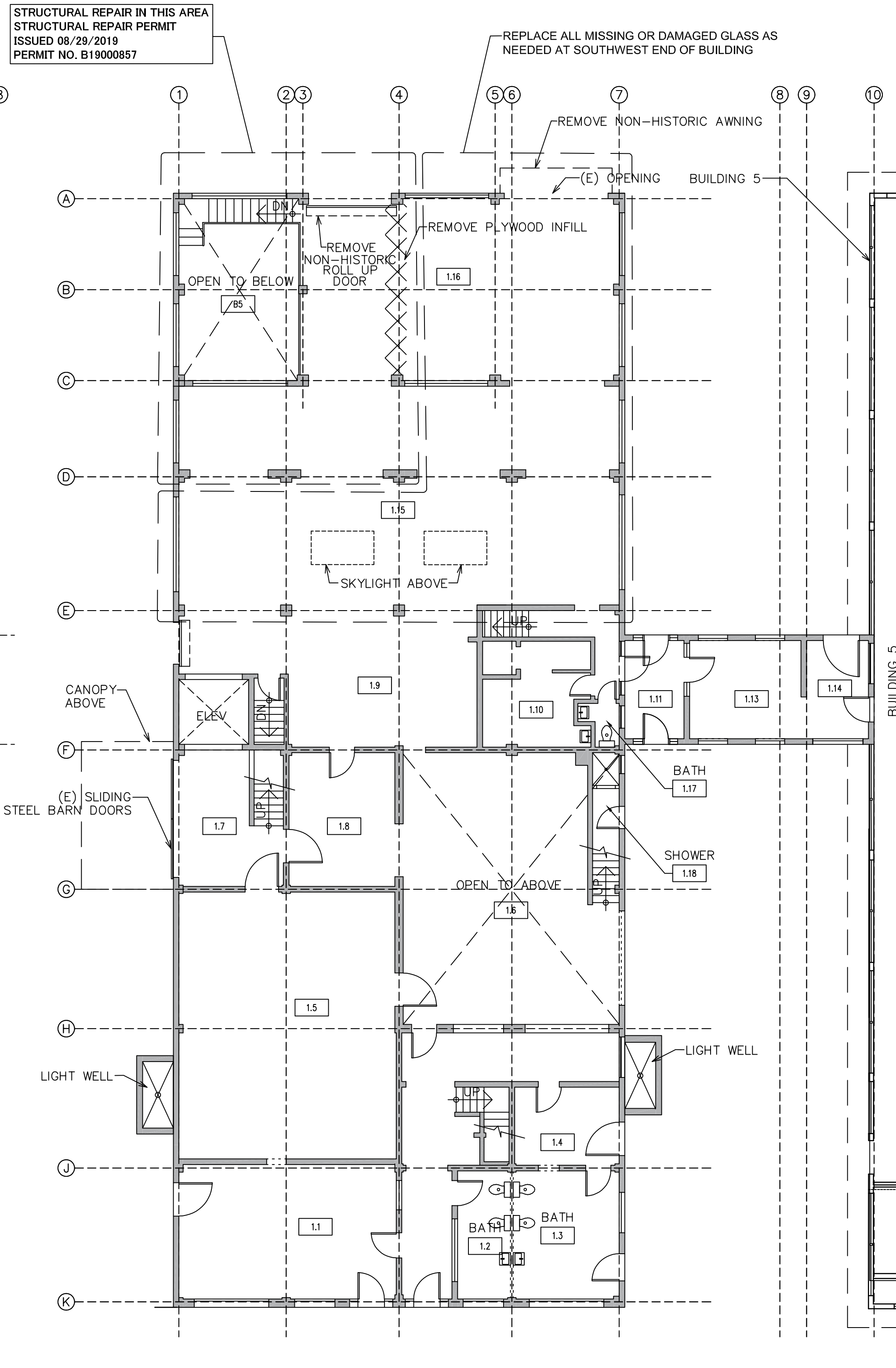
SHEET CONTENTS  
ENLARGED  
SITE PLAN

|                 |            |
|-----------------|------------|
| DRAWN           | CHECKED    |
| PROPERTY NO.    |            |
| DEVELOPMENT NO. |            |
| PROJECT NO.     | 2275       |
| DATE            | 03.21.2023 |
| SHEET NUMBER    | A-3        |

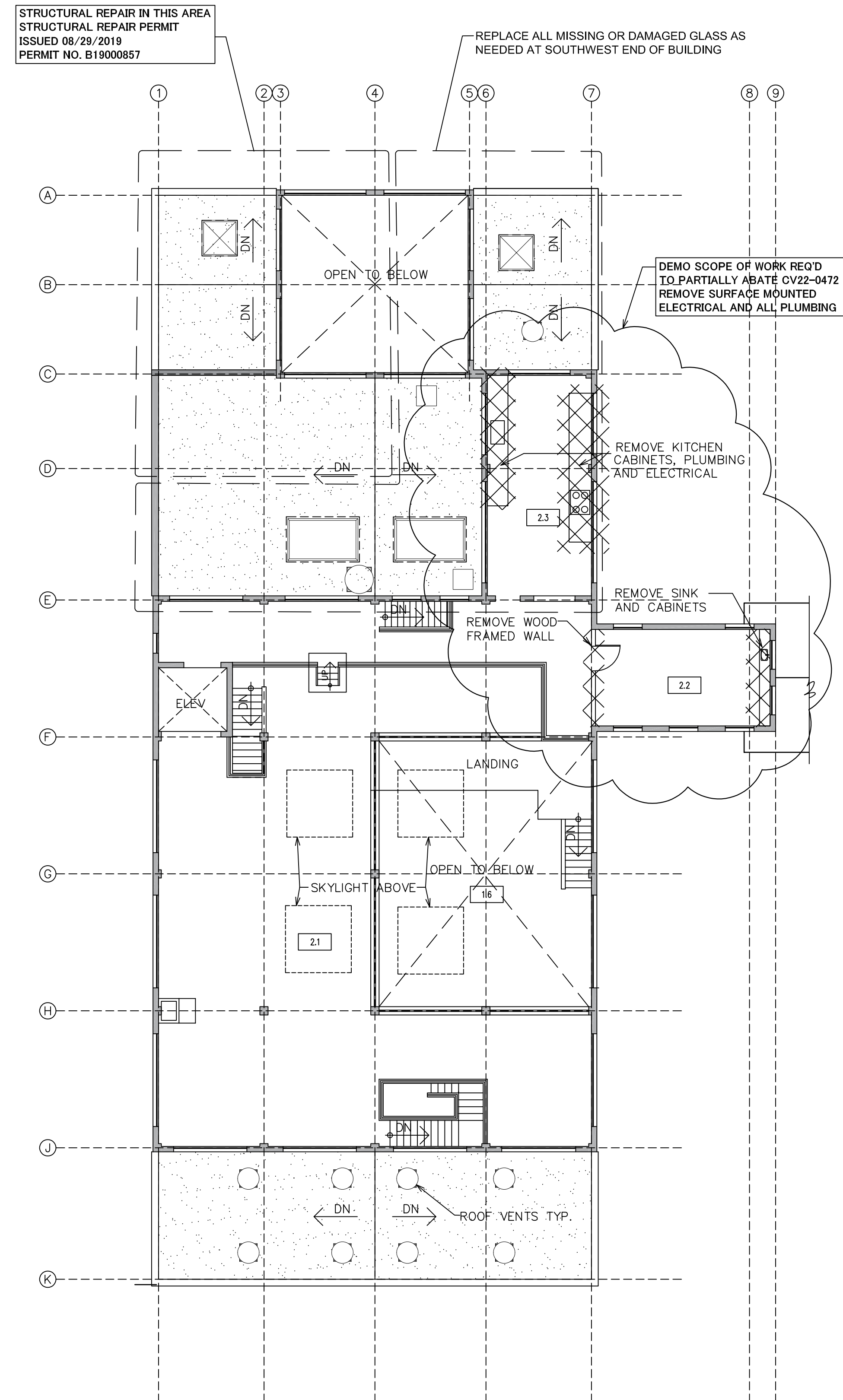
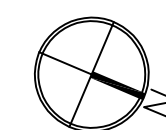




EXISTING BASEMENT FLOOR PLAN AND DEMO PLAN  
1/8"=1'-0"



EXISTING GROUND LEVEL FLOOR PLAN AND DEMO PLAN  
1/8"=1'-0"

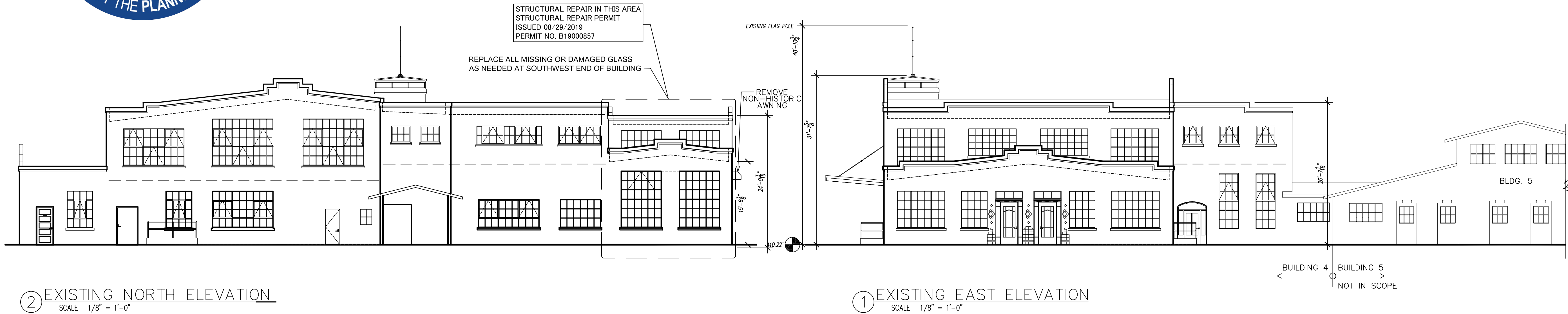


EXISTING 2ND LEVEL FLOOR PLAN AND DEMO PLAN  
1/8"=1'-0"

| FLOOR PLAN LEGEND |                       |
|-------------------|-----------------------|
|                   | NEW WALLS             |
|                   | DEMO                  |
|                   | (E) WOOD FRAMED WALLS |
|                   | CONCRETE WALLS        |

| SCOPE OF WORK  |  |
|--|--|
| BUILDING 4: AFTER THE FACT DEMO PERMIT FOR REMOVAL OF INTERIOR WALLS, REMOVAL OF PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS AS NOTED IN THE NOTICE OF VIOLATION, TO PARTIALLY ABATE CV22-0472. AND INCLUDING REMOVAL OF CANOPY ON SOUTHWEST FACADE, AND REPLACEMENT OF ANY MISSING OR DAMAGED PANES OF GLASS AT SOUTHWEST END OF STRUCTURE AS NOTED ON PLANS AND ELEVATIONS. NO WORK TO BE PERFORMED IN BASEMENT, ALL WORK ON GROUND AND SECOND FLOOR AS OUTLINED ABOVE AND ON DRAWINGS. |  |

| NO ALTERATION TO SF |             |
|---------------------|-------------|
| EXISTING SF         | = 17,310 SF |
| DEMO/ALTERED SF     | = 153 SF    |
| NET SF              | = 17,310 SF |



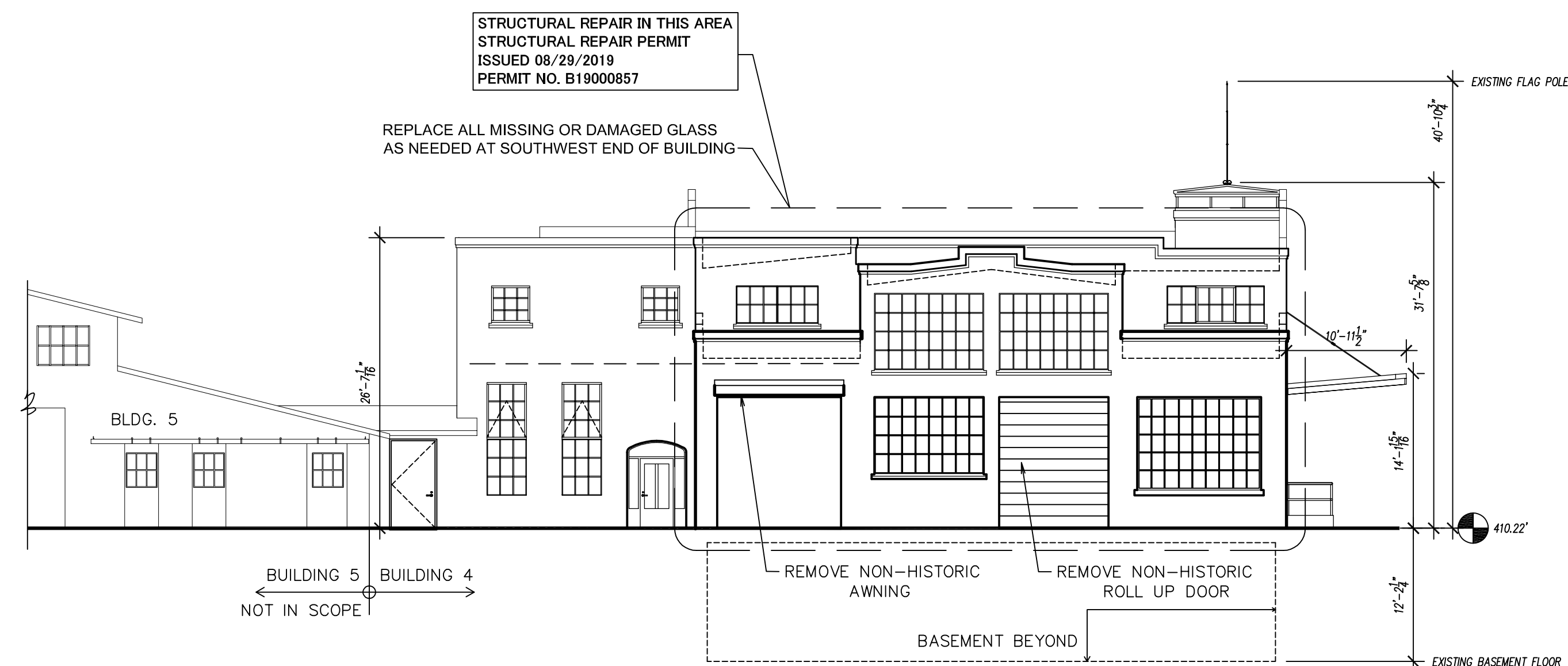
SHEET CONTENTS  
BUILDING 4  
EXISTING ELEVATIONS

DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_  
PROPERTY NO.: \_\_\_\_\_  
DEVELOPMENT NO.: \_\_\_\_\_  
PROJECT NO.: 2275  
DATE: 03.21.2023  
SHEET NUMBER: A-6

A.P.N.: 064-0-130-125 AND 064-0-130-145

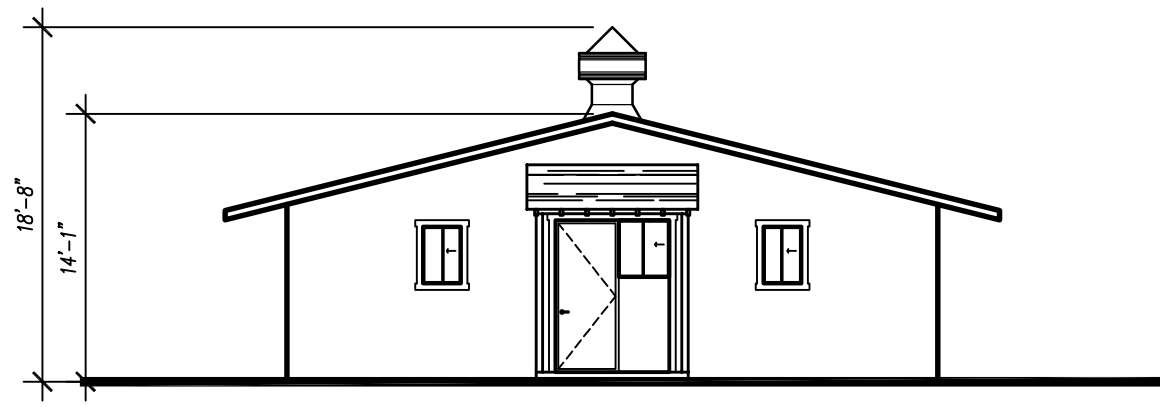
| NO. | REVISION           | DATE       |
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| 1   | AWNING REVISION    | 03/21/2023 |
| 2   | AWNING CORRECTIONS | 04/17/2023 |
| 3   |                    |            |
| 4   |                    |            |



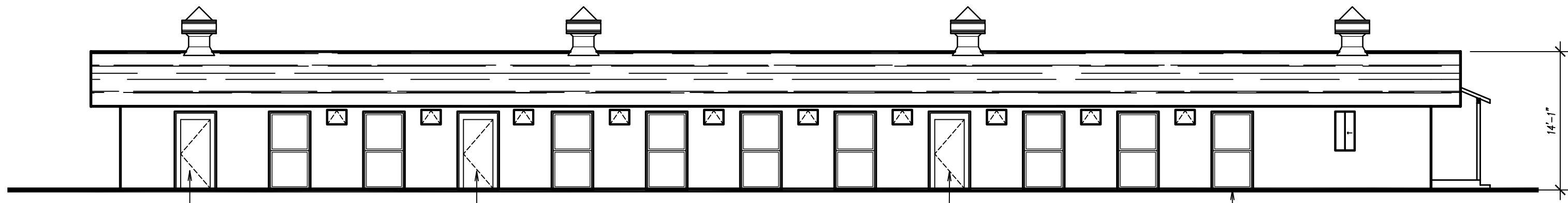


① EXISTING WEST ELEVATION  
SCALE 1/8" = 1'-0"

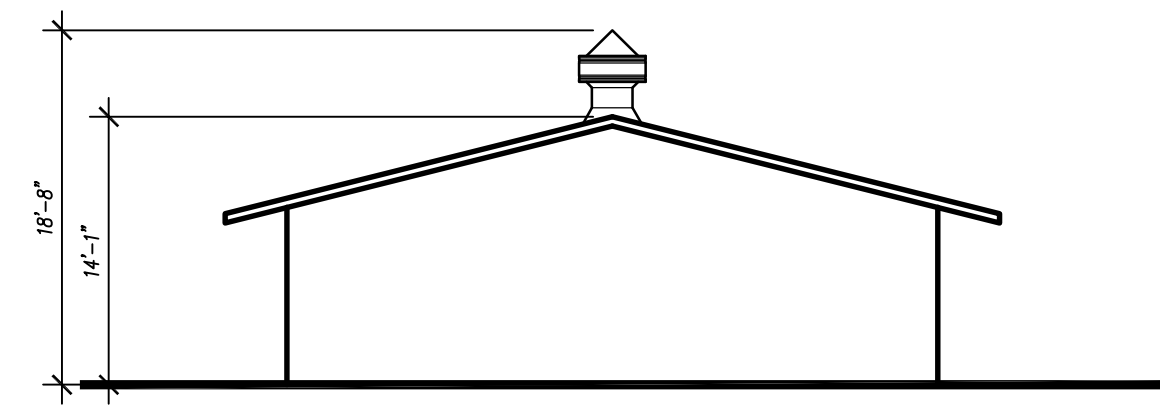
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| SHEET CONTENTS      |  | DRAWN        |  | CHECKED         |  | NO. REVISION          |  | DATE       |  |
| BUILDING 4          |  | PROPERTY NO. |  | DEVELOPMENT NO. |  | 1. ZONING REVISION    |  | 03/17/2023 |  |
| EXISTING ELEVATIONS |  | PROJECT NO.  |  | DATE            |  | 2. ZONING CORRECTIONS |  | 04/17/2023 |  |
|                     |  | 2275         |  | 03.21.2023      |  | 3.                    |  |            |  |
|                     |  | SHEET NUMBER |  | A-7             |  | 4.                    |  |            |  |



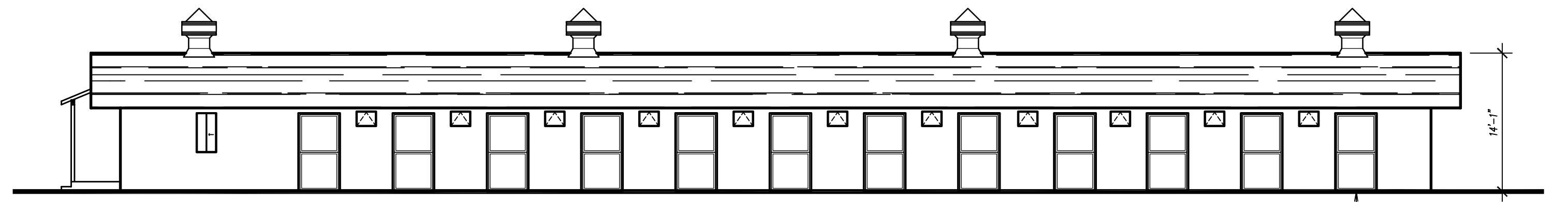
1 EXISTING EAST ELEVATION  
SCALE 1/8"=1'-0"



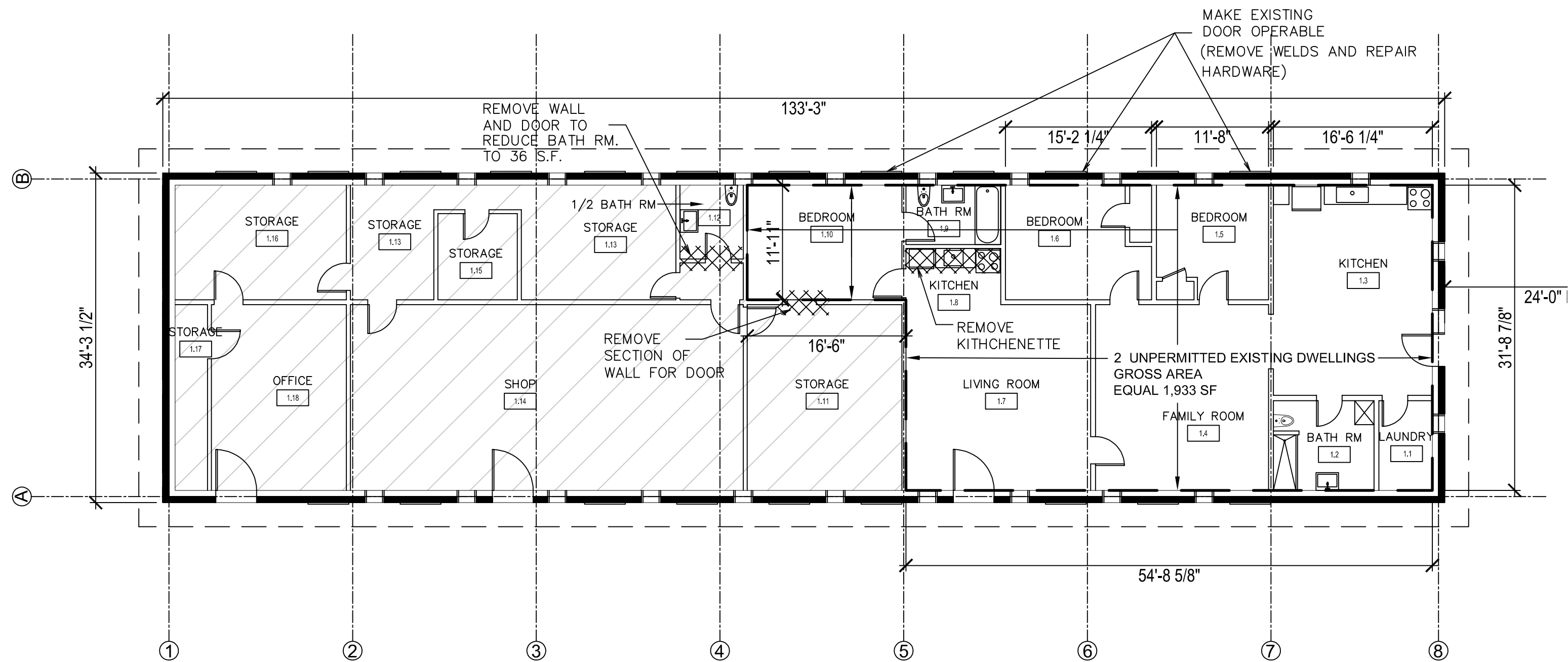
1 EXISTING SOUTH ELEVATION  
SCALE 1/8"=1'-0"



3 EXISTING WEST ELEVATION  
SCALE 1/8"=1'-0"



4 EXISTING NORTH ELEVATION  
SCALE 1/8"=1'-0"



EXISTING FLOOR PLAN / DEMO PLAN  
1/8"=1'-0"



FLOOR PLAN LEGEND

- NEW WALLS
- DEMO
- (E) WOOD FRAMED WALLS
- CONCRETE WALLS
- AG USE AREA

SCOPE OF WORK

BUILDING 2: CONVERT 1,800 SF OF AN EXISTING 4,564 SQUARE FOOT AGRICULTURAL BUILDING TO A FARM WORKER DWELLING UNIT. THE REMAINDER OF THE BUILDING (2,764 SF) WILL BE AGRICULTURAL STORAGE. INTERIOR AND EXTERIOR REMODEL CONSISTS OF ADDING AN INTERIOR WALL TO SEPARATE FARM WORKER DWELLING FROM AGRICULTURAL USAGES TO PARTIALLY ABATE CV22-0472.

NO ALTERATION TO SF

EXISTING SF = 4,564 SF  
DEMO/ALTERED SF = 25 SF  
NET SF = 4,564 SF

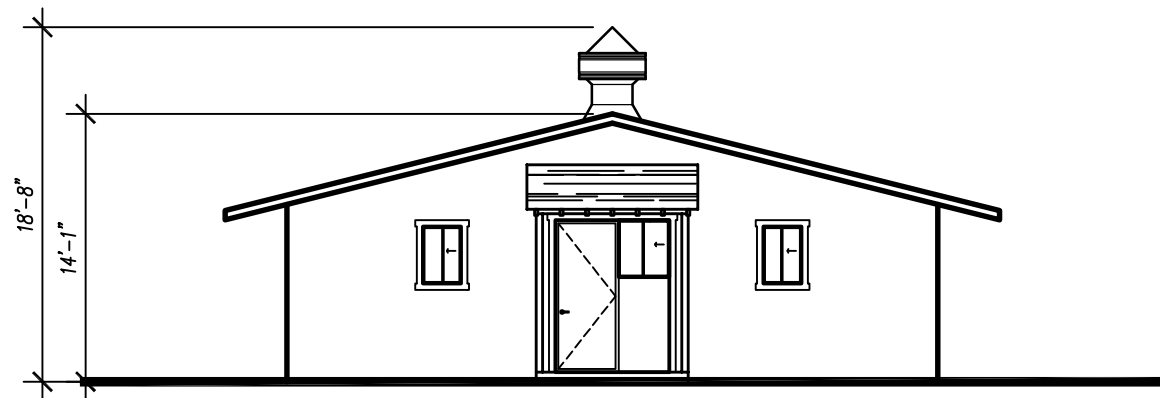
GENERAL NOTES

Angeli de Covolo, Inc.  
122 E. Arrellaga Street  
Santa Barbara, California 93101  
805 452 2999

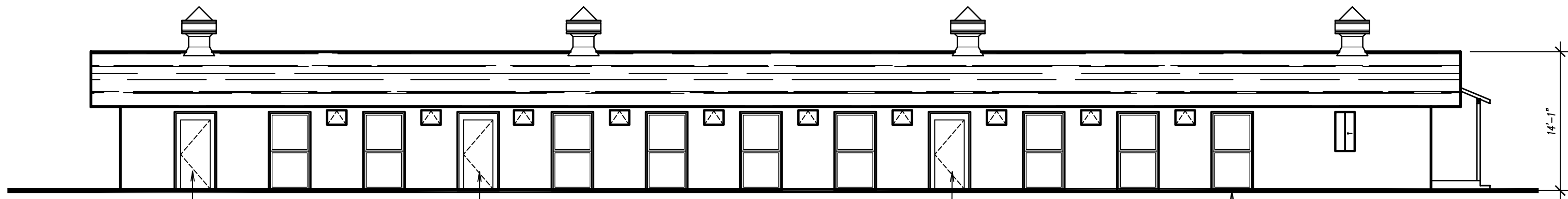


| NO. | REVISION          | DATE       |
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| 1   | ISSUED FOR PERMIT | 03/21/2023 |
| 2   | ISSUED FOR PERMIT | 04/17/2023 |
| 3   | ISSUED FOR PERMIT | 04/17/2023 |
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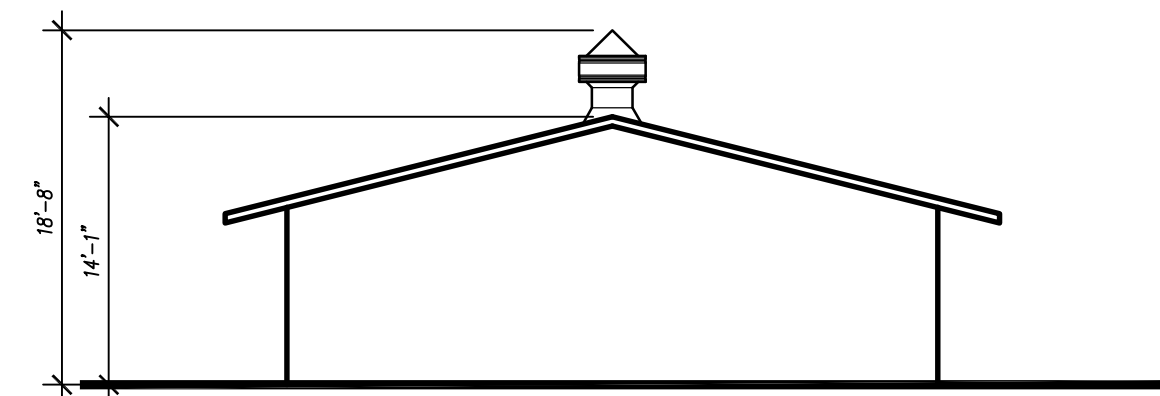




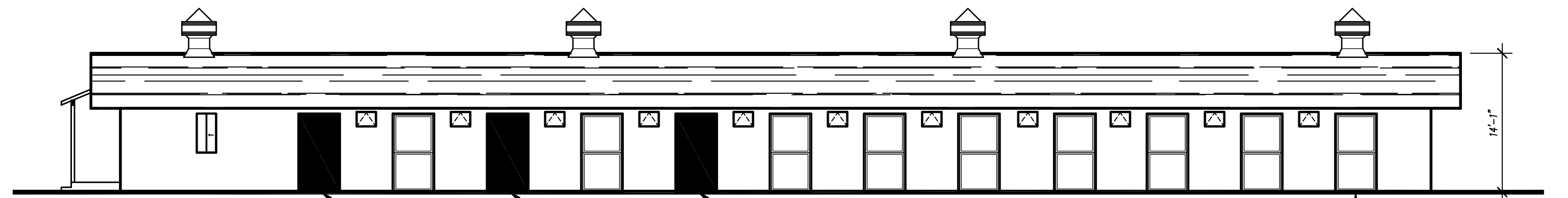
1 PROPOSED EAST  
SCALE 1/8"=1'-0"  
NO CHANGE



1 PROPOSED SOUTH  
SCALE 1/8"=1'-0"  
NO CHANGE



3 PROPOSED WEST  
SCALE 1/8"=1'-0"  
NO CHANGE



4 PROPOSED NORTH  
SCALE 1/8"=1'-0"  
NO CHANGE

| FLOOR PLAN LEGEND |                       |
|-------------------|-----------------------|
|                   | NEW WALLS             |
|                   | DEMO                  |
|                   | (E) WOOD FRAMED WALLS |
|                   | CONCRETE WALLS        |
|                   | AG USE AREA           |

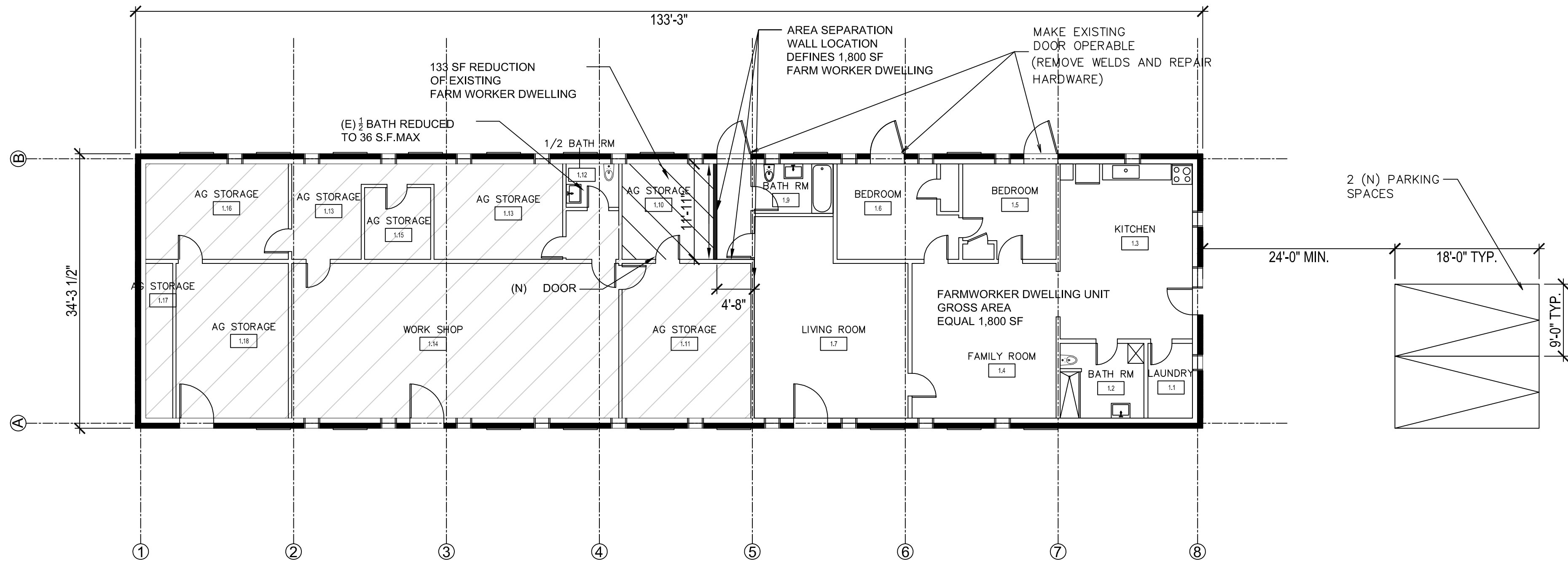
| SCOPE OF WORK  |  |
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| BUILDING 2: CONVERT 1,800 SF OF AN EXISTING 4,564 SQUARE FOOT AGRICULTURAL BUILDING TO A FARM WORKER DWELLING UNIT. THE REMAINDER OF THE BUILDING (2,764 SF) WILL BE AGRICULTURAL STORAGE. INTERIOR AND EXTERIOR REMODEL CONSISTS OF ADDING AN INTERIOR WALL TO SEPARATE FARM WORKER DWELLING FROM AGRICULTURAL USAGES TO PARTIALLY ABATE CV22-0472. |  |

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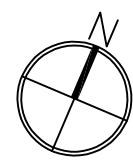
|                 |            |
|-----------------|------------|
| EXISTING SF     | = 4,564 SF |
| DEMO/ALTERED SF | = 25 SF    |
| NET SF          | = 4,564 SF |

| GENERAL NOTES |  |
|---------------|--|
|---------------|--|

|                      |             |
|----------------------|-------------|
| BEDROOM EQUIVALENTS: | 3           |
| BATHROOMS:           | 2           |
| AG USE BATHROOM:     | 1 HALF BATH |



PROPOSED FLOOR PLAN  
1/8"=1'-0"



Angeli de Covolo, Inc.  
122 E. Arrellaga Street  
Santa Barbara, California 93101  
805 452 2999

| SHEET CONTENTS                                       |            |
|--|------------|
| BUILDING 2<br>PROPOSED FLOOR PLANS<br>AND ELEVATIONS |            |
| DRAWN  | CHECKED    |
| PROPERTY NO.   |            |
| DEVELOPMENT NO.                                      |            |
| PROJECT NO.  | 2275       |
| DATE   | 03.21.2023 |
| SHEET NUMBER   | A-9        |